

# CITY OF ALBUQUERQUE



July 6, 2020

LENGYEL & ASSOCIATES  
Roger W. Lengyel  
3241 Siringo Rd.  
Santa Fe, NM 87507

**Re: New Office Warehouse Facility**  
7000 Huseman Place SW Albuquerque NM  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp **10-22-18** (M10D016J)  
Certification dated 3-11-20

Dear Mr. Lengyel

Based upon the information provided in your submittal received 7-3-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

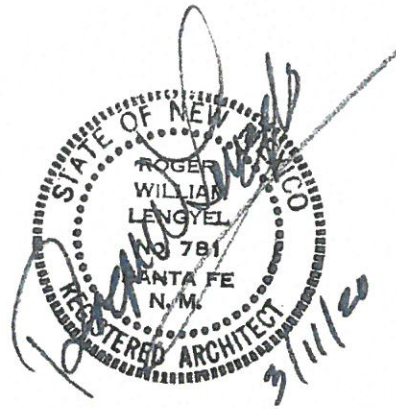
Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



### TRAFFIC CERTIFICATION

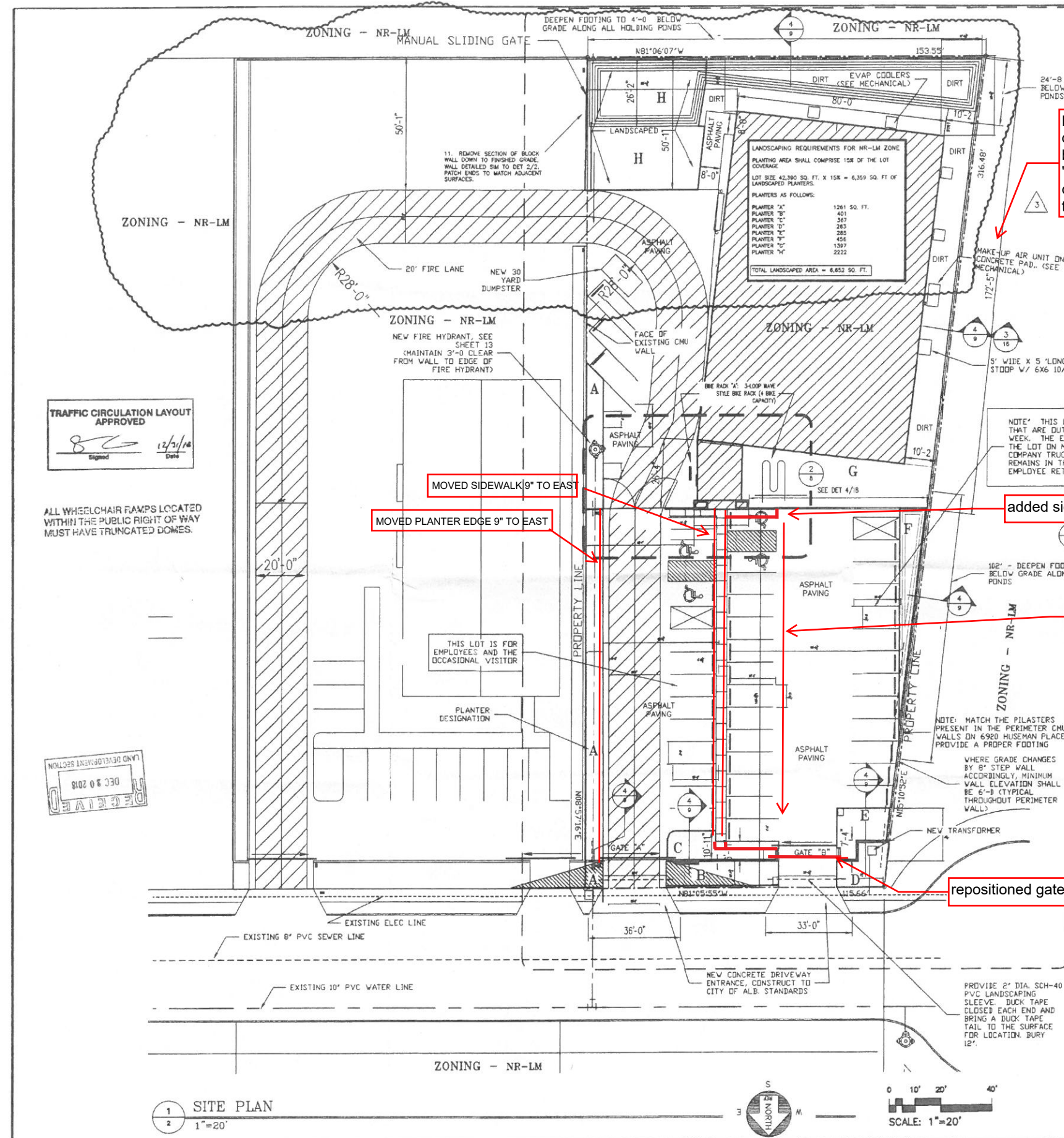
ROGER W. LENGYEL NMRA 781, OF THE FIRM LENGYEL & ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12.31.2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROGER LW. LENGYEL OF THE FIRM OF LENGYEL & ASSOCIATES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON FEBRUARY 19, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR AN OCCUPANCY CERTIFICATE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Architect

