

CITY OF ALBUQUERQUE



January 8, 2016

Junie Wentworth
BDA Architecture, PC
901 Lamberton Plc., NE
Albuquerque, NM 87107

Re: Bernalillo County Animal Care and Resource Center
3001 2nd St., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 12-4-15 (M13-D005)

Dear Ms. Julie Wentworth,

Based upon the information provided in your submittal received 1-7-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. The parking spaces labeled in the same location as a concrete pad for generator cannot be counted in the total parking space calculations.
4. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
5. Identify all existing access easements and rights of way with dimensions.
6. Identify the right of way width, medians, curb cuts, and street width on 2nd St.
7. Please dimension the distance between all abutting parking spaces.
8. Please list the width and length for all parking spaces.
9. Show all drive aisle widths and radii.
10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
11. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
12. A five-foot keyway is required for dead-end parking aisles. Please show this detail for all dead-end parking aisles.

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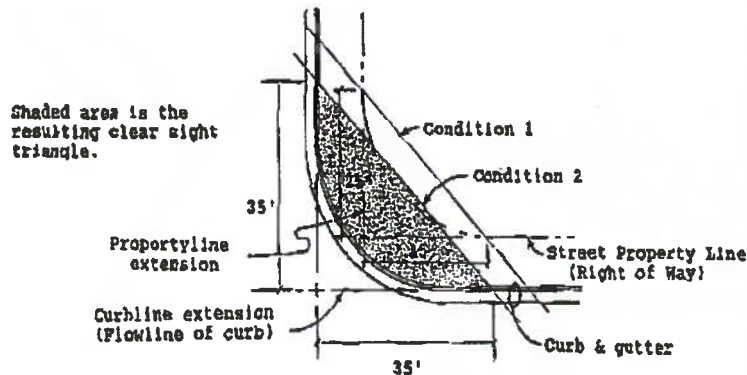
13. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show and dimension this pedestrian walk way.
14. Please detail and call out COA Standard Drawings for ADA ramps to pedestrian walk ways.
15. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call this detail.
16. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
17. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles. Please detail the type of engineered surface materials proposed for both the paved and graveled parking spaces and drive isles.
18. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for entrance on 2nd St.

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19. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
20. Please include two copies of the traffic circulation layout at the next submittal.

CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. Michel', is written over the printed name.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Bernalillo County Animal Care & Resources Building Permit #: BCBP2016-0002 City Drainage #: M13D005
DRB#: _____ EPC#: CENTER Work Order#: _____
Legal Description: _____
City Address: 3801 2nd STREET SW, ABQ, NM 87105
Engineering Firm: SLOTT MCGEE PE Contact: SLOTT MCGEE
Address: 9100 TANDAN DR. NE
Phone#: 505 263 2905 Fax#: _____ E-mail: slottmcmgee@gmail.com
Owner: Bernalillo County Public Works Contact: Kerry Bassore
Address: 2400 BROADWAY SE ABQ, NM 87102
Phone#: 505 848-1552 Fax#: _____ E-mail: kbassore@bernco.gov
Architect: BDA ARCHITECTURE, PC Contact: JULIE WENTWORTH
Address: 901 LAMBERSON PLACE, NE ABQ, NM 87107
Phone#: 505 858 0180 Fax#: _____ E-mail: julie.wentworth@bdaarc.a
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

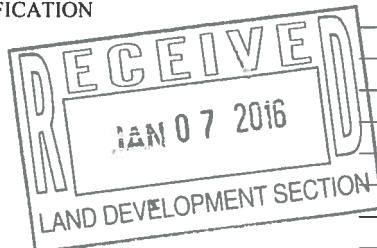
- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/7/2016 By: JULIE WENTWORTH, BDA ARCHITECTURE

