

County of Bernalillo

State of New Mexico

BOARD OF COUNTY COMMISSIONERS

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JUAN R. VIGIL, COUNTY MANAGER



2400 BROADWAY, S.E.
ALBUQUERQUE, NEW MEXICO 87102
PUBLIC WORKS (505) 848-1500

MARK CARRILLO, ASSESSOR
JUDY D. WOODWARD, CLERK
IRA ROBINSON, PROBATE JUDGE
JOE BOWDICH, SHERIFF
ORLANDO VIGIL, TREASURER
May 19, 2000

Frank D. Lovelady, P.E.
Lovelady and Associates
300 Alamosa NW
Albuquerque, New Mexico 87107

**RE: Grading and drainage Plan for Albuquerque Mail Consultants Building Addition
(M12/D6) (PWDN 87) Engineer's Stamp Dated 5/8/00.**

Dear Mr. Lovelady:

This letter is a compilation of comments from my office as well as from County Public Works and AMAFCA. Prior to approval for Building Permit release, the above referenced plan must be revised to address the following comments:

1. Show the FEMA floodplain limits on the plan. This development must compensate for the volume of the floodplain that is taken up by the building, unless the downstream storm drain is sized to handle all of the floodplain volume. Please provide the capacity calculations for the inlet and for the storm drain. Otherwise, provide compensatory volume calculations for the floodplain and provide the pond calculations.
2. The plan states that the site drains both north and east, therefore show the on-site drainage basin boundaries on the plan.
3. The plan states that a small addition is proposed, however, this addition is not clearly labeled.

If you have any questions regarding these comments, please call me at 924-3982, or contact Brad Catanach at the County.

Sincerely,

A handwritten signature in cursive script, reading "Susan Calongne".

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Brad Catanach, P.E., Bernalillo County Public Works Division
Lisa Manwill, P.E., Albuquerque Metropolitan Arroyo Flood Control Authority
File



Brad Catanach
<bradc@mercury.bern
co.gov>

05/17/00 10:26 AM

To: "Susan Calongne (E-mail)" <scalongne@cabq.gov>

cc: Brian Kent <bkent@mercury.bernco.gov>

Subject: FW: PWDN #87

> -----Original Message-----

> From: Brian Kent

> Sent: Wednesday, May 17, 2000 9:40 AM

> To: Brad Catanach

> Subject: PWDN #87

>

> The following notes are for PWDN #87.

>

> Legal: Tract # A-1-A, Unit #5, Lands of A.P. Armijo

> Zone Page: M-12

>

> 1. Site appears to be over developed.

> 2. Provide ponding for nuisance drainage on the west side of the site.

> 3. Provide flow capability of storm sewer and storm sewer inlet.

>

> Brad, approve these notes before sending to Susan.