3/11/20  
Date





NOTE : this development has been built in "substantial compliance" with the TCL

NOTE: THIS LOT IS USED FOR EMPLOYEES THAT ARE OUT OF TOWN FOR THE ENTIRE WEEK. THE EMPLOYEE PARKS THEIR CAR IN THE LOT ON MONDAY MORNING, PICKS UP A COMPANY TRUCK AND LEAVES TOWN. THE CAR REMAINS IN THE LOT UNTIL FRIDAY WHEN THE EMPLOYEE RETURNS.

repositioned gate

- repositioned all parking spaces

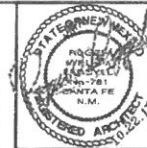
GENERAL NOTES: (THE GENERAL NOTES APPLY TO THE ENTIRE PROJECT)

1. STANDARD METAL BUILDING
  - 1.1. 24 GA METAL ROOFING AND SIDING. (ROOF SHALL BE METAL BUILDING MFR'S STANDING SEAM METAL ROOF)
  - 1.2. GUTS: BYPASS
  - 1.3. INSULATION:
    - 1.3.1. INSULATION SHALL BE AS FOLLOWS: ROOF: U-0.055 / WALLS: U-0.084 / FOUNDATION: F-0.730
    - 1.3.2. ANY ITEM REQUIRING AN INSULATION VALVE SHALL MEET THE INTERNATIONAL ENERGY CONSERVATION CODE. (IECC)
  - 1.4. ROOF PITCH: 13/8"/12' (NOTE: MAXIMUM HEIGHT OF BUILD SHALL NOT EXCEED 29'-9")
  - 1.5. EAVE LOAD: SEE STRUCTURAL
  - 1.6. SEISMIC SEE STRUCTURAL
  - 1.7. WIND LOADS: SEE STRUCTURAL
  - 1.8. PROVIDE STANDARD GUTTERS AND 4 DOWNSPOUTS AS SHOWN
  - 1.9. PROVIDE FULL HEIGHT LINER PANEL IN WAREHOUSE.
  - 1.10. EAVE HEIGHT = 24'
2. OVERHEAD DOORS: INSTALLED (R-9.83 VALUE) OVERHEAD DOORS, 12' WIDE X 14' HIGH W/ 2" WIDE X 12' LONG X 8" THICK CONC APRON W/ 2-#4 REBAR CONT. W/ 2-EA. 6" X 7" X 1/4" THICK PIPE BOLLARDS, SET 3'-0" IN 12 DIA. CONCRETE. DOORS SHALL BE BY THE OVERHEAD DOOR CO, MODEL 470, METAL BACKED W/ 3" TRACK/ W/ R/HX OPERATOR, 1 HP / 208/230 V / 1 PH (OR EQUAL)
