

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 27, 2025

Ronald Bohannon, P.E.
Tierra West
5571 Midway Park PL NE,
Albuquerque, NM 87109

Re: Unser and Sage Development
Southwest Corner of Sage Rd and Unser Blvd
ALBUQUERQUE NM 87121
Conceptual Traffic Circulation Layout-DFT
Engineer's/Architect's Stamp 12-02-24 (M10D023)

Dear Mr. Liberman,

The conceptual TCL submittal received 12-12-24 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **An approved Traffic Scoping Form is required before full Traffic Circulation Layout approval.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,




Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

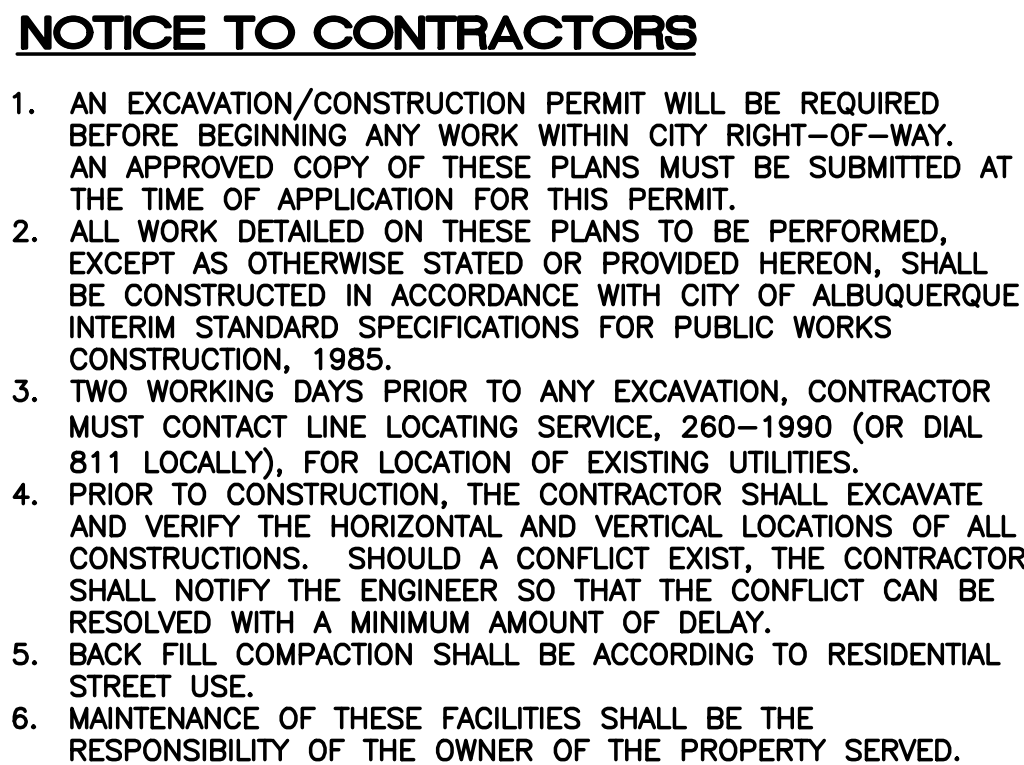
PO Box 1293

Albuquerque

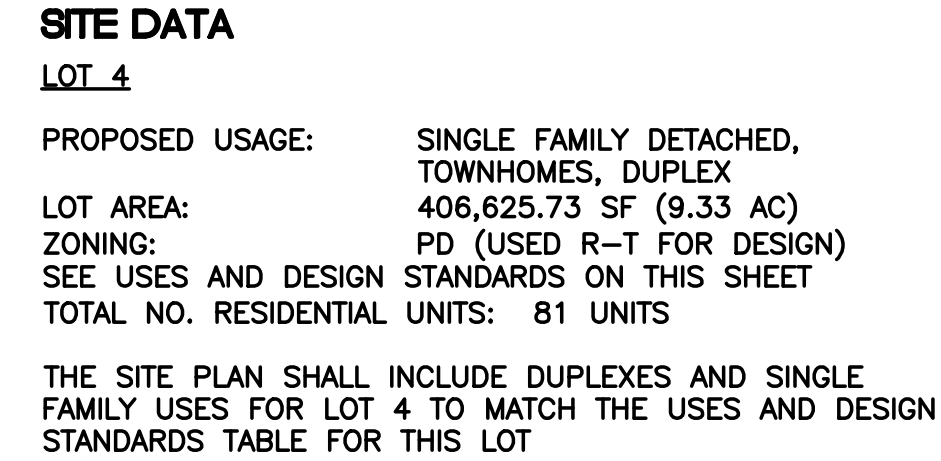
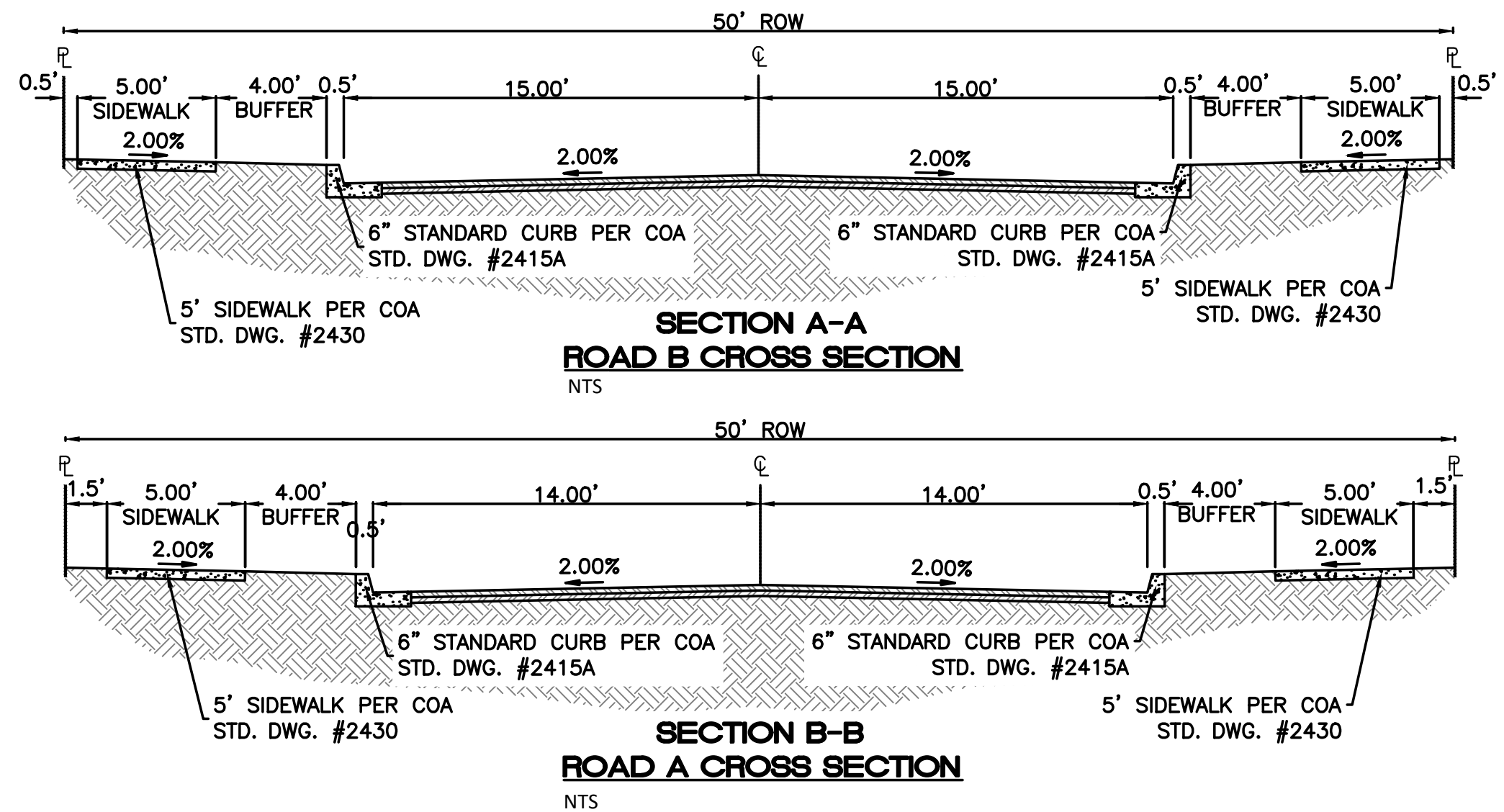
NM 87103

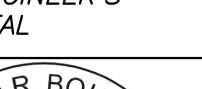

www.cabq.gov

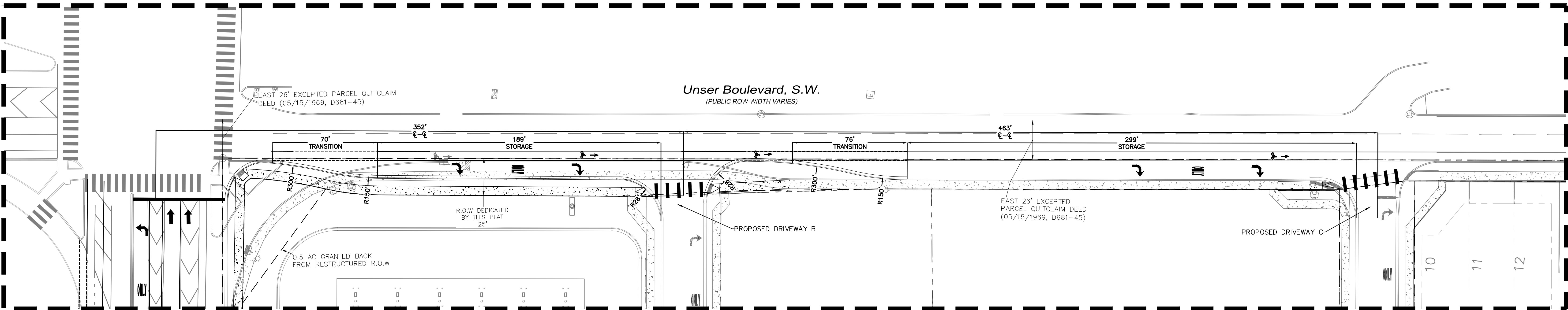
<p>ENGINEER'S SEAL</p> 	<p>SAGE AND UNSER DEVELOPMENT ALBUQUERQUE, NM</p>	<p>DRAWN BY TW</p>
<p>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</p> 	<p>TRAFFIC CONTROL LAYOUT</p>	<p>DATE 12/2/2024</p>
<p>12/2/2024</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	 <p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # TCL-1</p>
		<p>JOB # 2024029</p>