>

> B

check for fp limits

x - Lm

BERNALILLO COUNTY

- ☒ NEW SUBMITTAL
☐ RESUBMITTAL
☐ FINAL SIGNOFF



PUEP 896 SUSAN CALOWNE
PWD SUBMITTAL

Use for all PWD applications EXCEPT Street Excavation

TODAY'S DATE: MAY 9, 2000

CASE NO: PWD N 87

OWNER

OWNER ALBUQUERQUE MAIL CONSULTANTS PHONE 877-1985
 MAILING ADDRESS 1400 ISLETA BLVD SW CITY ALBUQ. NM ZIP 87105

AGENT

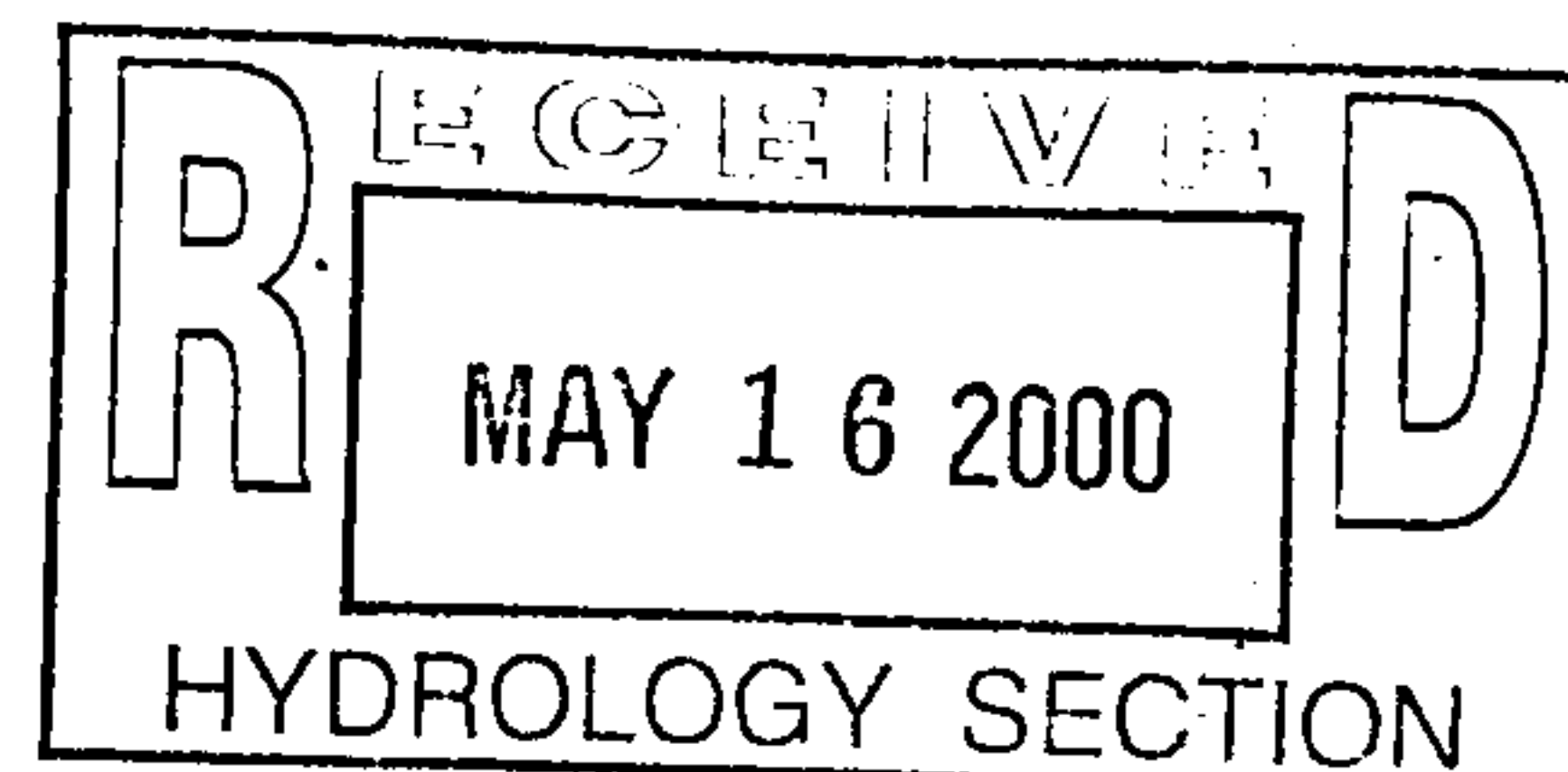
AGENT / CONTRACTOR FRANK LOVELADY PHONE 345-2267
 MAILING ADDRESS 300 ALAMOSA NW CITY ALB ZIP 87107
 STATE LICENSE NO EXP DATE VOLUME CLASS
 ARCHITECT/ENGINEER FRANK LOVELADY LICENSE NO NMPE 6512 PHONE 345-2267

SITE INFORMATION

SITE ADDRESS / DIRECTIONS 1400 ISLETA BLVD SW ZONE ATLAS NO: M-12
 LEGAL DESCRIPTION TRACT A-1-A, UNIT 4, LANDS OF A.P. ARMILJO
 LOT SIZE
 EXISTING BUILDING(S) AND USE: MAIL CONSULTING BUSINESS PROPOSED BUILDING(S) MAIL CONSULTING BUSINESS
 UPC 1-0120-55495-350 1-0403-

TYPE OF SUBMITTAL

- | | |
|---|--|
| ☐ REPLAT | ☐ TRAFFIC IMPACT ANALYSIS / TRAFFIC STUDY |
| ☐ MINOR SUBDIVISION | ☐ INFRASTRUCTURE LIST / DESIGN REVIEW |
| ☐ MAJOR SUBDIVISION | ☐ SPECIAL USE PERMIT |
| ☐ CONSTRUCTION DRAWINGS | ☐ BARRICADING PERMIT |
| ☒ GRADING & DRAINAGE PLAN | ☒ BUILDING PERMIT |
| ☐ AS-CONSTRUCTED GRADING & DRAINAGE PLAN | ☐ INSPECTION |
| ☐ VARIANCE REQUEST | ☐ OTHER (Specify): |
| ☐ LAND DIVISION | |



