

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 22, 2023

Assad Rizvi, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Riverside Mobile Home Park
2911 Ervien Lane SW
Revised Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 02/13/23
Hydrology File: M10D018**

Dear Mr. Rizvi:

PO Box 1293

Based upon the information provided in your submittal received 02/14/2023, the Revised Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

Albuquerque

PRIOR TO BUILDING PERMIT:

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Riverside MHP **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR 1 SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC'G TOGETHER WITH A TR OF LAND WITHIN THESE 1/4 SE 1/4 **City Address OR Parcel** 101005440552820545
101005534207240110

Applicant/Agent: TIERRA WEST LLC **Contact:** ASSAD RIZVI

Address: 5571 Midway Park Place NE Albuquerque, NM 87109 **Phone:** (505) 858-3100

Email: arizvi@tierrawestllc.com

Applicant/Owner: IMPACT MHC MANAGEMENT INC **Contact:** _____

Address: _____ **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: _____

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

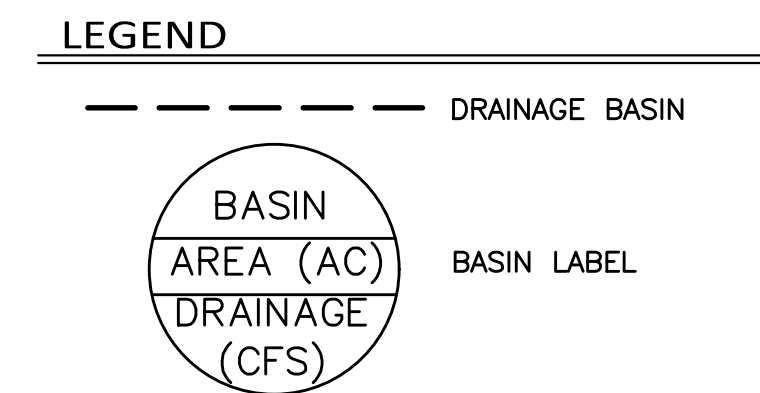
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 02.13.2023



EXISTING BASINS MAP



DPM Weighted E Method

Precipitation Zone 1
Ervien Lane & Coors
Riverside Mobile Home Park
TWLC Date 2/8/2023

Basin ID	Area (ft)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr					
				Treatment A	Treatment B	Treatment C	Treatment D	Weighted E (in)	Volume (cu-ft)	Flow (cfs)	Weighted E (in)	Volume (cu-ft)	Flow (cfs)			
E1	606,721.00	13.928	0.02176	0%	0.000	100%	13.928	0%	0.000	0.670	0.778	28.27	0.220	0.255	10.59	
E2	547,550.00	12.570	0.01964	0%	0.000	100%	12.570	0%	0.000	0.670	0.702	25.52	0.220	0.230	9.55	
O1	324,183.00	7.442	0.01163	0%	0.000	22%	1.637	21%	1.563	57%	4.242	1.478	0.917	0.848	0.526	15.83
O2	301,146.00	6.913	0.01080	0%	0.000	22%	1.521	21%	1.452	57%	3.941	1.478	0.852	0.848	0.488	14.71
Total	1,779,600.00	40.854	0.06383	0%	0.000	29.657	0.000	8.183	3.248	104.61	1.500	50.68				

10 day volume for a 100 year storm $V_{100} = V_{100} + A_p \cdot (P_{100} - P_{10}) / 12$

Existing Pond	Area	Area D	Required 10-day Volume (cu-ft)	Volume Provided (cu-ft)
OP1	184784	0.158	133638	166560

Existing Pond	Area	Area D	Required 10-day Volume (cu-ft)	Volume Provided (cu-ft)
OP2	171653	0.158	64275	38575

Basin ID	Area (ft)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
				Treatment A	Treatment B	Treatment C	Treatment D	Weighted E (in)	Volume (cu-ft)	Flow (cfs)	Weighted E (in)	Volume (cu-ft)	Flow (cfs)				
B1	606,721.00	13.928	0.02176	0%	0.000	39%	5.432	0%	0.000	61%	8.524	3.056	1.022	48.29	0.977	1.133	28.76
B2	547,550.00	12.570	0.01964	0%	0.000	100%	12.570	0%	0.000	0%	0.730	0.765	25.52	0.260	0.272	9.55	
Total	1,154,271.00	26.498	0.04140	0%	0.000	18.002	0.000	8.524	2.686	73.79	0.637	1.406	38.32				

10 day volume for a 100 year storm $V_{100} = V_{100} + A_p \cdot (P_{100} - P_{10}) / 12$
 $N = 1.48 \cdot S^{0.56}$
 $N = 93$ increase 14.41 6.433851 7 60.18431

Proposed Pond	Area	Area D	Required 10-day Volume (cu-ft)	Volume Provided (cu-ft)
P1	371313	0.158	142688	149296

