

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 3, 2025

Jacob Liberman
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Riverside MHP
99999 Coors Blvd SW
Grading and Drainage Plan
Engineer's Stamp Date: 2/21/2025
Hydrology File: M10D018
Case # HYDR-2025-00081**

Dear Mr. Liberman:

Based upon the information provided in your submittal received 03/13/2025, the Grading & Drainage Plans are approved for Building Permit, and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

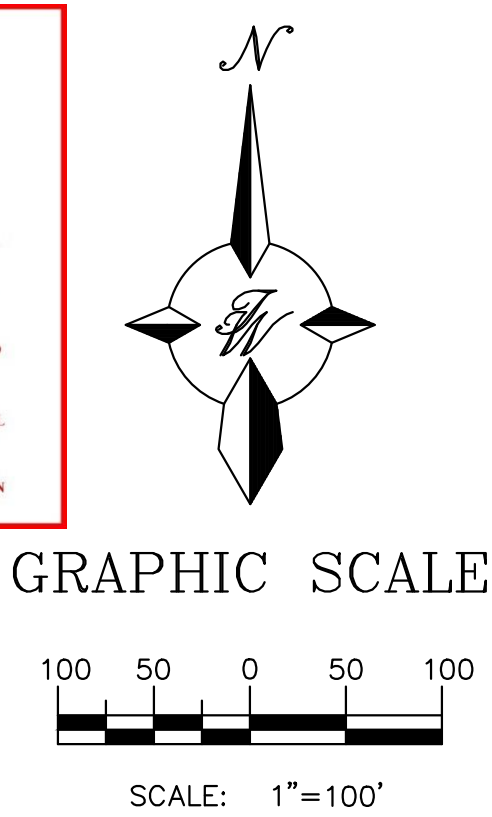
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 4/3/2025
BY: [Signature]
HydroTeam # M10D018
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM MAKING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMITS HAVE BEEN PULLED ON THE DEVELOPMENT.



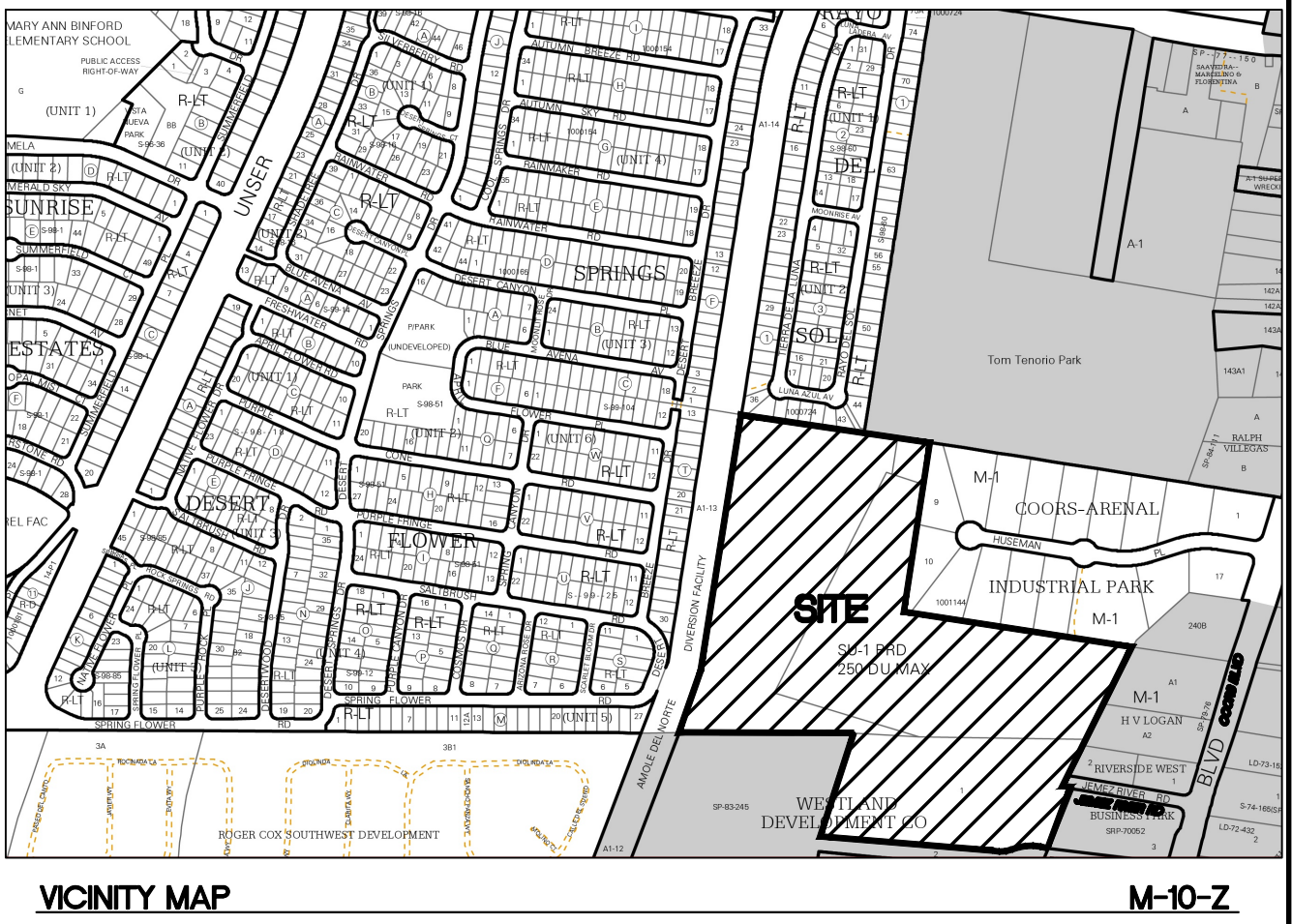
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - PROPOSED SIDEWALK
 - EXISTING CURB & GUTTER
 - WATER BLOCK
 - EXISTING INDEX CONTOUR
 - EXISTING CONTOUR
 - FLOW

