CITY OF ALBUQUERQUE

2945 Broadway SE

THREE HUNDRED YEARS 1706 • 2006
ALBUQUERQUE
Making History

July 1, 2005

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

Re: Private Garage for A & E Auto Sales, 2945 Broadway Boulevard SE, Grading and Drainage Plan
Engineer's Stamp dated 5-15-05 (M14-D1A)

Dear Mr. Sabay,

Based upon the information provided in your submittal received 6-20-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
File

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

DRAINAGE INFORMATION SHEET

PROJECT TITLE:PRIVATE GARAGE FOR A & E AUTO — ZONE MAP/DRG. FILE # **M14-D1A**
DRB #: — PC#: **N/A** — WORK ORDER#:

LEGAL DESCRIPTION: TRACT A , BLOCK B, SOUTH BROADWAY ACRES UNIT NO. 1
CITY ADDRESS: **2945 BROADWAY BLVD. S.E.**

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT — CONTACT: **BERNIE J. MONTOYA**
ADDRESS: **8624 CASA VERDE AVE. N.W.** — PHONE: **250-7719**
CITY, STATE: **Albuquerque, New Mexico** — ZIP CODE: 87120

OWNER: — CONTACT:
ADDRESS: — PHONE:
CITY, STATE: **Albuquerque, New Mexico** — ZIP CODE:

ARCHITECT: — CONTACT:
ADDRESS: — PHONE:
CITY, STATE: — ZIP CODE:

SURVEYOR: **N/A** — CONTACT:
ADDRESS: — PHONE:
CITY, STATE: — ZIP CODE:

CONTRACTOR: **N/A** — CONTACT:
ADDRESS: — PHONE:
CITY, STATE: — ZIP CODE:

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
_X_ DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ PAVING PLAN
____ TCL CERTIFICATION
____ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:
_X_ YES VERBAL WITH KRSITAL METRO
____ NO
____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA / FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
_X_ FOUNDATION PERMIT APPROVAL

_X_ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY APPROVAL
GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
X____ OTHER (SPECIFY) RESUBMITTAL

DATE SUBMITTED: 06/19/2005 BY: Bernie J Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED
JUN 20 2005
HYDROLOGY SECTION

June 13, 2005

Bradley l. Bingham, P.E.
Principal Engineer, Planning Department
Development and Building Services

RE: PRIVATE GARAGE FOR A & E AUTO SALES @ 2945 BROADWAY S.E. (M14-D1A)

Dear Mr. Bingham:

This letter is in response to your comments sent on May 31, 2005.

1. According to your calculations and write up, approximately 6400 sq. ft. of landscaping will be added to this site. Please show the location of this additional landscaping. *I have included a copy of the landscaping plan for your information.*

2. Calculations and details, including the volume required / provided and the water surface elevation, must be provided for the pond. *The pond volume calculations are provided within the plan drawing along with the 100-year water surface elevation*

3. The existing contour lines indicate flow entering the site from the northern lot. How is this flow prevented from entering the site? *Additional spot elevations have been obtained and indicated on the plan drawing. The lot to the north is lower.*

