

CITY OF ALBUQUERQUE



September 12, 2018

LENGYEL & ASSOCIATES

Roger W. Lengyel
3241 Siringo Rd.
Santa Fe, NM 87507

Re: New Office Warehouse Facility
7000 Huseman Place SW Albuquerque NM
Traffic Circulation Layout
Engineer's/Architect's Stamp **08 – 08 - 18** (M10-D016J)

Dear Mr. Lengyel,

The TCL submittal received 08_31_18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar
Associate Engineer, Planning Dept.
Development Review Services

MM via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: New Office Warehouse Facility Building Permit #: _____ Hydrology File #: M10D016J
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 7000 Huseman Place SW

Applicant: Lengyel and Associates Contact: Roger W. Lengyel
Address: 3241 Siringo Rd., Santa Fe, NM 87507
Phone#: 505-471-3443 Fax#: _____ E-mail: rogerlengyel@aol.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

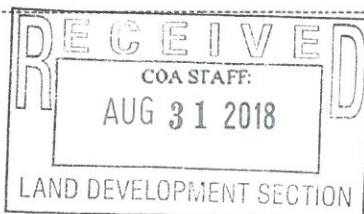
- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

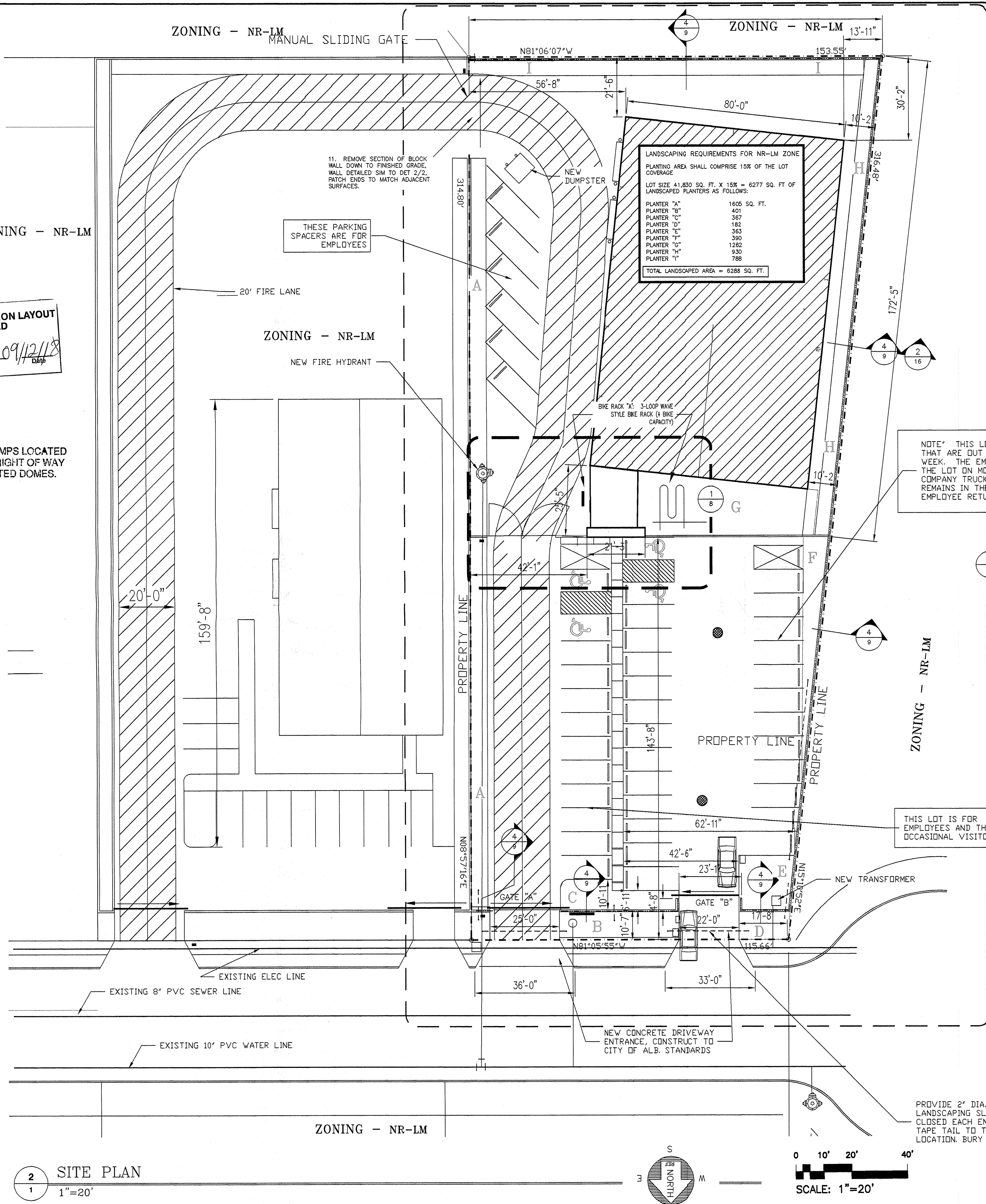
DATE SUBMITTED: 8/9/2018

By: Roger W. Lengyel



ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



BUILDING AND OCCUPANCY DATA - 7000 HUSEMAN PLACE, SW

ADDRESS; 7000 HUSEMAN PLACE, SW,
ALBUQUERQUE, NM.

ZONING NR-LM
(NON-RESIDENTIAL - LIGHT MANUFACTURING)

LOT SIZE 41,831 SQ. FT.

OCCUPANCY TYPE

OFFICE	"B"
WAREHOUSE	"S2"

TYPE OF CONSTRUCTION |

FLOOR AREA

OFFICE -	LOWER FLOOR	4665 SF	
	UPPER FLOOR	4298 SF	
	OFFICE TOTAL		8963 SF

GROSS FLOOR AREA	14682 SF
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OCCUPANCY LOAD

OFFICE -	LOWER FLOOR	47 OCC	
	UPPER FLOOR	43 OCC	
	OFFICE TOTAL		90 OCC

TOTAL OCCUPANCY LOAD = 102 OCCUPANTS

NUMBER OF EXITS REQUIRED 2 (3'-0 DOORS)

NUMBER OF EXITS AVAILABLE 4 (3'-0 DOORS)

FIRE RATED CORRIDOR REQ. 1 HOUR

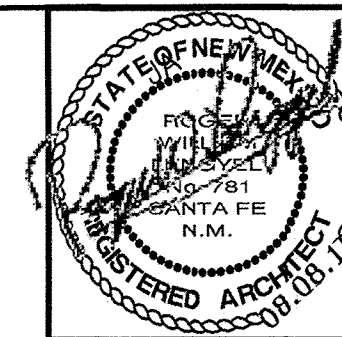
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GENERAL NOTES: (THE GENERAL NOTES APPLY TO THE ENTIRE PROJECT)