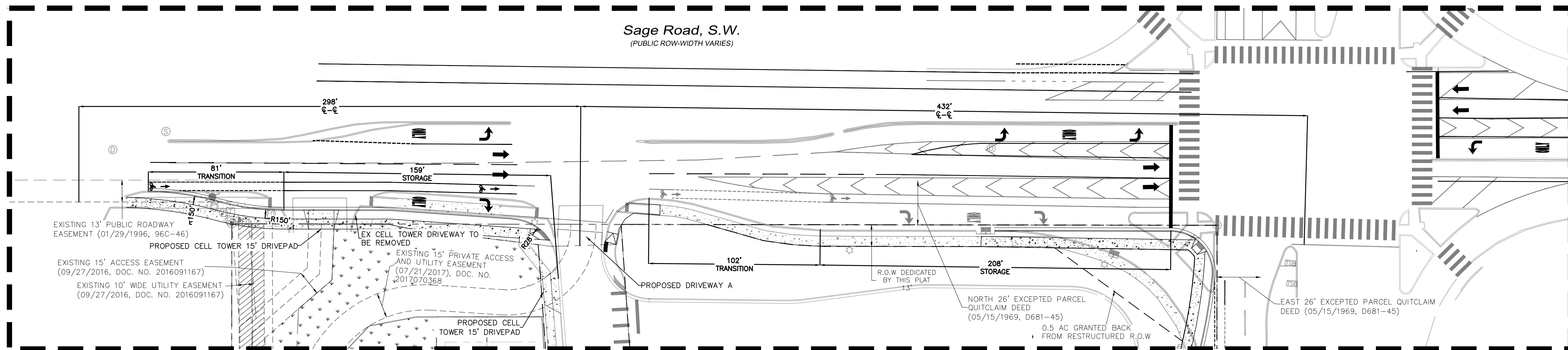
- # KEYED NOTES
- 1 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.)
 - 2 STANDARD CURB AND GUTTER (TYP.) PER COA STD DWG 2415B
 - 3 UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443
 - 4 ACCESSIBLE PARKING SPACE W/SIGN (TYP.),
SEE DETAIL SHEET C5.1
 - 5 16' LIGHT POLE (TYP.), SEE DETAIL
SHEET C5.01
 - 6 REMOVAL OF EXISTING CURB, GUTTER, AND SIDEWALK
 - 7 REMOVAL AND REPLACE EXISTING LIGHT POLE, 20'
MAX. EXCEPT 16' MAX. WITHIN 70' OF RESIDENTIAL
 - 8 DUMPSTER ENCLOSURE (TYP.), SEE DETAIL SHEET C5.1
 - 9 EXISTING 6' PUBLIC SIDEWALK (TYP.)
 - 10 MOTORCYCLE SPACE (4'x8' MIN) W/SIGN, SEE DETAIL SHEET C5.1
 - 11 BICYCLE RACK, SEE DETAIL SHEET C5.1 (5 SPACES)
 - 12 26' PYLON SIGN, SEE SHEET C5.0
 - 13 PROPOSED CROSSWALK MARKING (TYP.) PER COA STD
DWG 2600-106
 - 14 PROPOSED DRIVEPAD PER COA STD DWG 2425A
 - 15 PROPOSED STOP SIGN PER COA STD DWG 2600-501
 - 16 PROPOSED BOLLARD AT END OF PARKING SPACE (TYP), SEE SHEET C5.1



<p>ENGINEER'S SEAL</p> 	<p>SAGE AND UNSER DEVELOPMENT ALBUQUERQUE, NM</p>	<p>DRAWN BY TW</p>
<p>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</p> <p><i>[Signature]</i> 12/2/2024</p>	<p>CONCEPTUAL TRAFFIC CONTROL LAYOUT</p>	<p>DATE 12/2/2024</p> <p>DRAWING 2024029_TCL</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>	<p> TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # TCL-2</p> <p>JOB # 2024029</p>



DRIVEWAY B & C EXHIBIT
1:30



DRIVEWAY A EXHIBIT
1:30