The issuance of a permit or a review or approval of plan specifications, computations, and shop drawings, shall not be interpreted to be a permit for, or an approval of any variance or violation of any of the provisions of any COUNTY or STATE codes, ordinances, standards, or policies. Nor shall such issuance of a permit or approval of plans, specifications, computations, and shop drawings prevent any authorized COUNTY representative or COUNTY inspector from thereafter requiring the correction of errors in said plans, specifications, computations, or shop drawings or from stopping construction operations which are being carried on thereunder when in violation of any COUNTY or STATE codes, ordinances, standards, or policies.

☐ Owner ☒ Agent ☐ Contractor

Signature

Frank D. Lovelady

Date

MAY 9, 2000

COUNTY

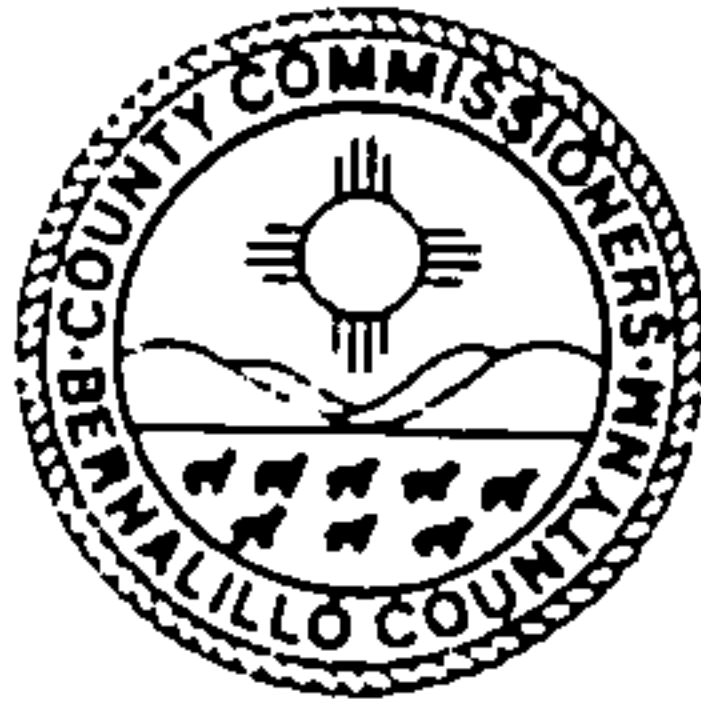
BERNALILLO COUNTY USE ONLY

C/R:

TOTAL FEE:

Receipt No:

Received By:



BOARD OF COUNTY COMMISSIONERS

HENRY GABALDON, CHAIRMAN
DISTRICT 1

EUGENE M. GILBERT, VICE CHAIRMAN
DISTRICT 3

AL VALDEZ, MEMBER
DISTRICT 2

PATRICIA "PAT" CASSIDY, MEMBER
DISTRICT 4

JACQUELYN SCHAEFER, MEMBER
DISTRICT 5

ALEX ABEYTA, COUNTY MANAGER

County of Bernalillo

State of New Mexico

ONE CIVIC PLAZA N.W.
ALBUQUERQUE, NEW MEXICO 87102

ALVIN J. CAMPBELL, SHERIFF
PATRICK J. PADILLA, TREASURER
GLADYS M. DAVIS, CLERK
SAM L. PEREA, ASSESSOR
THOMAS J. MESCALL, PROBATE JUDGE

October 20, 1989

Frank Lovelady
Lovelady & Associates
7408 Morrow, NE
Albuquerque, New Mexico 87110

RE: GRADING/PAVING PLAN FOR ALBUQUERQUE MAIL CENTER
(M-12/D6) REVISION DATED OCTOBER 3, 1989

Dear Mr. Lovelady:

Based on the information provided on your submittal of October 4, 1989,
the above referenced plan is approved for Grading/Paving Permit.

Please be advised that upon completion of both the addition and the
paving, Engineer's Certification will be required prior to release of the
Certificate of Occupancy.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,


Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1186)

BUILDING ADDITION TO
PROJECT TITLE: ALBUQUERQUE MAIL CENTER ZONE ATLAS/DRNG. FILE #: M-12/D-6

LEGAL DESCRIPTION: TRACT A-1-A, LANDS OF A.P. ARMIJO

CITY ADDRESS: 1400 ISLETA BLVD. S.W.

ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank Lovelady

ADDRESS: 7408 Morrow Ave. NE 87110 PHONE: 883-7973

OWNER: ALBUQUERQUE MAIL CENTER CONTACT: JUAN ARMIJO

ADDRESS 1507 GOFF BLVD.S.W. PHONE: 877-1985

ARCHITECT: AGRI-BUILDING COMPANY CONTACT: KEN DUBAY

ADDRESS: 4330 BROADWAY BLVD. S.E. PHONE: 877-4155

SURVEYOR: LOVELADY & ASSOCIATES CONTACT: FRANK LOVELADY

ADDRESS: 7408 MORROW AVE. N.E. PHONE: 883-7973

CONTRACTOR: AGRI-BUILDING COMPANY CONTACT: KEN DUBAY

ADDRESS: 4330 BROADWAY BLVD. S.E. PHONE: 877-4155

PRE-DESIGN MEETING:

 YES

DRB NO.

 NO

EPC NO.

 COPY OF CONFERENCE RECAP
SHEET PROVIDED

PROJECT NO.

 INFORMAL CONFERENCE W/BERNIE MONTOYA

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

 DRAINAGE REPORT

 SKETCH PLAT APPROVAL

 X DRAINAGE PLAN

 PRELIMINARY PLAT APPROVAL

 CONCEPTUAL GRADING & DRAIN. PLAN

 SITE DEVELOPMENT PLAN APPROVAL

 GRADING PLAN

 FINAL PLAT APPROVAL

 EROSION CONTROL PLAN

 X BUILDING PERMIT APPROVAL

 ENGINEER'S CERTIFICATION

 FOUNDATION PERMIT APPROVAL

 X Revised D.P. To show:
paving on east side
of Building

 CERTIFICATE OF OCCUPANCY APPROVAL

 ROUGH GRADING PERMIT APPROVAL

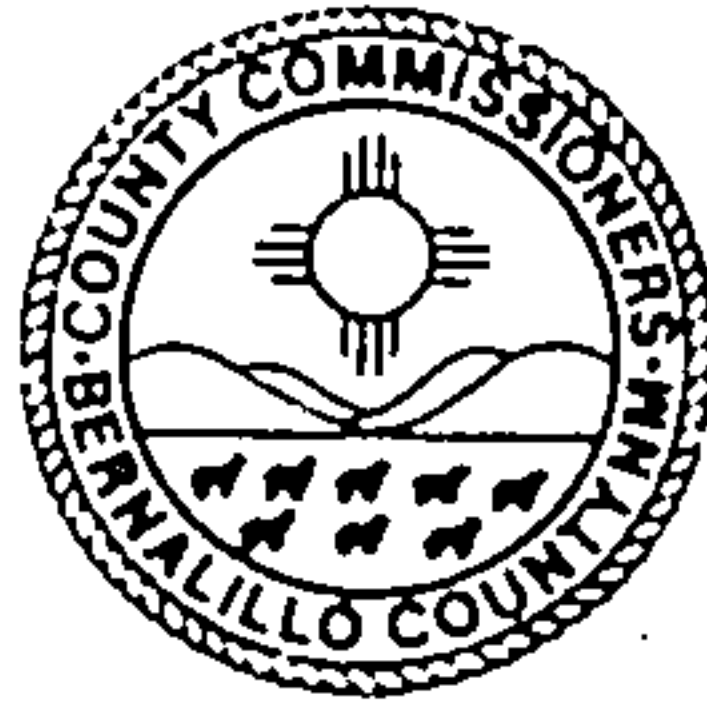
DATE SUBMITTED: August 8, 1989

 GRADING/PAVING PERMIT APPROVAL

BY: Frank D. Lovelady SECTION OTHER

(SPECIFY)

Frank D. Lovelady, P.E.