3. ASPHALT PARKING LOT: PROVIDE 2" ASPHALTIC CONCRETE COMPACTED TO 96% MODIFIED PROCTOR DENSITY: OVER 8" SCARIFIED AND COMPACTED SUBGRADE COMPETED TO MAXIMUM DENSITY. PROVIDE 2" PARKING LOT STRIPING
4. FINISHES:
  - 4.1. FLOORING:
    - 4.1.1. LOWER FLOOR: SHALL BE STAINED CONCRETE AT OFFICES AND SEALED CONC AT WAREHOUSE. PREPARE CONCRETE PROPERLY FOR STAINING.
    - 4.1.1. UPPER FLOOR: SHALL BE STAINED CONCRETE. PREPARE CONCRETE PROPERLY FOR STAINING.
5. SOUND PROOF WALLS: PROVIDE DOUBLE LAYER TYPE-X GYPSUM BOARD ON ALL FOUR WALLS OF ROOMS 112, 117, 120 .
6. PLANTER EDGING: PLANTER EDGES SHALL BE 6" WIDE X 24" TALL, BURY 18" BELOW FINISHED GRADE PER DETAIL 3/2.
7. ALL PRODUCTS FURNISHED SHALL MEET ALL REQUIREMENTS OF THE "INTERNATIONAL ENERGY CONSERVATION CODE" (IECC))
8. PLUMBING FIXTURES:
  - 8.1. FIXTURES SHALL BE AMERICAN STANDARD COMMERCIAL GRADE FOR TOILETS, SINKS, FAUCETS, ETC. GRAB BARS SHALL BE "BOBRICK" (OR EQUAL) 1-1/2" DIA. SS
9. STAIRS SHALL BE FREE STANDING STEEL STAIRS WITH 2" CONCRETE PAN TREADS, LANDINGS W/ CLOSED RISERS. (SEE DETAIL 3/8)
10. TOILET ROOMS 108, 109, 111, 118, 206, AND 207 PROVIDE A \$75.00 PER SQUARE FOOT ALLOWANCE FOR 3 CM GRANITE COUNT TOPS
11. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL PROVIDE SHOP DRAWINGS FOR ALL MATERIALS FURNISHED FOR APPROVAL BY THE ARCHITECT AND OWNER BEFORE PURCHASE.
12. PROVIDE A LIGHT BROOM FINISH ON ALL EXTERIOR CONCRETE.
13. ALL STRUCTURAL DETAILING SHALL TAKE PRESEDENT OVER ARCHITECTURAL DETAILING

- NOTE: GENERAL CONTRACTOR SHALL APPLY FOR THE FOLLOWING PERMITS SEPARATELY:  
1 SITE WALL PERMIT SHALL BE OBTAINED SEPARATELY, REFER TO THIS PERMIT #  
2 ELEVATOR (LIFT) PERMIT SHALL BE OBTAINED SEPARATELY, REFER TO THIS PERMIT #  
INSTALLER SHALL HAVE A GPS-9 LICENSE