EROSION CONTROL NOTES:

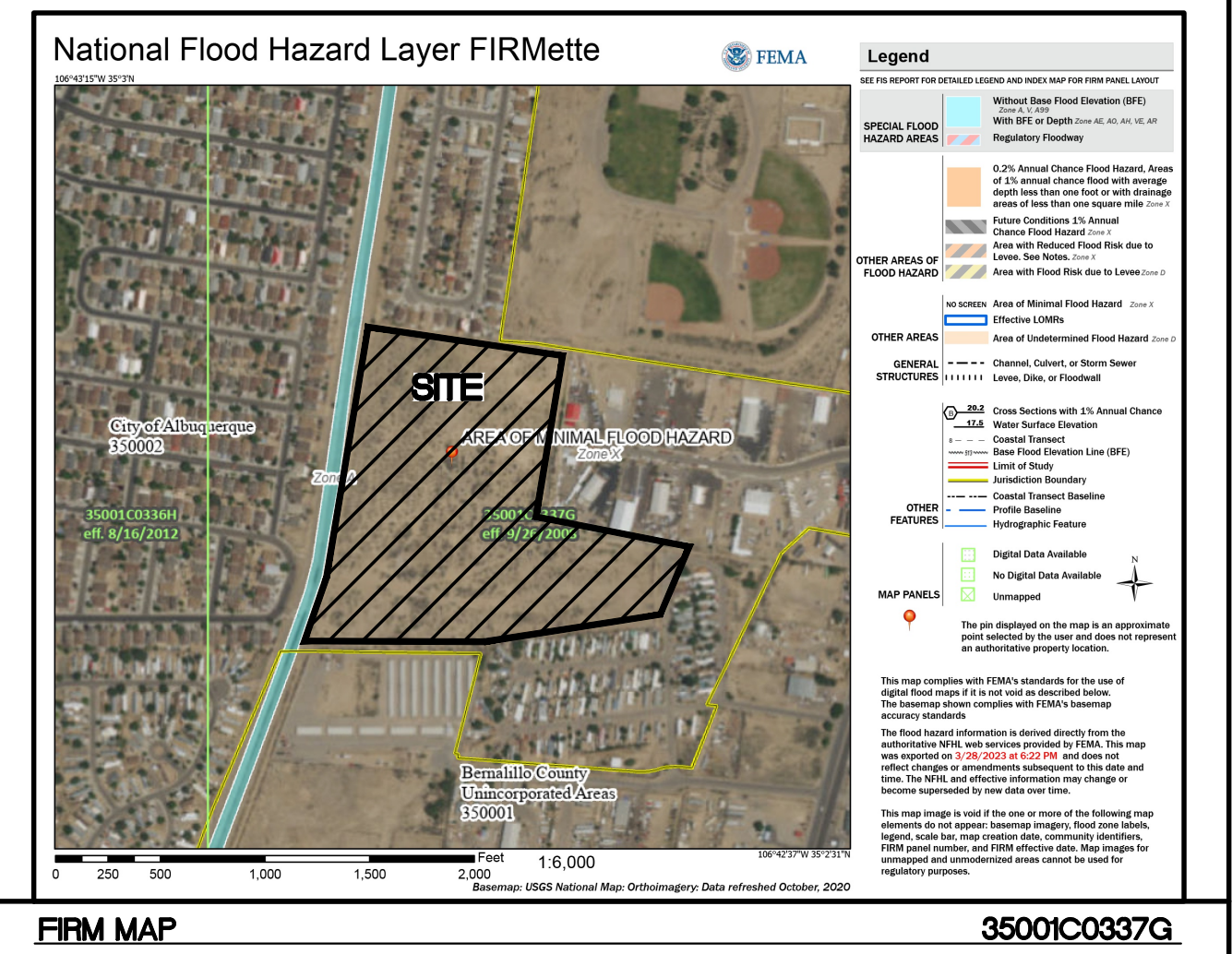
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{3}{4}$ " GRAVEL.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