BOARD OF COUNTY COMMISSIONERS

HENRY GABALDON, CHAIRMAN
DISTRICT 1

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AL VALDEZ, MEMBER
DISTRICT 2

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DISTRICT 4

JACQUELYN SCHAEFER, MEMBER
DISTRICT 5

ALEX ABEYTA, COUNTY MANAGER

County of Bernalillo

State of New Mexico

ONE CIVIC PLAZA N.W.
ALBUQUERQUE, NEW MEXICO 87102

ALVIN J. CAMPBELL, SHERIFF
PATRICK J. PADILLA, TREASURER
GLADYS M. DAVIS, CLERK
SAM L. PEREA, ASSESSOR
THOMAS J. MESCALL, PROBATE JUDGE

August 18, 1989

Frank Lovelady, P.E.
Lovelady & Associates
7408 Morrow, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR AN ADDITION TO ALBUQUERQUE MAIL CENTER
(M-12/D6) ENGINEER'S STAMP DATED JULY 25, 1989

Dear Mr. Lovelady:

Based on the information provided on your submittal of August 8, 1989,
the above referenced plan is approved for Building Permit (Hydrology
Only).

Prior to Certificate of Occupancy release, Engineer's Certification per
the Engineer's Certification check list will be required.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1186)

DRAINAGE INFORMATION SHEET

BUILDING ADDITION TO
PROJECT TITLE: ALBUQUERQUE MAIL CENTER ZONE ATLAS/DRNG. FILE #: M-12/D-6

LEGAL DESCRIPTION: TRACT A-1-A, LANDS OF A.P. ARMIJO

CITY ADDRESS: 1400 ISLETA BLVD. S.W.

ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank Lovelady

ADDRESS: 7408 Morrow Ave. NE 87110 PHONE: 883-7973

OWNER: ALBUQUERQUE MAIL CENTER CONTACT: JUAN ARMIJO

ADDRESS 1507 GOFF BLVD.S.W. PHONE: 877-1985

ARCHITECT: AGRI-BUILDING COMPANY CONTACT: KEN DUBAY

ADDRESS: 4330 BROADWAY BLVD. S.E. PHONE: 877-4155

SURVEYOR: LOVELADY & ASSOCIATES CONTACT: FRANK LOVELADY

ADDRESS: 7408 MORROW AVE. N.E. PHONE: 883-7973

CONTRACTOR: AGRI-BUILDING COMPANY CONTACT: KEN DUBAY

ADDRESS: 4330 BROADWAY BLVD. S.E. PHONE: 877-4155

PRE-DESIGN MEETING:

☐ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED
INFORMAL CONFERENCE W/BERNIE MONTOYA

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

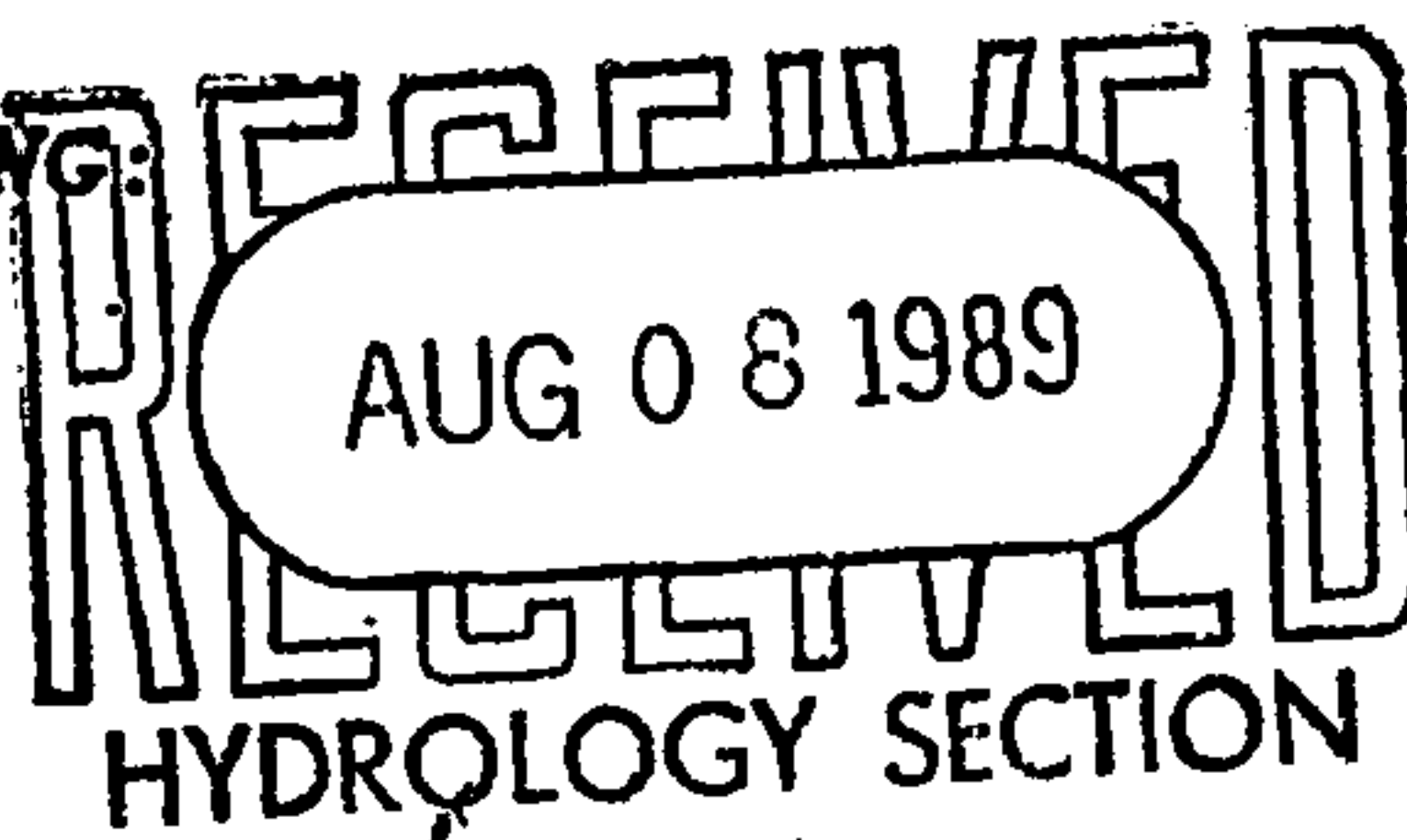
☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN. PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION