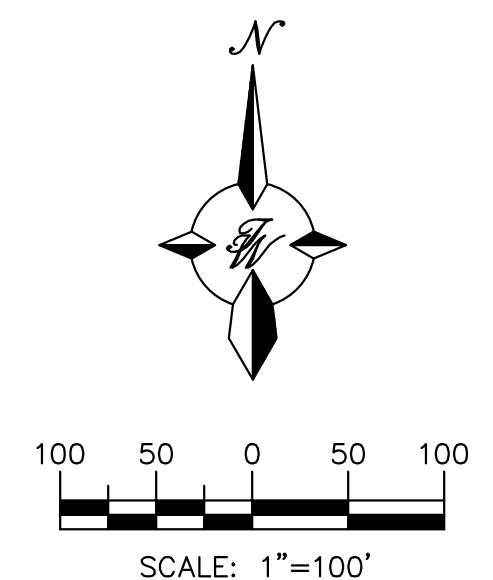
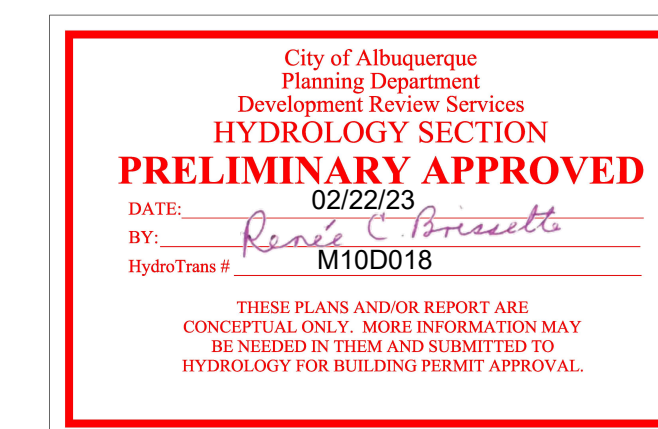
Existing Conditions

This development is a proposed expansion to the Riverside Mobile Home Park located at the northwest corner of Coors Blvd SW and Ervien Ln SW. The properties proposed for development with this project include an existing 85 lot manufactured home community bordered by an undeveloped area to the northwest making for a total area of 40.82 acres. The site is bordered to the West by the Amole del Norte Diversion Channel, to the North by a residential neighborhood, to the East and South by commercial properties, and to the south by a Ervien Ln SW and a self-storage facility. The site does not accept any offsite upland drainage.

The two basins comprising the existing developed portion of the mobile home park, O1 and O2, each have a respective drainage pond, OP1 and OP2, in the Southeast of the site. OP1 accepts drainage both from O1 as well as the undeveloped basins E1 and E2 to the northwest. O2 drains to the southeast down Anthony St and Sena St and then downhill towards Coors Blvd SW. A small fraction of the drainage from O2 drains to OP2.

Proposed Conditions

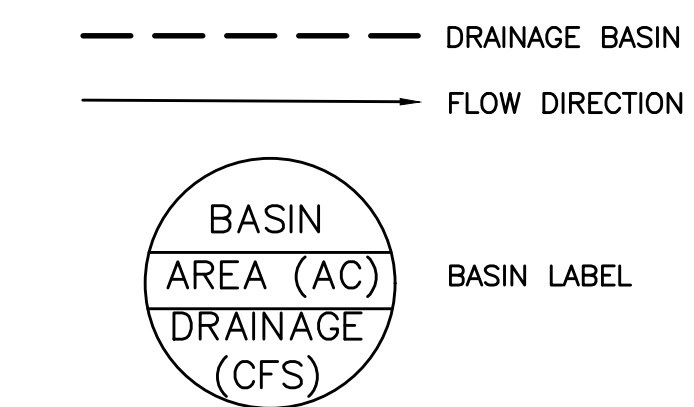
The proposed expansion to the RV park will be comprised entirely of the area made up of basin E1 or B1. Drainage from basin B1 will be directed to proposed pond P1, where the developed volume will be retained. Basin B2 will remain largely undeveloped apart from a connecting roadway and two additional lots and will continue to drain eastward to OP1. Basins O1 and O2 will not be modified with this development.