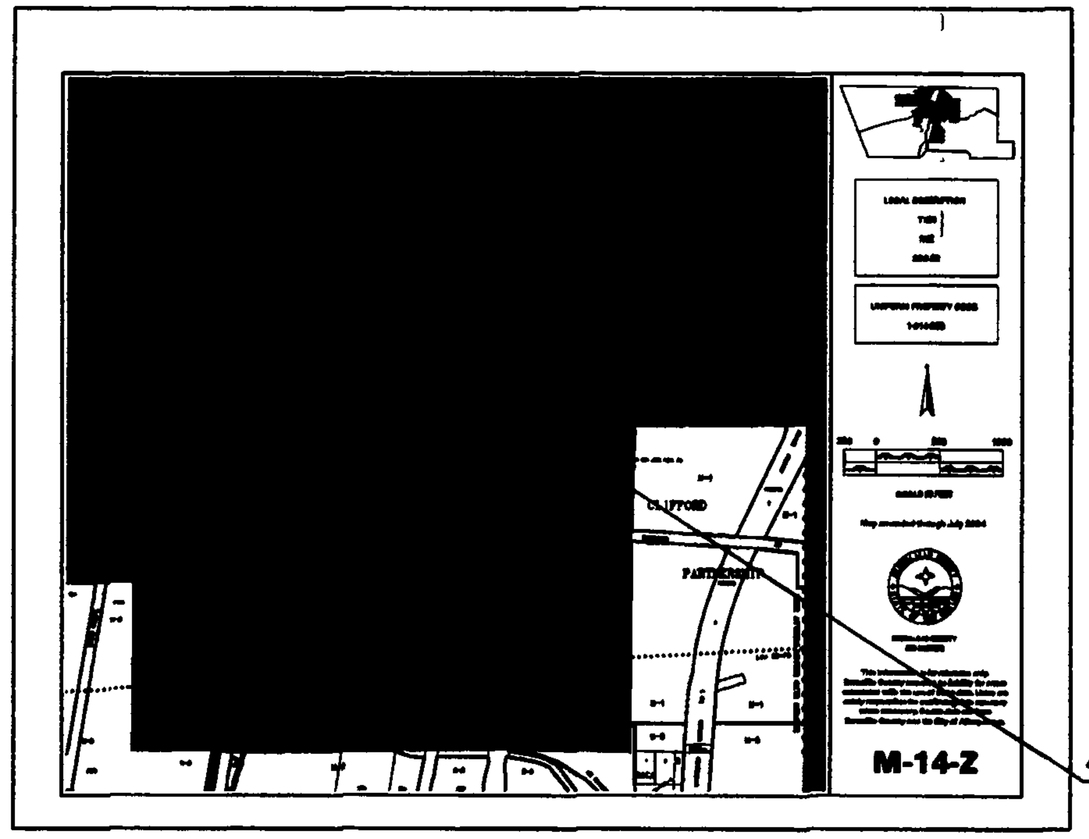
If I can be of further assistance, please fell free to call me at 250-7719.

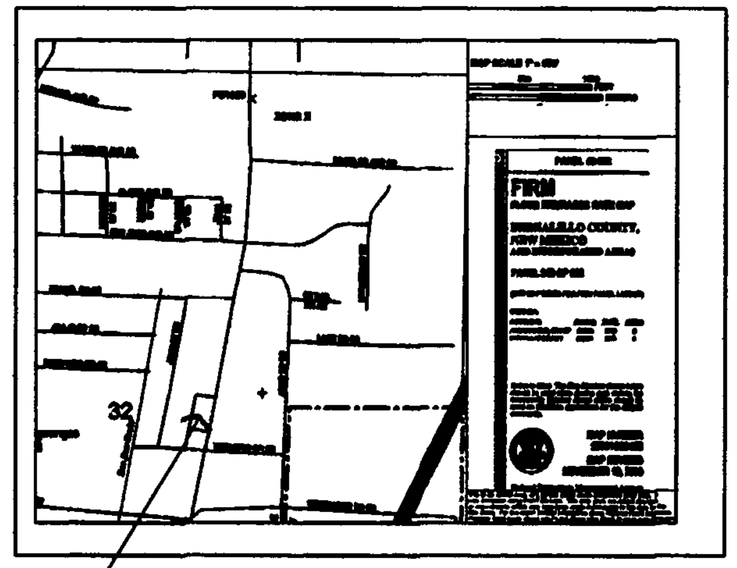
Sincerely

Bernie J. Montoya

Bernie J. Montoya C.E.

RECEIVED
JUN 20 2005
HYDROLOGY SECTION





SITE LOCATION

LANDSCPE NOTES;

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% AT MATURITY.