DRB NO. 1 B

EPC NO. _____

PROJECT NO. _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

OTHER _____ (SPECIFY)

DATE SUBMITTED: August 8, 1989

BY: Frank D. Lovelady
Frank D. Lovelady, P.E.

County of Bernalillo

State of New Mexico

BOARD OF COUNTY COMMISSIONERS

BARBARA J. SEWARD, CHAIR
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2400 BROADWAY, S.E.
ALBUQUERQUE, NEW MEXICO 87102
PUBLIC WORKS (505) 848-1500

MARK CARRILLO, ASSESSOR
JUDY D. WOODWARD, CLERK
IRA ROBINSON, PROBATE JUDGE
JOE BOWDICH, SHERIFF
ORLANDO VIGIL, TREASURER

June 14, 2000

Frank D. Lovelady, P.E.
Lovelady and Associates
300 Alamosa NW
Albuquerque, New Mexico 87107

**RE: *Grading and Drainage Plan for Albuquerque Mail Consultants Building Addition
(M12/D6) (PWDN 87) Engineer's Stamp Dated 5/20/00.***

Dear Mr. Lovelady:

Based on the information provided, the above referenced plan dated May 20, 2000 is approved for Building Permit release.

However, the FEMA floodplain limits were not show correctly on the 1" = 20' plan. Attached is a plot from the GIS showing the limits of the floodplain with the lot lines. As you can see, the floodplain encompasses almost the entire site. Please notify the property owners that the buildings are located within the FEMA floodplain and that flood insurance may be required. If it is, then an elevation certificate would help to reduce the cost of the flood insurance premiums.

As you are aware, the Engineer's Certification is required prior to release of the Certificate of Occupancy for this site. Please revise the floodplain limits so that they are shown correctly on the certification plan.

