

BIKE CORRAL

HC SIGN \_\_\_\_\_

### CURB DETAIL

CONC. ISLAND

SCALE: NTS

## MOTORCYCLE SIGN

## ACCESS RAMP

## WRITING SECTION

SCALE: NTS

## RASH ENCLOSURE

SCALE: 1/8" = 1'-0"

**DO NOT ENTER SIGN**

SCALE: NTS

SITE PI








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## KEYED NOTES

- A. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET.
- B. NEW 6' SIDEWALK PER COA STANDARD DRAWING #2430.
- C. TRASH ENCLOSURE REF DETAIL ON SHEET THIS SHEET.
- D. BIKE RACK, REF DETAIL ON THIS SHEET.
- E. CONC. CURB REF DETAIL ON THIS SHEET.
- F. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET.
- G. H.C. RAMP REF CITY OF ALBUQUERQUE STD DETAIL 2442
- J. HC PARKING SYMBOL.
- K. IRRIGATION BOX.
- L. PROPERTY LINE.
- M. MENU BOARD.
- N. LIGHT POLE.
- O. DO NOT BLOCK CROSSWALK SIGN DOUBLE SIDED
- P. DO NOT ENTER SIGN

## GENERAL NOTES

1. CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITY ENTRANCES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE LOCATIONS IN SUCH A MANNER TO ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF CONNECTION TO THEIR FACILITIES.
2. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
3. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
4. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4" OF TOPSOIL.
5. THE CONTRACTOR SHALL CONFORM TO ALL TRIBAL, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FORM REGULATORY AGENCIES.
6. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ON TO OTHER PROPERTIES BY CONSTRUCTING TEMPORARY EROSION CONTROL, BERMS OR INSTALLING SILT FENCES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
8. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OF PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
9. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
10. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
11. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3" AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
12. INSTALL ADA WARNING SURFACES WHERE ACCESS RAMPS INTERSECT DRIVES.

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|--------------------------------------------------------------------------------------|-----------------------------------------------------------------|
|   | DW - DESERT WILLOW<br>CHILOPSIS LINEARIS - 2 TRUNK 1 ½" CALIPER |
|   | PL - PURPLE LEAF PLUM<br>PRUNIS EDULIS - 1 ½" CALIPER           |
|   | A - ARIZONA ASH<br>CHRYSOETHAMUS NAUSEOSUS - 1 ½" CALIPER       |
|   | BG - BEAR GRASS<br>NOLINA MACROCARPA - 5 GAL                    |
|   | AS - AUTUMN CHERRY SAGE<br>SALVIA GREGGII - 5 GAL               |
|   | BS - BLUE MIST SPIREA<br>CARYOPTERIS CLANDONENSIS - 5 GAL       |
|  | SB - SPANISH BROOM<br>CYSTIUS PURGANS - 5 GAL                   |

 GRAVEL MULCH

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

MP *[Signature]* P.E. 6/7/2021

REFUSE ROUTING

DELIVERY ROUTING



## MX-L ZONING

TOTAL SITE AREA:	56,648 SF
BUILDING =	671 SF
PAVING =	19,211 SF
PAD SITE =	20,342 SF
LANDSCAPING =	14,261 SF
SIDEWALKS =	2,163 SF
AREA OF DEVELOPMENT =	36,306 SF



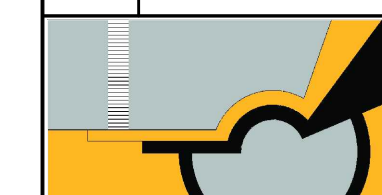
## VICINITY MAP

PARKING CALCULATION:

RESTAURANT: 671 SF X 0.008 = 5 SPACES

HC SPACES PROVIDED = 1  
MOTORCYCLE SPACES REQUIRED = 1  
BIKE RACK PROVIDED

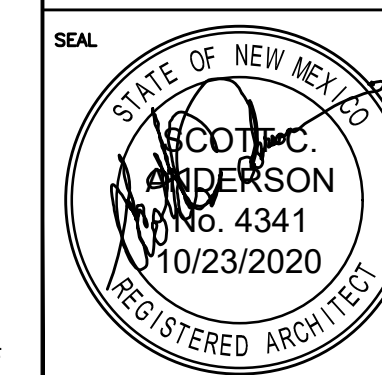
No	Revision Item	Date



**SCOTT C. ANDERSON**  
 & associates architects  
 4419 4th st nw, suite b  
 albuquerque, nm 87107  
 scott@scaarchitects.com  
 505.401.7575

**HUMAN BEAN COFFEE**  
1800 UNSER BLVD SW  
ALBUQUERQUE, NM 87121

DRAWING TITLE
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DESIGNED
DRAWN
CHECKED
REVIEWED
DATE 10/23/2020

NO  
**TCL**