LEGAL DESCRIPTION:
TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WEST LAND DEVELOPMENT CO., INCLUDED TOGETHER WITH A TRACT OF LAND WITHIN THESE $\frac{1}{4}$ SEC. $\frac{1}{4}$ SEC. 34110N, AND R2E AND TRACT OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTION 34 & 3.



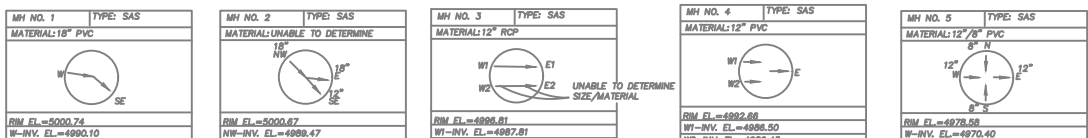
LANDFILL DISCLOSURE STATEMENT

A PORTION OF THIS SITE IS LOCATED WITHIN THE HISTORIC RIVERSIDE LANDFILL. A LANDFILL GAS ASSESSMENT REPORT HAS BEEN SUBMITTED TO CITY ENVIRONMENTAL HEALTH WITH RECOMMENDATIONS ACCORDING TO THEIR STANDARDS AND BEST PRACTICES. SEE LANDFILL MITIGATION PLAN FOR REFERENCE.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 2/21/2025 P.E. # 7868	RIVERSIDE MHP ALBUQUERQUE, NM GRADING KEYMAP TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY JL DATE 2/21/2025 DRAWING 2022056-GR(FINALE)DWG SHEET # C2.0 JOB # 2022056
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EXISTING BASIN MAP

EXISTING DRAINAGE:

THIS DEVELOPMENT IS A PROPOSED EXPANSION TO THE RIVERSIDE MOBILE HOME PARK LOCATED AT THE NORTHWEST CORNER OF COORS BLVD SW AND ERVIEN LN SW. THE PROPERTIES PROPOSED FOR DEVELOPMENT WITH THIS PROJECT INCLUDE AN EXISTING 85 LOT MANUFACTURED HOME COMMUNITY BORDERED BY AN UNDEVELOPED AREA TO THE NORTHWEST MAKING FOR A TOTAL AREA OF 40.82 ACRES. THE SITE IS BORDERED TO THE WEST BY THE AMOLE DEL NORTE DIVERSION CHANNEL, TO THE NORTH BY A RESIDENTIAL NEIGHBORHOOD, TO THE EAST AND SOUTH BY COMMERCIAL PROPERTIES, AND TO THE SOUTH BY ERVIEN LN SW AND A SELF-STORAGE FACILITY. THE SITE DOES NOT ACCEPT ANY OFFSITE UPLAND DRAINAGE.