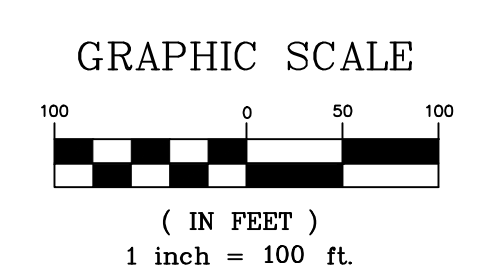
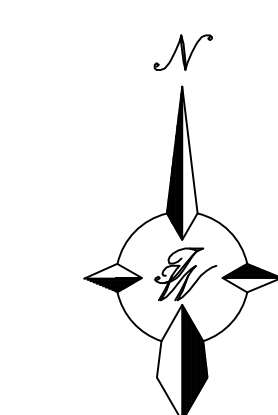
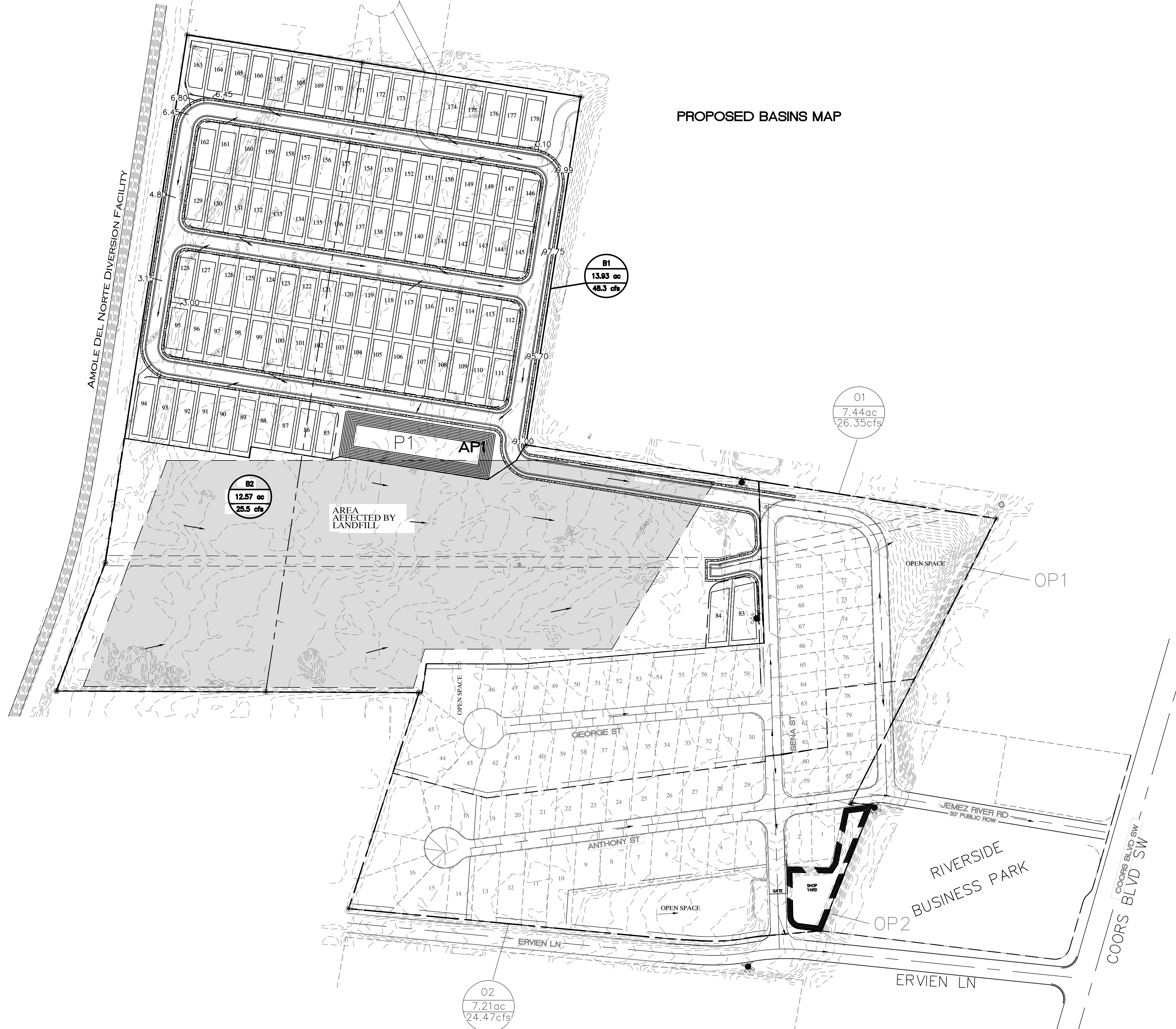
ENGINEER'S SEAL	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY AR
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 2-13-23
		DRAWING
ASSAD A. RIZVI P.E. #27632		SHEET # GR1
		JOB # 2022056

PROPOSED BASINS MAP

LEGEND



NOTE ON HISTORIC RIVERSIDE LANDFILL:
 PER DISCUSSIONS WITH CITY ENVIRONMENTAL HEALTH, THE CONTRACTOR WILL BE REQUIRED TO EXCAVATE AND COMPLETELY REMOVE LANDFILL MATERIAL BELOW ANY ROADWAY, UTILITY TRENCH OR DRAINAGE POND PROPOSED WITH THIS DEVELOPMENT.



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 02/22/23
 BY: *Renee C. Brantlett*
 HydroTrans # M10D018
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

ENGINEER'S SEAL	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY AR
		DATE 2-13-23
		CONCEPTUAL GRADING AND DRAINAGE PLAN
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR2
ASSAD A. RIZVI P.E. #27632		JOB # 2022056