PECAN MULCH
SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

PLANT LEGEND

	PLANT NAME	QUANTITY
	ASH OR HONEY LOCUST FRAXINUS OR GLEDITSIA TRIACANTHOS 2" CAL	10
	PURPLE-LEAF PLUM PRUNUS CERASTIFERA 1 1/2" CAL	8
	DESERT WILLOW CHILOPSIS LINEARIS 5 GAL	1
	RED YUCCA HESPERALOE PARVIFLORA 5 GAL	3
	HONEYSUCKLE LONICERA FRAGRANTISSIMA 1 GAL	1
	CHAMISA CHRYSOTHAMNUS NAUSEOSUS 1 GAL	8
	SANTA FE BROWN GRAVEL OVER LANDSCAPE FABRIC	

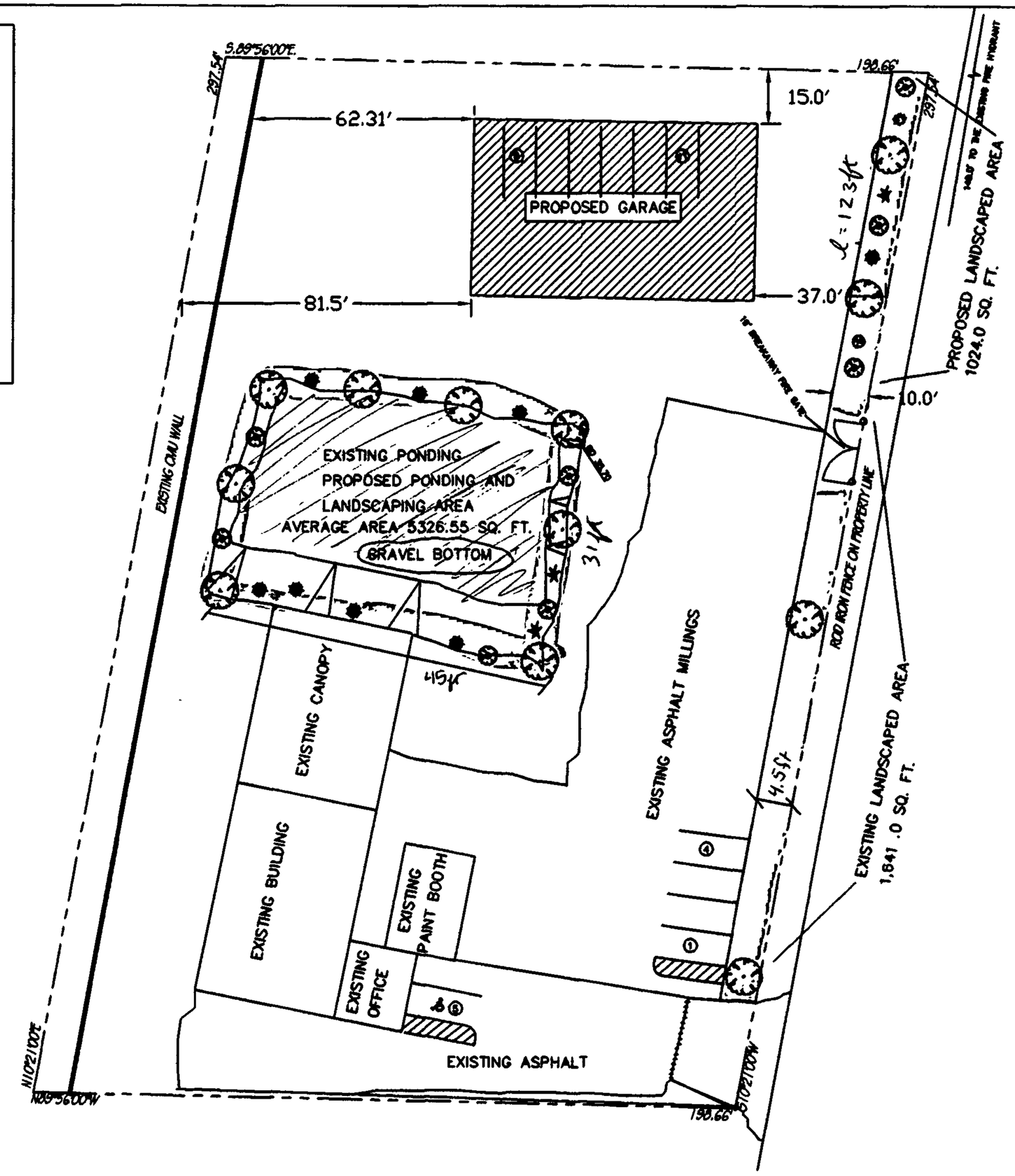
IRRIGATION NOTES:

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANSCAPE CALCULATIONS

TOTAL AREA 58,370.40 SQ. FT.
BUILDING AREA 8,775.0 SQ. FT.
NET AREA 49,595.40 SQ FT

LANDSCAPE REQUIREMENTS
49,595.40x15% =7,439.10 SQ FT
TOTAL LANDSCAPE PROVIDED
=7,991.75 SQ FT



ZONING DESIGN DATA

ZONING	= SU-2 HC	
LOT AREA	= 58,370.40 S.F.	1.34 ACRES
TOTAL BUILDING AREA	= 8,775.0 SF	
NEW LOT AREA	= 49,595.40 S.F.	
LANDSCAPING REQUIRED	= 7,439.10 S.F	
LANDSCAPING PROVIDED	= 9,000 SQ. FT.	
PARKING REQUIRED	= 5 TOTAL SPACES.	
PARKING PROVIDED	= 11 TOTAL SPACES.	

NOTE:
NO SOLID WASTE COLLECTION ON-SITE, OWNER HAS PERMIT TO COLLECT ON-SITE AND TRANSPORT TO CITY DUMP SITE.
A & E AUTO ACCOUNT # 22280453

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= U PRIVATE GARAGE
TYPE OF CONSTRUCTION	= 2-B
AREA OF BUILDING	= 4,000 SQ. FT.
SEISMIC ZONE	= D
SOIL BEARING CAPACITY	= 1,800 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER: Fb = 970 MIN.
	= STEEL: 50,000 PSI.
WIND DESIGN LOAD	= 15 PSF HORIZ. (75 MPH WIND)
ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= N/A
CORRIDOR DESIGN LOAD	= N/A
BASIC ALLOWABLE	= 8,500 SQ. FT.
TOILET CALCULATIONS	= NA
FIRE DEPARTMENT FLOW REQUIREMENT	= 900 GPM

BUILDING CODES USED

1997	IBC
1997	UPC
1997	UMC
2002	NEC

N

SITE & LANDSCAPING PLAN 1" =20'

JOB NO.
DATE: MAY 2005
REVISIONS

Sheet Title
SITE/LANDSCAPING PLAN

Drawn By: BJM & HTH Checked By:

Albuquerque, New Mexico

Project Name
PRIVATE GARAGE FOR
EMIGDIO BUSTILLOS A & E AUTO SALES
2945 BROADWAY BOULEVARD S.E. ALBUQUERQUE, NEW MEXICO

SHEET NO. 2 OF 5

S/L

CITY OF ALBUQUERQUE

May 31, 2005

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

Re: Private Garage for A & E Auto Sales, 2945 Broadway Boulevard SE, Grading and Drainage Plan
Engineer's Stamp dated 4-17-05 (M14-D1A)

Dear Mr. Sabay,

Based upon the information provided in your submittal received 5-11-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. According to your calculations and write up, approximately 6400 square feet of landscaping will be added to this site. Please show the location of this additional landscaping.
2. Calculations and details, including the volume required / provided and water surface elevation, must be provided for the pond.
3. The existing contour lines indicate flow entering the site from the northern lot. How is this flow prevented from entering the site?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

A E Auto Sales - Private Garage

Q Factor (Zone 2)			
A	B	C	D
1.56	2.28	3.14	4.7

Existing Conditions % Land Treatment				Total Area (Acres)
A	B	C	D	
0%	3%	69%	28%	1.34