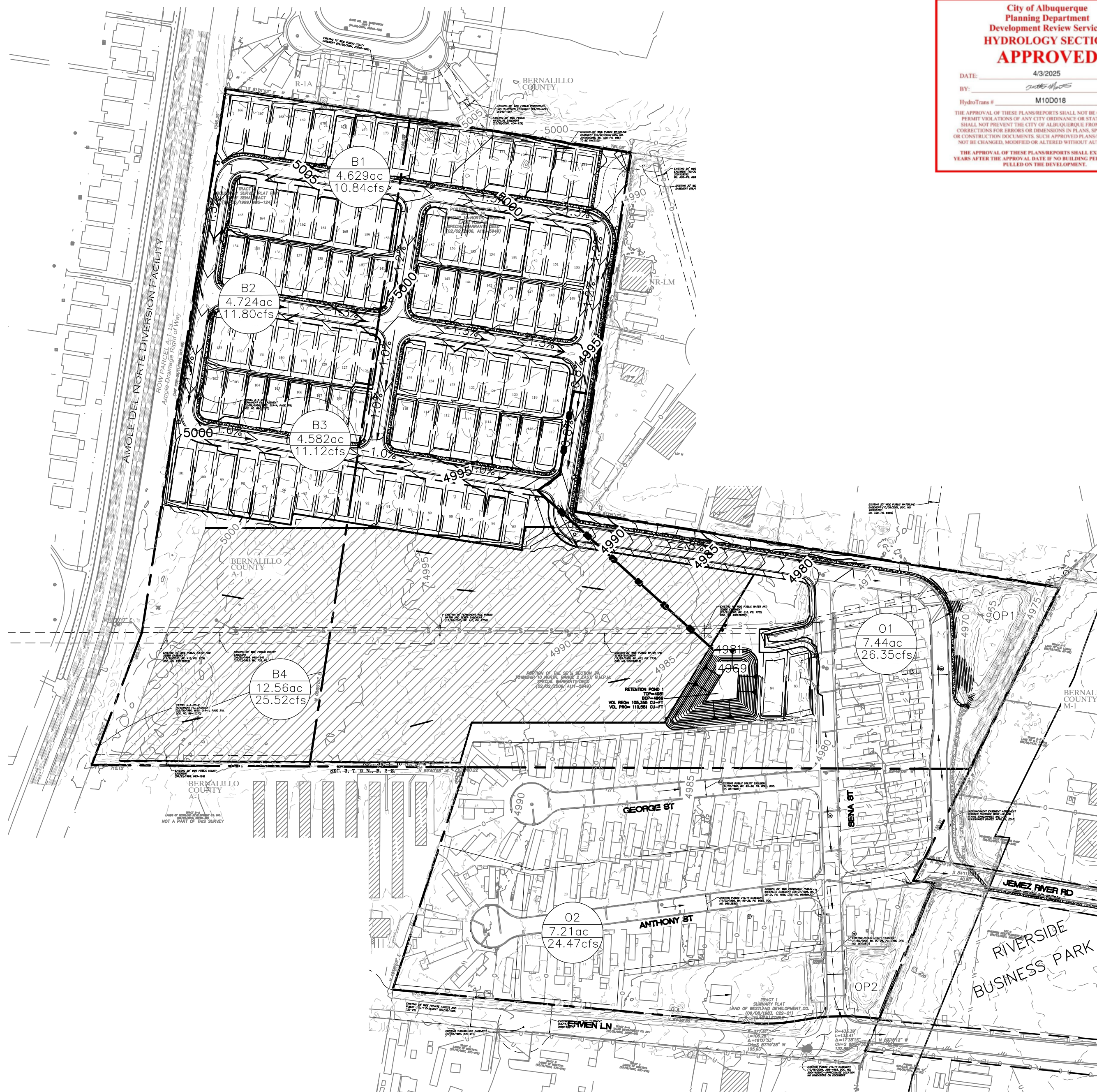
THE TWO BASINS COMPRISING THE EXISTING DEVELOPED PORTION OF THE MOBILE HOME PARK, O1 AND O2, EACH HAVE A RESPECTIVE DRAINAGE POND, OP1 AND OP2, IN THE SOUTHEAST OF THE SITE. OP1 ACCEPTS DRAINAGE BOTH FROM O1 AS WELL AS THE UNDEVELOPED BASINS E1 AND E2 TO THE NORTHWEST. O2 DRAINS TO THE SOUTHEAST DOWN ANTHONY ST AND SENA ST AND THEN DOWNHILL TOWARDS COORS BLVD SW. A SMALL FRACTION OF THE DRAINAGE FROM O2 DRAINS TO OP2.