1. STANDARD METAL BUILDING
- 1.1. 24 GA METAL ROOFING AND SIDING, (ROOF SHALL BE METAL BUILDING MFR'S STANDING SEAM METAL ROOF)
- 1.2. GIRTS, BYPASS
- 1.3. INSULATION;
- 1.3.1. INSULATION SHALL BE AS FOLLOWS: ROOF: U-0.055 / WALLS: U-0.084 / FOUNDATION: F-0.730
- 1.3.2. ANY ITEM REQUIRING AN INSULATION VALVE SHALL MEET THE INTERNATIONAL ENERGY CONSERVATION CODE. (IECC)
- 1.4. ROOF PITCH: 1-3/8"/12 (NOTE: MAXIMUM HEIGHT OF BUILD SHALL NOT EXCEED 29'-9")
- 1.5. LIVE LOAD; SEE STRUCTURAL
- 1.6. SEISMIC SEE STRUCTURAL
- 1.7. WIND LOADS; SEE STRUCTURAL
- 1.8. PROVIDE STANDARD GUTTERS AND 4 DOWNSPOUTS PER SIDE
- 1.9. PROVIDE LINER PANELING UP 8'-0" IN WAREHOUSE.
- 1.10. EVE HEIGHT = 24'
- 1.11. FIRST FLOOR ELEV. 100'-0" / SECOND FLOOR ELEVATION = 112'-0"
- 1.12. MEZZANINE REQUIREMENTS
- 1.12.0.1. LIVE FLOOR LOAD FOR OFFICES AND CORRIDORS = 100 PSF
- 1.12.0.2. LIVE LOADING FOR ALL OTHER MEZZANINE ROOMS (LIGHT STORAGE) = 125 PSF
2. OVERHEAD DOORS; INSULATED (R-8 +/- MAKE MFR STANDARD R VALUE) OVERHEAD DOORS, 12' WIDE X 14' HIGH W/ 2' WIDE X 12' LONG X 8" THICK CONC APRON W/ 2-#4 REBAR CONT. W/ 2-EA. 6" X 7' X 1/4" THICK PIPE BOLLARDS, SET 3'-0 IN 12 DIA. CONCRETE.
3. OVERHEAD DOOR; INSULATED PER IECC, 8' WIDE X 12' HIGH W/ 2' WIDE X 8' LONG X 8" THICK CONC APRON W/ 2-#4 REBAR CONT. W/ 2-EA. 6" X 7' X 1/4" THICK PIPE BOLLARDS, SET 3'-0 IN 12 DIA. CONCRETE.
4. ASPHALT PARKING LOT: PROVIDE 2" ASPHALTIC CONCRETE COMPACTED TO 96% MODIFIED PROCTOR DENSITY; OVER 8" SCARIFIED AND COMPACTED SUBGRADE COMPETED TO MAXIMUM DENSITY. PROVIDE 2" PARKING LOT STRIPING.
5. FINISHES:
- 5.1. FLOORING:
- 5.1.1. LOWER FLOOR: SHALL BE STAINED CONCRETE AT OFFICES AND EXPOSED CONC AT WAREHOUSE
- 5.1.2. UPPER FLOOR: SHALL BE SEALED CONCRETE.
6. BASE: 4" VINYL THROUGHOUT EXCEPT THE WAREHOUSE
7. SOUND PROOF WALLS: PROVIDE DOUBLE LAYER GYPSUM BPOARD ON ALL FOUR WALLS OF ROOMS 112, 117, 120
8. NON-LOAD BEARING WALLS SHALL BE 3.5" 25 GA STEEL STUDS AT 16" O.C. W/ 5/8" TYPE-X GYP. BD. BOTH SIDES, TAPE, TEXTURE AND PAINT.
9. PLANTER EDGING; PLANTER EDGES SHALL BE 6" WIDE X 24" TALL, BURY 18" BELOW FINISHED GRADE PER DETAIL 3/2.
10. ALL PRODUCTS FURNISHED SHALL MEET ALL REQUIREMENTS OF THE "INTERNATIONAL ENERGY CONSERVATION CODE" (IECC)
11. PLUMBING FIXTURES;
- 11.1. FIXTURES SHALL BE AMERICAN STANDARD COMMERCIAL GRADE FOR TOILETS, SINKS, FAUCETS, ETC. GRAB BARS SHALL BE "BOBRICK" (OR EQUAL) 1-1/2" DIA. SS
- COUNTERS & COUNTER TOPS:
- 110.1. LOWER FLOOR: COUNTER TOP SHALL BE 3MM GRANITE W/ 3.5" GRANITE SPLASH AT ENDS AND BACK; ALLOW \$100 PER S.F.; COUNTER FRAMING SHALL BE STRAINED OAK
- 110.2. UPPER FLOOR: COUNTER TOPS SHALL BE LAMINATED PLASTIC W/ SPLASH AT ENDS AND BACK. COUNTERS SHALL BE LAMINATED PLASTIC ON 3/4" PLYWOOD.
12. STAIRS SHALL BE FREE STANDING STEEL STAIRS WITH 2" CONCRETE PAN TREADS, LANDINGS W/ CLOSED RISERS.
- RECEIVED