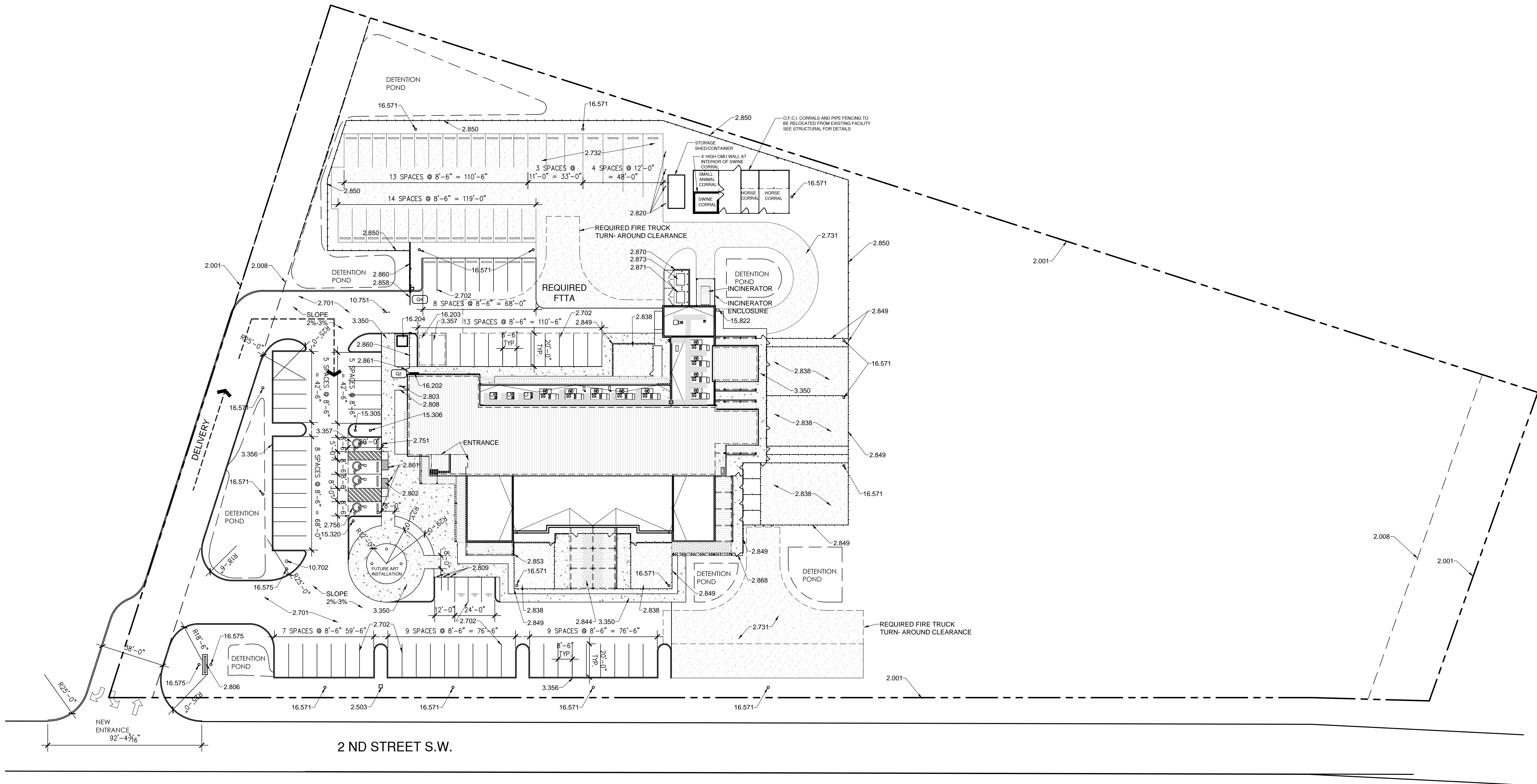
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

PLAZA del SOL, 600 2nd NW.

Save Date: January 6, 2016 - 11:43 AM - Mark
Print Date: January 6, 2016 - 4:15 PM
Drawing Name: C:\Projects\14-0572\Bernalillo County\Sheets\14-0572\Architectural Site Plan.dwg

A1 ARCHITECTURAL SITE PLAN

1" = 30'-0"



GENERAL NOTES

A. THIS IS NOT A SURVEY. INFORMATION TAKEN FROM A SURVEY PREPARED BY HARRIS SURVEYING INC., DATED NOVEMBER 7TH, 2014. 14-0572 REFER TO THAT SURVEY FOR ALL BOUNDARY AND EXISTING CONDITIONS.