PROPOSED DRAINAGE:

THE PROPOSED EXPANSION TO THE MOBILE HOME PARK WILL BE COMPRISED ENTIRELY OF THE AREA MADE UP OF BASIN B1, B2, AND B3. DRAINAGE FROM BASIN B1 AND B2 WILL BE DIRECTED TO INLET #1 AND #2 AND B3 WILL BE DIRECTED TO INLET #2. BASIN B4 WILL REMAIN LARGELY UNDEVELOPED APART FROM A CONNECTING ROADWAY AND TWO ADDITIONAL LOTS. ALL PROPOSED BASINS WILL DISCHARGE INTO POND P1, WHERE THE DEVELOPED VOLUME WILL BE RETAINED. BASINS O1 AND O2 WILL NOT BE MODIFIED WITH THIS DEVELOPMENT.

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PROPOSED BASIN MAP

Existing Conditions

Basin Descriptions											100-Year, 6-Hr			10-Year, 6-Hr			
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
E1	606,721.00	13.928	0.02176	0%	0.000	100%	13.928	0%	0.000	0%	0.000	0.670	0.778	28.27	0.220	0.255	10.59
E2	547,550.00	12.570	0.01964	0%	0.000	100%	12.570	0%	0.000	0%	0.000	0.670	0.702	25.52	0.220	0.230	9.55
O1	324,183.00	7.442	0.01163	0%	0.000	22%	1.637	21%	1.563	57%	4.242	1.478	0.917	26.35	0.848	0.526	15.83
O2	301146.00	6.913	0.01080	0%	0.000	22%	1.521	21%	1.452	57%	3.941	1.478	0.852	24.47	0.848	0.488	14.71
Total	1,779,600.00	40.854	0.06383	0.000			29.657	0.000			8.183		3.248	104.61		1.500	50.68

Proposed Conditions

Basin Descriptions											100-Year, 6-Hr			10-Year, 6-Hr			
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
B1	201,619.83	4.629	0.00723	0%	0.000	87%	4.027	0%	0.000	13%	0.611	0.931	0.359	10.84	0.415	0.160	4.83
B2	205,784.17	4.724	0.00738	0%	0.000	80%	3.779	0%	0.000	20%	0.945	1.032	0.406	11.80	0.494	0.194	5.60
B3	199,606.00	4.582	0.00716	0%	0.000	83%	3.803	0%	0.000	17%	0.779	0.987	0.377	11.12	0.459	0.175	5.14
B4	547,131.05	12.560	0.01963	0%	0.000	96%	12.058	0%	0.000	4%	0.502	0.790	0.827	26.67	0.307	0.321	10.62
Total	407,404.00	26.495	0.01461		0.000		23.667		0.000		2.837		1.969	60.44	0.385	0.851	26.19

Proposed Pond P1

	V360	Area D	(P10-P360)/12	Required 10-day Volume (cu. ft.)	Volume Provided (cu. ft.)
	85786	123589	0.158	105355	110581

Equations:

Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

V10-DAY = V6-HR * ACP(P10-DAYS - P6-HR) / 12 IN/FT

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 4/30/2025
BY: [Signature]
Hydrology #: M100018

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO
WARRANT THAT THE CITY OF ALBUQUERQUE OR THE CITY ENGINEER
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YEARS AFTER THE APPROVAL DATE IF NO RESIDENT PERMIT HAS BEEN
ISSUED ON THE DEVELOPMENT.