PROVIDE 2" DIA. SCH-40 PVD
LANDSCAPING SLEEVE. DUCK TAPE
— CLOSED EACH END AND BRING A DUCK
TAPE TAIL TO THE SURFACE FOR
LOCATION. BURY 12".


ALL WORK UNDER THIS CONTRACT
SHALL MEET ALL APPLICABLE CODES



DATE
08.08.18

JOB # 17-17

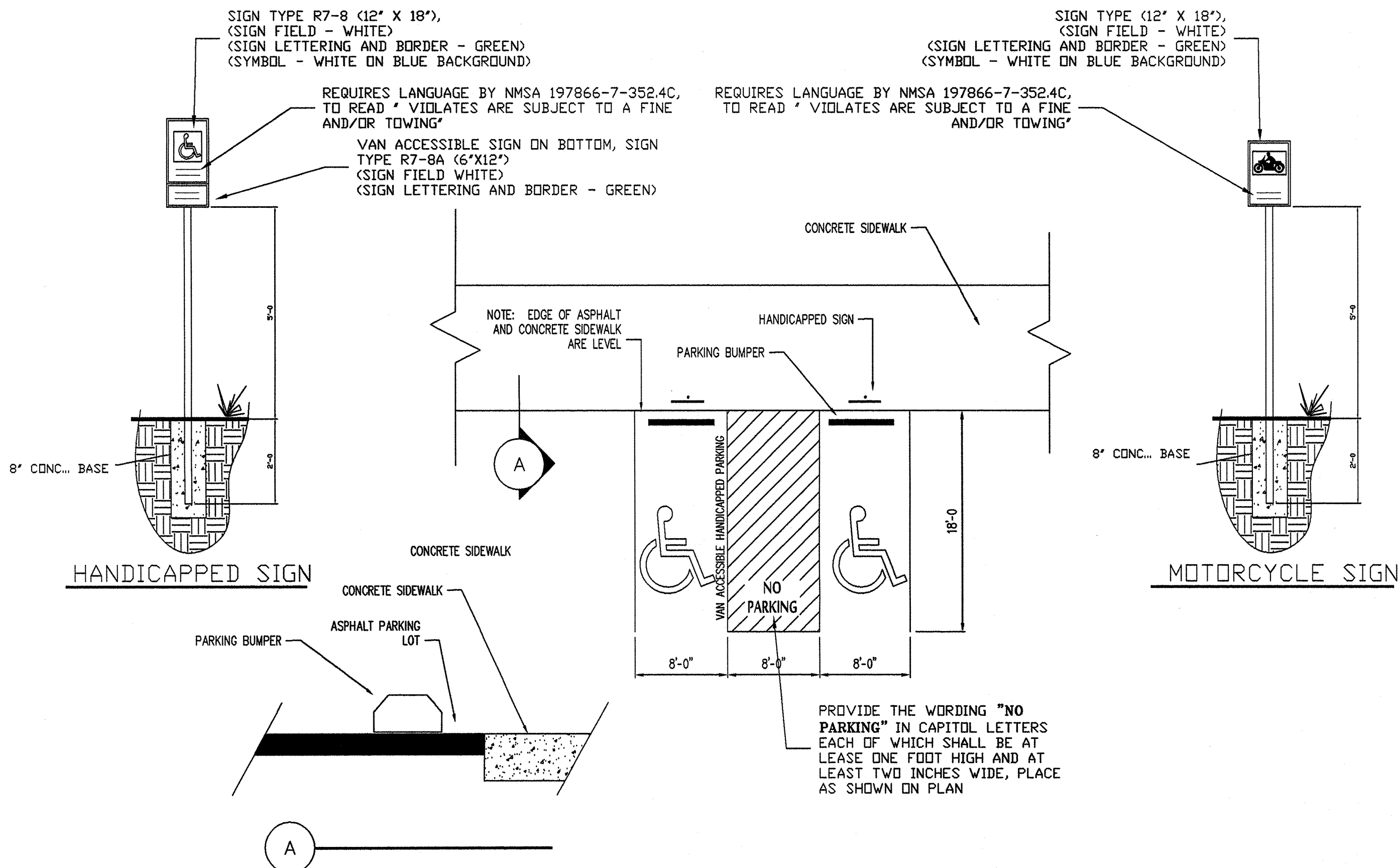
REMARKS

A NEW OFFICE & WAREHOUSE FACILITY
 THE ROOFING COMPANY
 7000 HUSEMAN PLACE, SW, ALBUQUERQUE, NEW MEXICO 87105

REVISIONS

SHEET NO.
2 OF 19

C:\R13\DKG\OFFICE & WAREHOUSE-2017\STORAGE BUILDING DKG 6_r_ecover.dwg, 3-PARK LOT, 8/31/2018 12:50:53 PM, HP Designjet 500 24 by HP_IMAGE.pc3, 1:1



2 TYPICAL HANDICAPPED PARKING SPACE REQUIREMENTS
3 NO SCALE



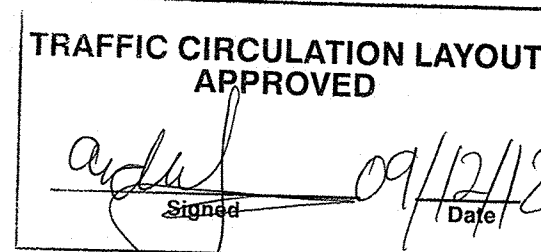
VICINITY MAP

PARKING REQUIREMENTS - 7000 HUSEMAN PLACE SW

PARKING REQ

OFFICE -	LOWER FLOOR	4665 SF DIV. 1/200 SF = 26 PARKING SPACES
	UPPER FLOOR	4298 SF DIV. 1/300 SF = 15 PARKING SPACES
WAREHOUSE		5719 SF DIV. 1/2000 SF = 3 PARKING SPACES
TOTAL REQUIRED PARKING		= 42 PARKING SPACES
TOTAL AVAILABLE PARKING SPACES		= 43 PARKING SPACES