PARKING ANALYSIS

CITY OF ALBUQUERQUE ZONING CODE 14-16-3-1 OFFSTREET PARKING REGULATIONS RETAIL AND SERVICE USE:

TOTAL BUILDING AREA: 17,186 SF
1 SPACE / 200 SF / FIRST 15,000 SF: 75 SPACES
1 SPACE / 250 SF / 2,186 SF: 9 SPACES
TOTAL: 84 SPACES

ADA PARKING:
51-100 PARKING SPACES: REQUIRED: 4 SPACES
PROVIDED: 4 SPACES

MOTORCYCLE PARKING:
51-100 PARKING SPACES: REQUIRED: 3 SPACES
PROVIDED: 3 SPACES

BICYCLE PARKING:
1 SPACE / 20 PARKING SPACES: REQUIRED: 5 SPACES
PROVIDED: 5 SPACES

REFERENCE KEYNOTES

DIVISION 02 - SITE CONSTRUCTION

- 2.001 - PROPERTY LINE
- 2.008 - EASEMENT LINE
- 2.503 - EXISTING UTILITIES
- 2.701 - ASPHALT PAVING
- 2.702 - PARKING STRIPES
- 2.731 - GRAVEL DRIVE
- 2.732 - GRAVEL TRAILER PARKING
- 2.751 - VAN ACCESSIBLE PARKING
- 2.756 - ADA PARKING SYMBOL
- 2.801 - ADA PARKING SIGN
- 2.802 - ADA ACCESSIBLE RAMP
- 2.803 - BIKE RACK
- 2.806 - MONUMENT SIGN - N.I.C.
- 2.808 - BICYCLE PARKING SIGN PER LOCAL CODE REQUIREMENTS
- 2.809 - MOTORCYCLE PARKING SIGN
- 2.820 - BOLLARD
- 2.838 - DECOMPOSED GRANITE
- 2.844 - EXTERIOR RUNS
- 2.849 - FENCE
- 2.850 - CHAIN LINK FENCE
- 2.853 - WOOD FENCE
- 2.858 - WROUGHT IRON GATE
- 2.860 - 6' HIGH VINYL FENCE
- 2.861 - SECURITY GATE
- 2.868 - MAN GATE
- 2.870 - TRASH AND RECYCLING ENCLOSURE
- 2.871 - DUMPSTER - N.I.C.
- 2.873 - RECYCLING CONTAINER - N.I.C.

DIVISION 03 - CONCRETE

- 3.350 - CONCRETE SIDEWALK
- 3.356 - CONCRETE CURB
- 3.357 - CONCRETE PAD

DIVISION 10 - SPECIALTIES

- 10.702 - FLAGPOLE
- 10.751 - POST MOUNT CALL BOX / GATE KEYPAD

DIVISION 15 - MECHANICAL

- 15.305 - FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS
- 15.306 - POST INDICATOR VALVE - SEE CIVIL DRAWINGS
- 15.320 - FIRE HYDRANT
- 15.822 - GAS METER LOCATION - VERIFY WITH UTILITY BEFORE INSTALL

DIVISION 16 - ELECTRICAL

- 16.202 - ELECTRIC METER LOCATION - VERIFY WITH UTILITY BEFORE INSTALL
- 16.203 - GENERATOR
- 16.204 - ELECTRICAL TRANSFORMER
- 16.571 - PARKING LOT LIGHT POLE
- 16.575 - GROUND MOUNTED SPOT LIGHT

TRAFFIC CIRCULATION LAYOUT

REV.#	DATE	COMMENTS
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-

INITIALS	REVIEWS
-	BDA DSGN. REV.
-	BDA TECH REV.

BCAC
PROJECT NO.: 1431
DRAWN: LLK, NF
DATE: 1/6/2016

TCL
OF

BERNALILLO COUNTY ANIMAL CARE AND RESOURCE CENTER

3001 2nd Street SW
Albuquerque, New Mexico 87105
Bernalillo County

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12.04.15