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
2/21/2025
P.E. # 7868

RIVERSIDE MHP
ALBUQUERQUE, NM

DRAINAGE AREA PLANS

TIERRA WEST, LLC

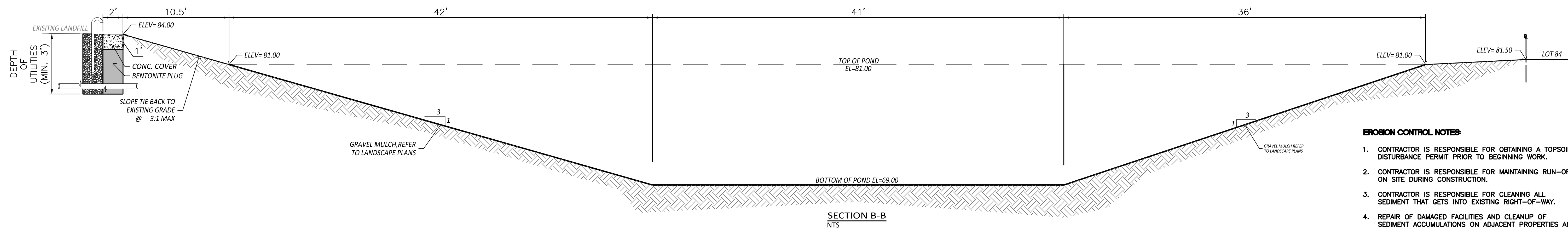
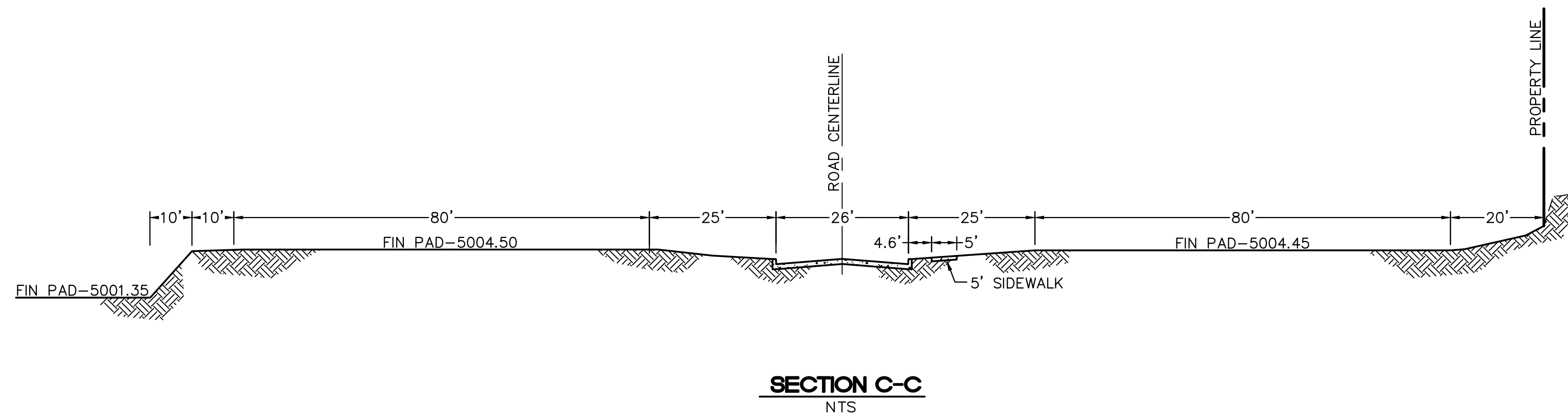
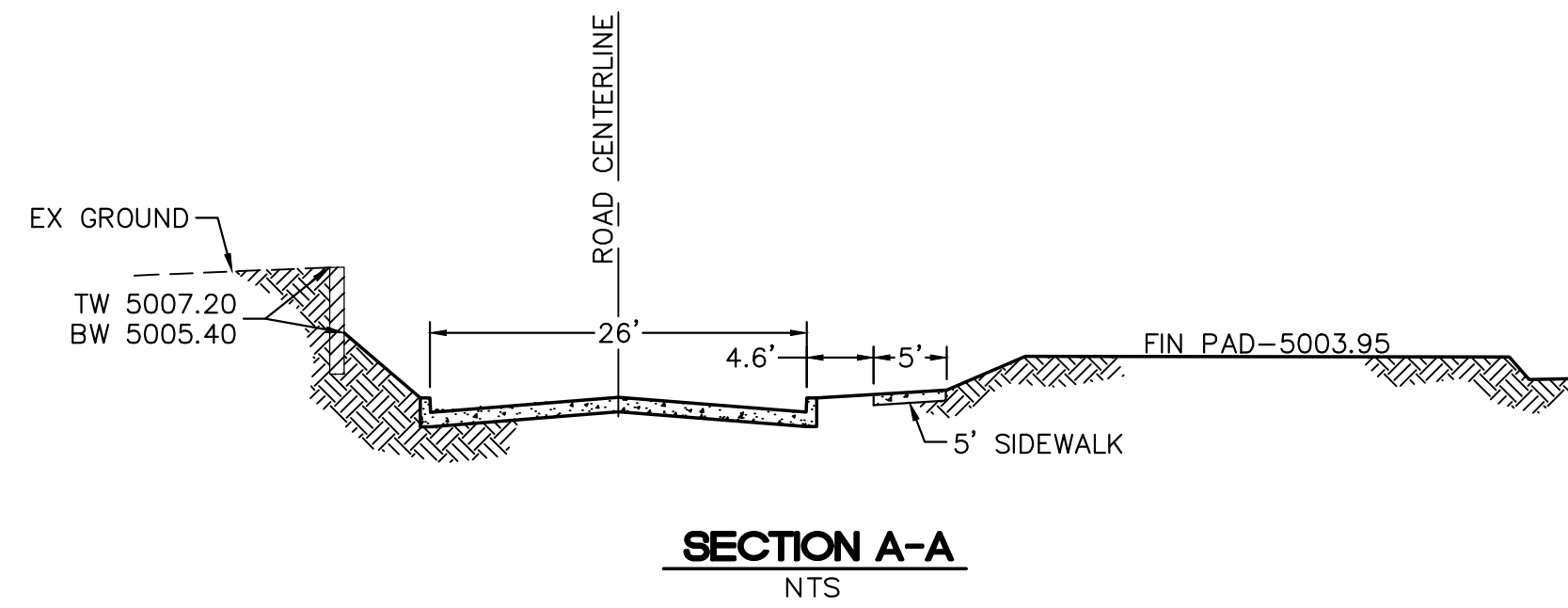