ALL WORK UNDER THIS CONTRACT  
SHALL MEET ALL APPLICABLE CODES

BUILDING AND OCCUPANCY DATA - 7000 HUSEMAN PLACE, SW			
ADDRESS;		7000 HUSEMAN PLACE, SW, ALBUQUERQUE, NM.	
ZONING (NON-RESIDENTIAL - LIGHT MANUFACTURING)		NR-LM	
LOT SIZE		42,390 SQ. FT.	
<u>OCCUPANCY TYPE</u>			
OFFICE		"B"	
WAREHOUSE		"S2"	
TYPE OF CONSTRUCTION		II-B	
<u>FLOOR AREA</u>			
OFFICE -	LOWER FLOOR	4665 SF	
	UPPER FLOOR	4298 SF	
	OFFICE TOTAL		8963 SF
WAREHOUSE			5719 SF
GROSS FLOOR AREA			14682 SF
<u>OCCUPANCY LOAD</u>			
OFFICE -	LOWER FLOOR	52 OCC	
	UPPER FLOOR	21 OCC	
	OFFICE TOTAL		73 OCC
WAREHOUSE			12 OCC
TOTAL BUILDING OCCUPANCY LOAD		=	85 OCCUPANTS
NUMBER OF EXITS REQUIRED		2 (3'-0 DOORS)	
NUMBER OF EXITS AVAILABLE		5 (3'-0 DOORS)	
FIRE RATED CORRIDOR REQ.		1 HOUR	
SPRINKLER REQ.		NON-SPRINKLED	



DATE  
10.22.18

JOB # 17-17

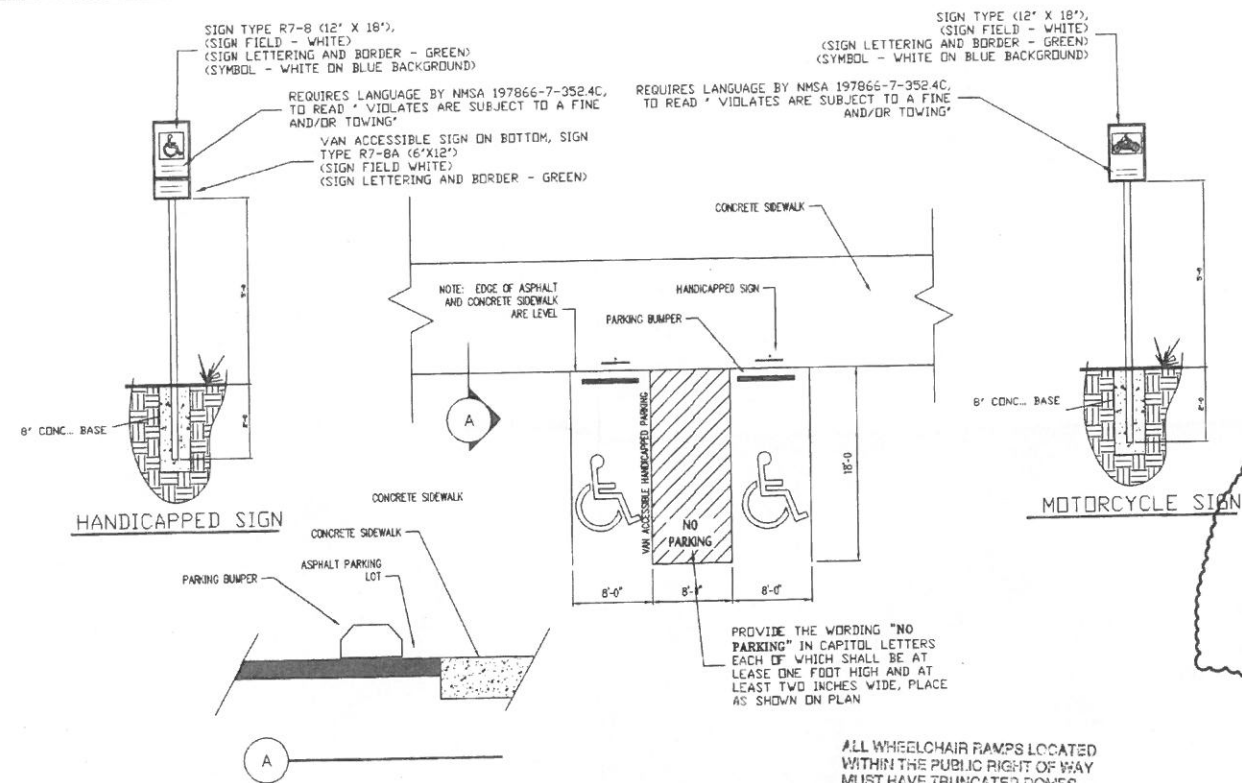
A NEW OFFICE & WAREHOUSE FACILITY  
DKG & ASSOCIATES, INC. / A ROOFING CONTRACTOR  
7000 HUSEMAN PLACE, SW, ALBUQUERQUE, NEW MEXICO