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

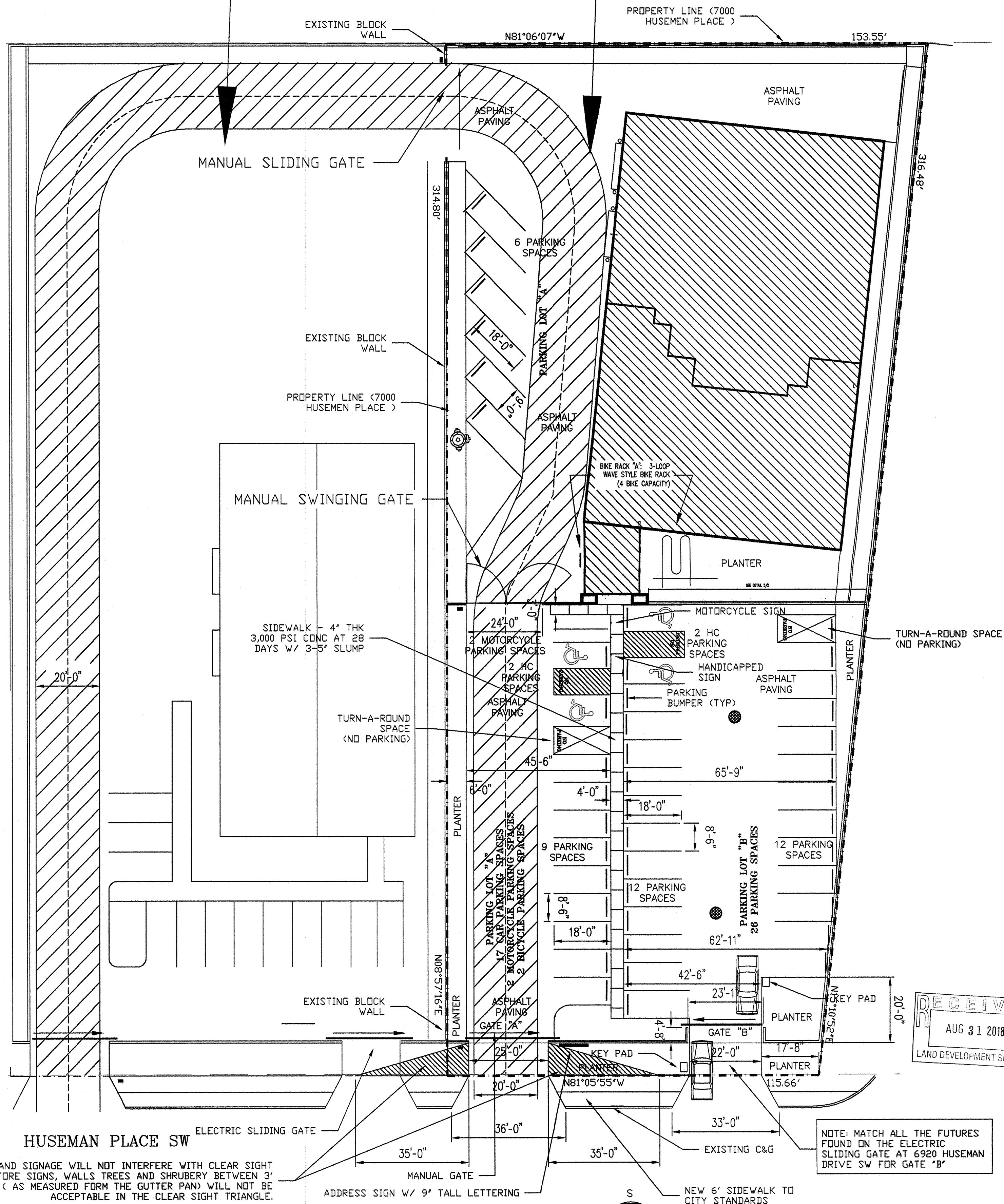


LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT
REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3'
AND 8' FEET TALL < AS MEASURED FROM THE GUTTER PAND WILL NOT BE
ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

HUSEMAN PLACE SW

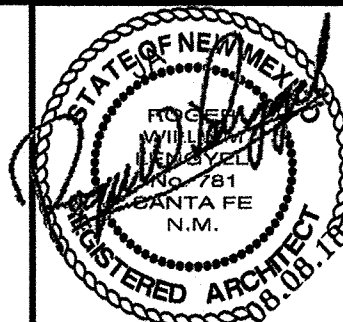
6920 HUSEMAN PLACE SW
OWNED BY DKG ROOFING

7000 HUSEMAN PLACE SW
OWNED BY DKG ROOFING



1 PARKING LOT LAYOUT PLAN
3 1"=20'

0 10' 20' 40'
SCALE: 1"=20'



DATE
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JOB # 17-17

REMARKS

A NEW OFFICE & WAREHOUSE FACILITY
DKG ROOFING, INC
7000 HUSEMAN PLACE, SW, ALBUQUERQUE, NEW MEXICO

REVISIONS

SHEET NO.
3 OF 19

LENGYEL & ASSOCIATES, 3241 SIRINGO ROAD, SANTA FE, NEW MEXICO