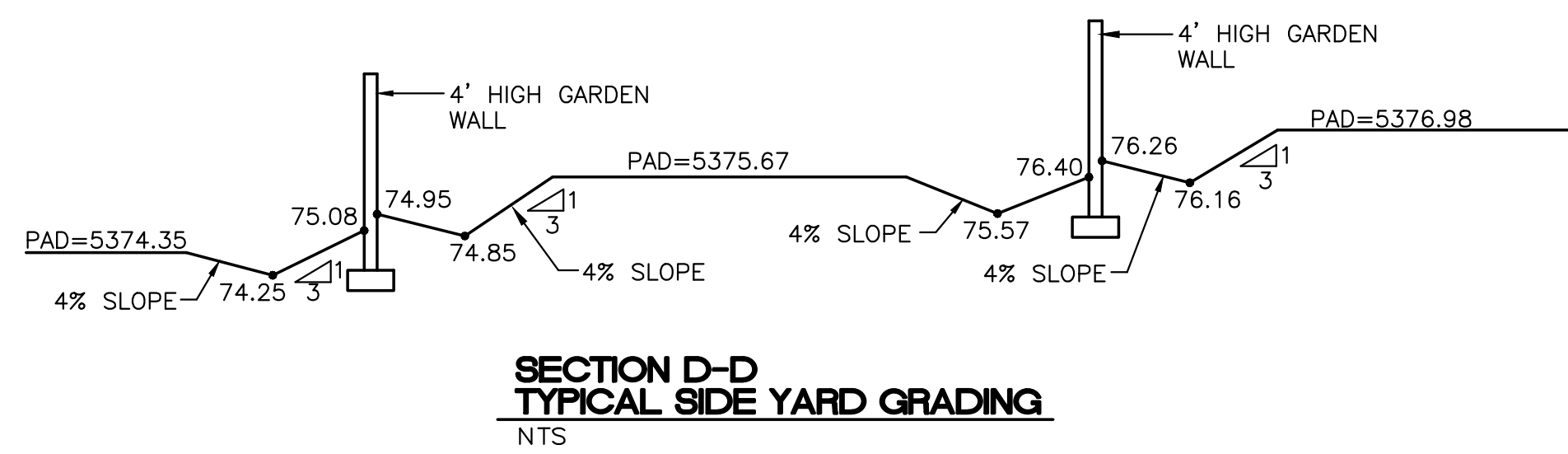
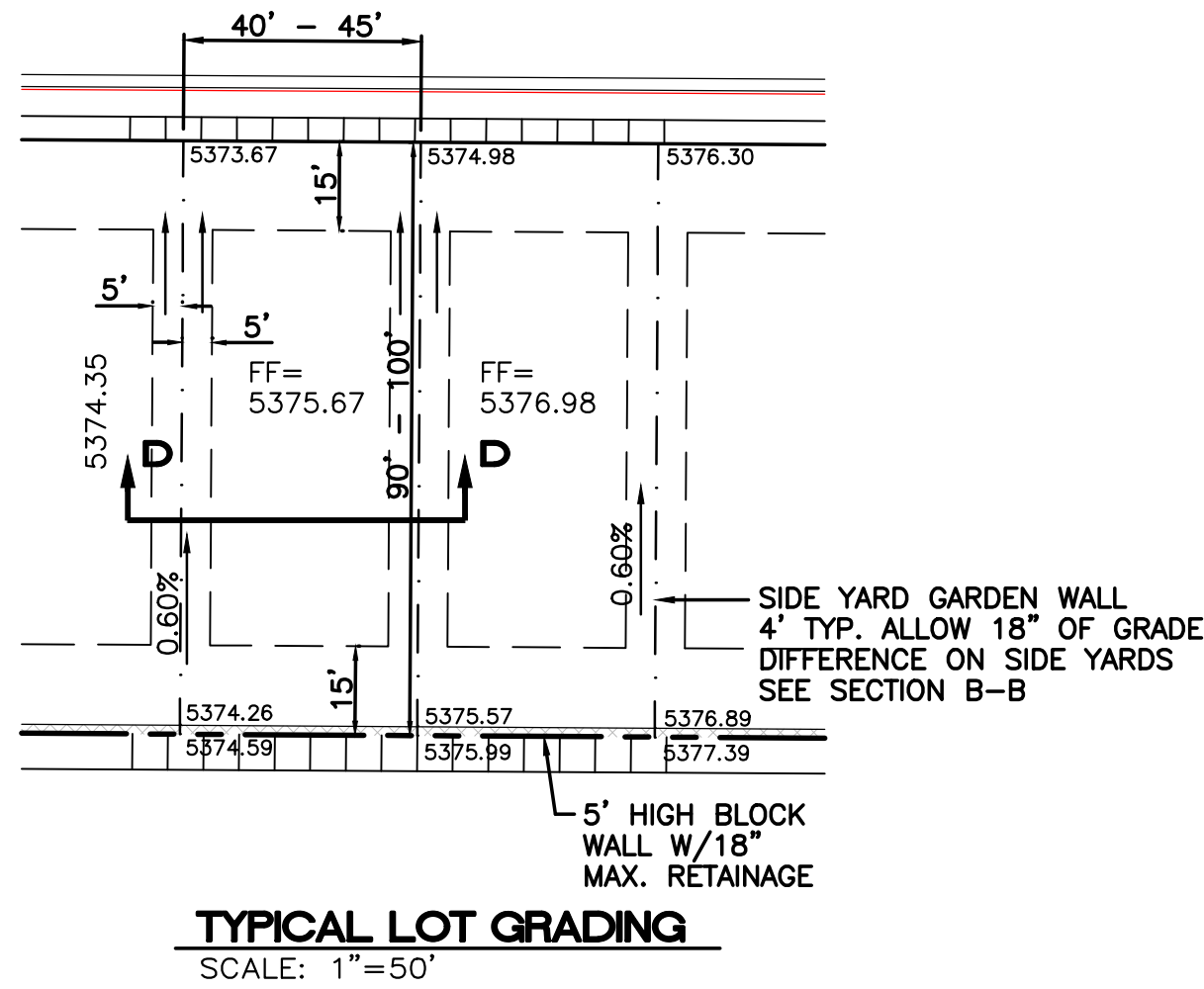
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
JL
DATE
2/21/2025
DRAWING
2022056-GR(FINALE)DWG


SHEET #
C2.1

JOB #
2022056

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- EROSION CONTROL NOTES:**
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 <p>P.E. # 7868</p>	RIVERSIDE MHP ALBUQUERQUE, NM	DRAWN BY JL
	GRADING DETAILS	DATE 2/21/2025
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2022056-GR(FINALE)DWG
		SHEET # C2.4 JOB # 2022056