EVISONS

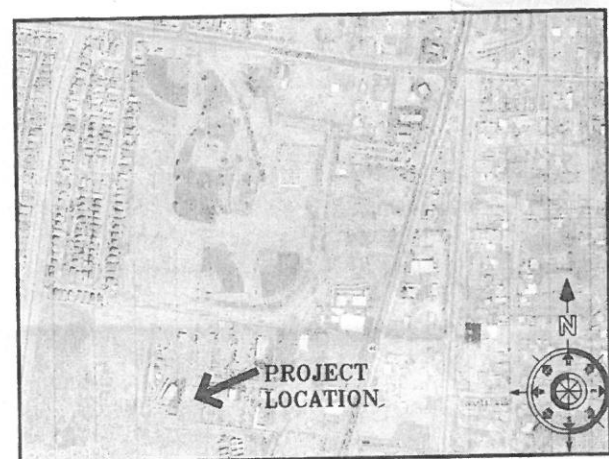
1.	12.18.18	OCCUPANCY CORRECTION
2.	12.18.18	ADDITIONAL PERMITS REQUIRED
3.	12.18.18	REVISED P/PLANTER AND FIRE LANE

SHEET NO.  
2 OF 21





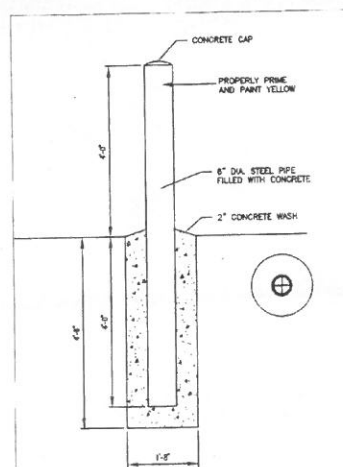
TYPICAL HANDICAPPED PARKING SPACE REQUIREMENTS  
NO SCALE



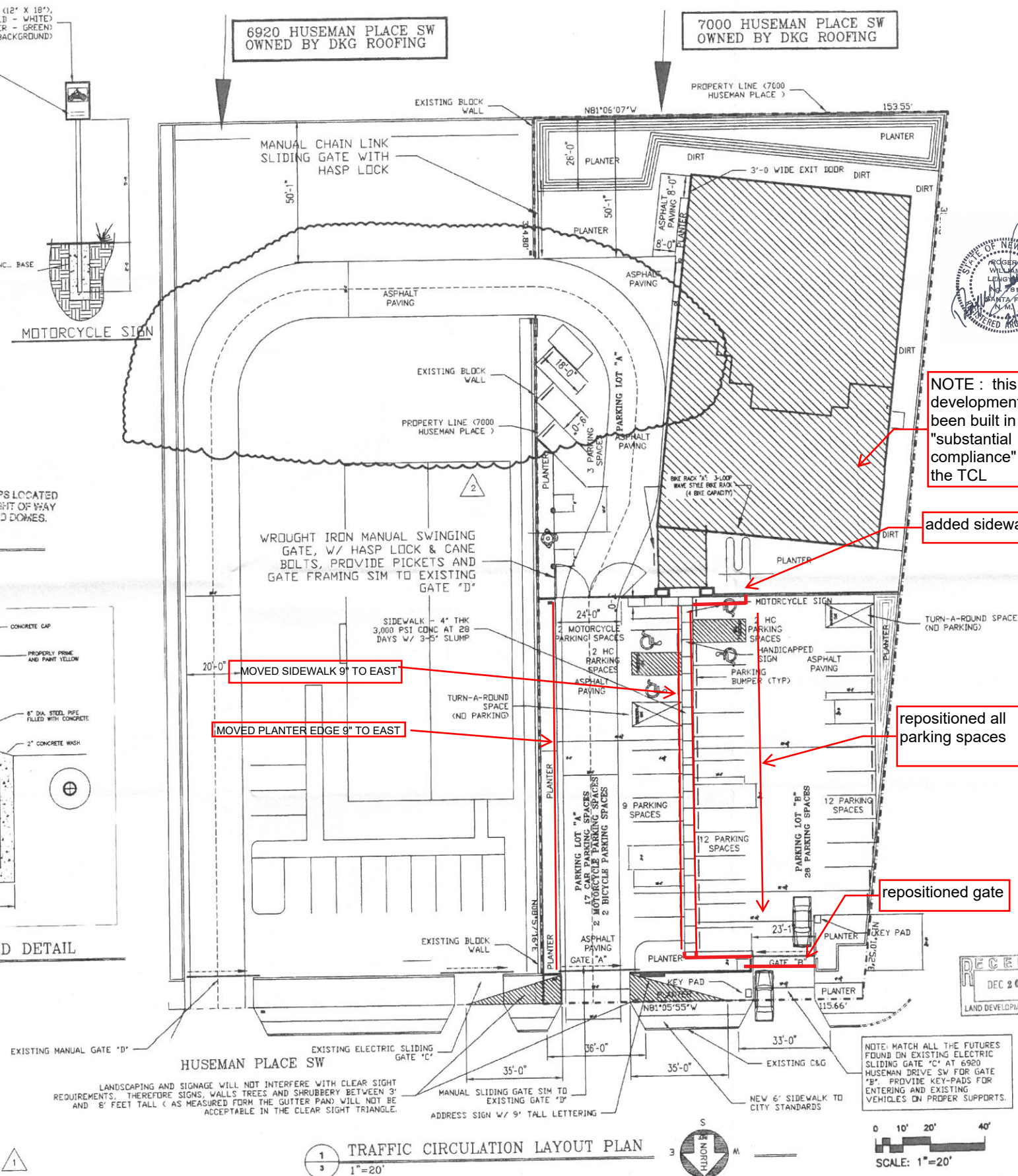
## VICINITY MAP

PARKING REQUIREMENTS - 7000 HUSEMAN PLACE SW

PARKING REQ		
OFFICE -	LOWER FLOOR	4665 SF (3.5 SPACES / 1000 SF) = 17 PARKING SPACES
	UPPER FLOOR	4298 SF (3.5 SPACES / 1000 SF) = 18 PARKING SPACES
WAREHOUSE		5719 SF DIV. 1/1000 SF = 6 PARKING SPACES
TOTAL REQUIRED PARKING		= 39 PARKING SPACES
TOTAL AVAILABLE PARKING SPACES		= 40 PARKING SPACES AVAILABLE



BOLLARD DETAIL  
1/2"-1'-0"



TRAFFIC CIRCULATION LAYOUT PLAN

0 10' 20' 40'

SCALE: 1"=20'

NOTE : this development has been built in "substantial compliance" with the TCL

added sidewalk

- repositioned all parking spaces

repositioned gate



DATE  
10.22.18

JOB # 17-17

REMARKS

A NEW OFFICE & WAREHOUSE FACILITY

TDK & ASSOCIATES, INC / A ROOFING CONTRACTOR

7000 HUSEMAN PLACE, SW, ALBUQUERQUE, NEW MEXICO

REVISION  
1. 12.18.18  
REVISED REQUIRED PARKING COUNT

SHEET NO.  
3 OF 21