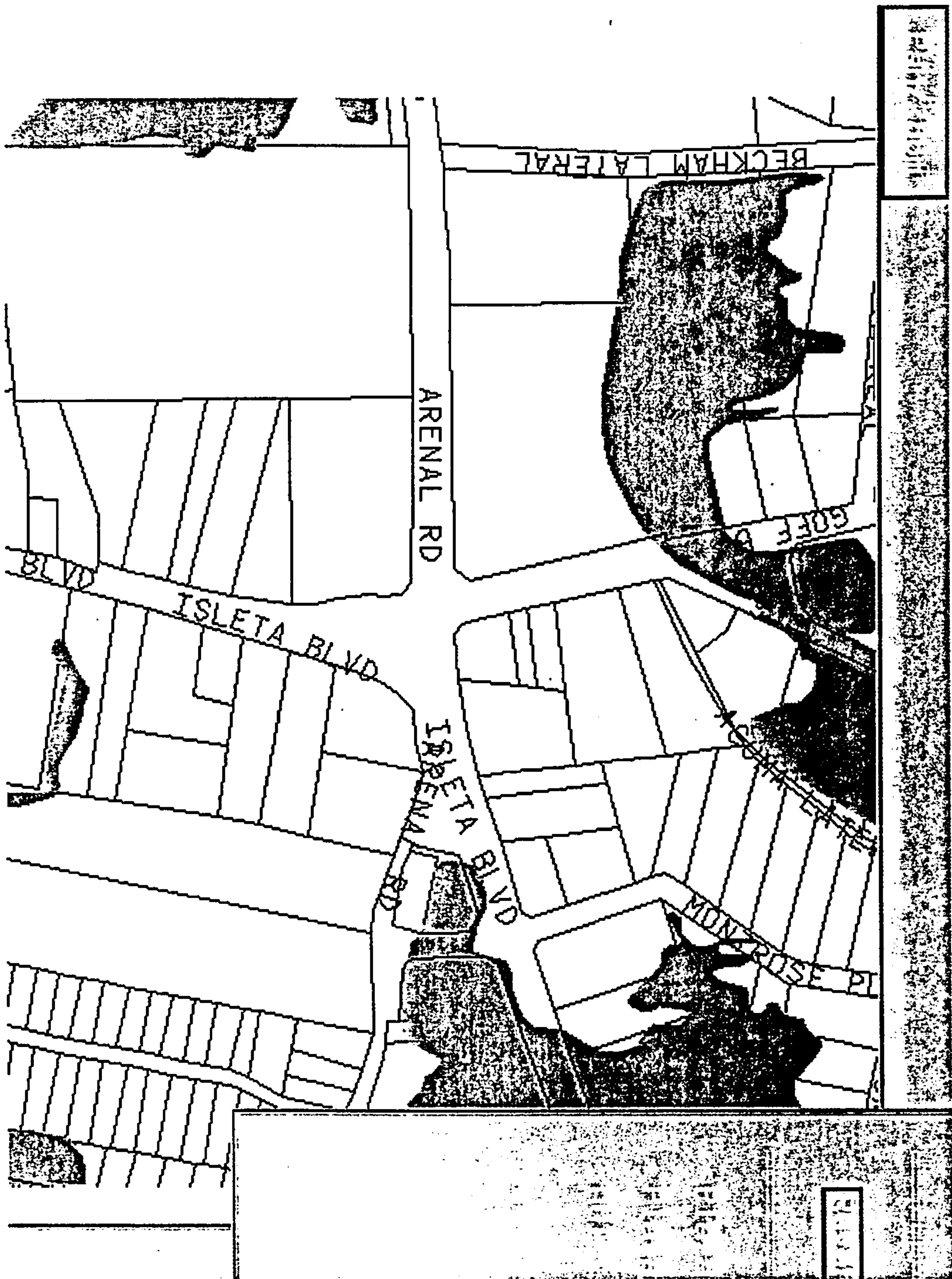
If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

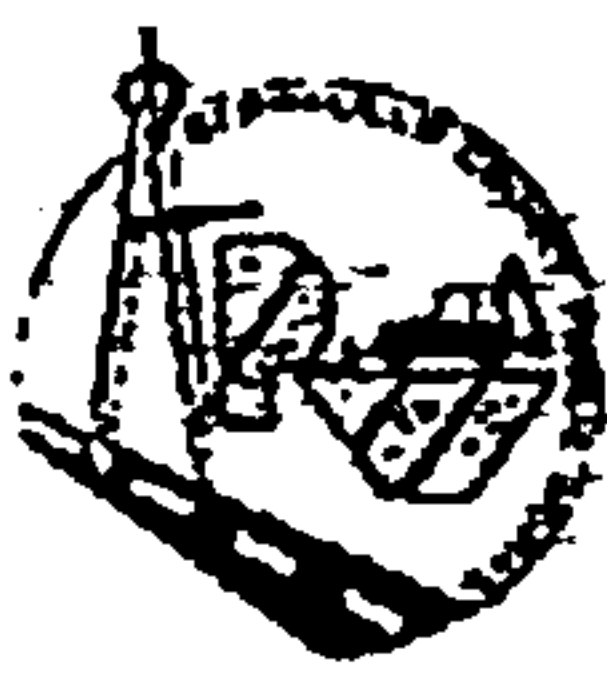
A handwritten signature in cursive script, reading "Susan M. Calongne".

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Brad Catanach, P.E., Bernalillo County Public Works Division
Don Dixon, P.E., Albuquerque Metropolitan Arroyo Flood Control Authority
File



BERNALILLO COUNTY



P 02 P 445

PWD SUBMITTAL

☐ NEW SUBMITTAL

☒ RESUBMITTAL

☐ FINAL SIGNOFF

Use for all PWD applications EXCEPT Street Excavation

TODAY'S DATE: MAY 22, 2000

PWD N 87

CASE NO: PWEP 896

OWNER

OWNER ALBUQUERQUE MAIL CONSULTANTS PHONE 877.1985

MAILING ADDRESS 1400 ISLETA BLVD SW CITY ALBUQ ZIP 87105

AGENT

AGENT/CONTRACTOR FRANK LOVEADY PHONE 345-2267

MAILING ADDRESS 300 ALAMOSA NW CITY ALBUQ ZIP 87107

STATE LICENSE NO. EXP. DATE VOLUME CLASS

ARCHITECT/ENGINEER FRANK D. LOVEADY LICENSE NO. NMPE 6512 PHONE 345-2267

SITE INFORMATION

SITE ADDRESS / DIRECTIONS 1400 ISLETA BLVD. SW

ZONE ATLAS NO. M-12

LEGAL DESCRIPTION TRACT A-1 LANDS OF AP ARM LTD

LOT SIZE 7000 SF

EXISTING BUILDING(S) AND USE: PRIVATE POST OFFICE

PROPOSED BUILDING(S): ADDITION TO PRIVATE POST OFFICE

UPC 10-120-554-953-501-040-3

TYPE OF SUBMITTAL

☐ REPEAT

☐ MINOR SUBDIVISION

☐ MAJOR SUBDIVISION

☐ CONSTRUCTION DRAWINGS

☒ GRADING & DRAINAGE PLAN

☐ AS-CONSTRUCTED GRADING & DRAINAGE PLAN

☐ VARIANCE REQUEST

☐ LAND DIVISION

☐ TRAFFIC IMPACT ANALYSIS / TRAFFIC STUDY

☐ INFRASTRUCTURE LIST / DESIGN REVIEW

☐ SPECIAL USE PERMIT

☐ BARRICADING PERMIT

☒ BUILDING PERMIT

☐ INSPECTION

☐ OTHER (Specify):

The issuance of a permit or a review or approval of plan specifications, computations, and shop drawings, shall not be interpreted to be a permit for, or an approval of any variance or violation of any of the provisions of any COUNTY or STATE codes, ordinances, standards, or policies. Nor shall such issuance of a permit or approval of plans, specifications, computations, and shop drawings prevent any authorized COUNTY representative or COUNTY inspector from thereafter requiring the correction of errors in said plans, specifications, computations, or shop drawings or from stopping construction operations which are being carried on thereunder when in violation of any COUNTY or STATE codes, ordinances, standards, or policies.

☐ Owner ☒ Agent ☐ Contractor

Signature

Frank D. Loveady

Date

MAY 22, 2000

COUNTY

BERNALILLO COUNTY USE ONLY

CR's

TOTAL FEE

Receipt No.

Received By:

Frank D. Lovelady, PE

300 ALAMOSA ROAD NW
ALBUQUERQUE, NM 87107

Telephone (505)345-2267 Fax (505)345-2115

May 20, 2000

Susan M. Calongne, PE
City/County Floodplain Administrator
Bernalillo County Public Works Division
2400 Broadway, SE
Albuquerque, NM 87102

RE: GRADING AND DRAINAGE PLAN FOR ALBUQUERQUE MAIL
CONSULTANTS BUILDING ADDITION (M12/D6)(PWDN 87)
ENGINEER'S STAMP DATED 5/8/00, REVISION DATE 5/20/2000.

Dear Ms. Calongne:

In response to your letter of May 19, 2000, the following items are in answer to your specific comments .

1. The FEMA floodplain limits have been shown on the plan. No new construction is within the floodplain. Therefore, compensation should not be required. The proposed addition is being constructed in an area that is presently paved with asphalt so there is no increase in runoff due to the construction of the proposed addition.
2. The on-site drainage basins have been shown with calculations of the runoff quantities for each.
3. The existing building has been labeled as existing and the proposed addition has also been labeled. Sorry for not being more clear in my first submittal.

If you have any questions or if you require additional information, please do not hesitate to contact me.

Sincerely,

Frank D. Lovelady
Frank D. Lovelady, PE