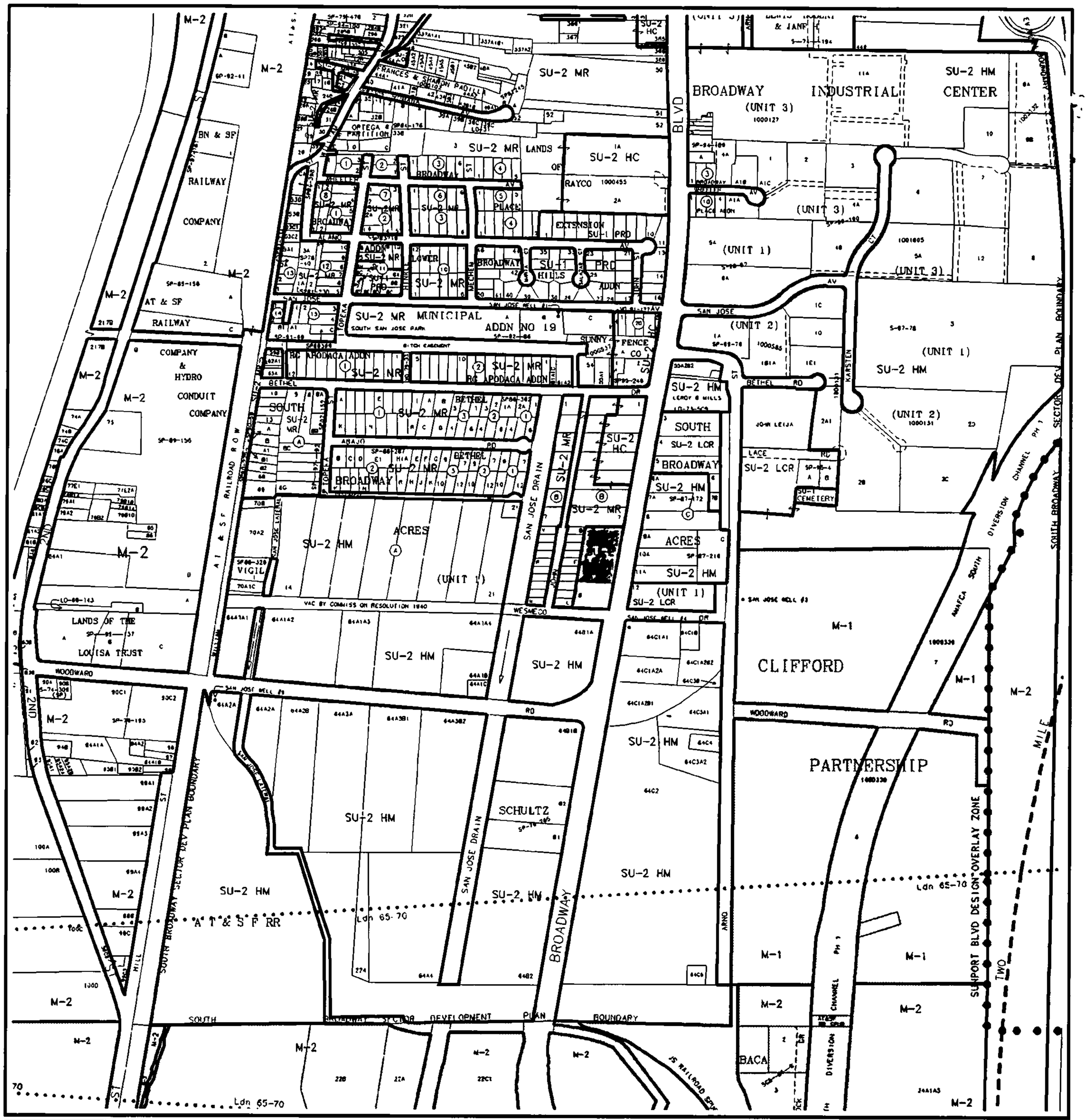
Proposed Conditions % Land Treatment				Total Area (Acres)
A	B	C	D	
0%	14%	51%	35%	1.34

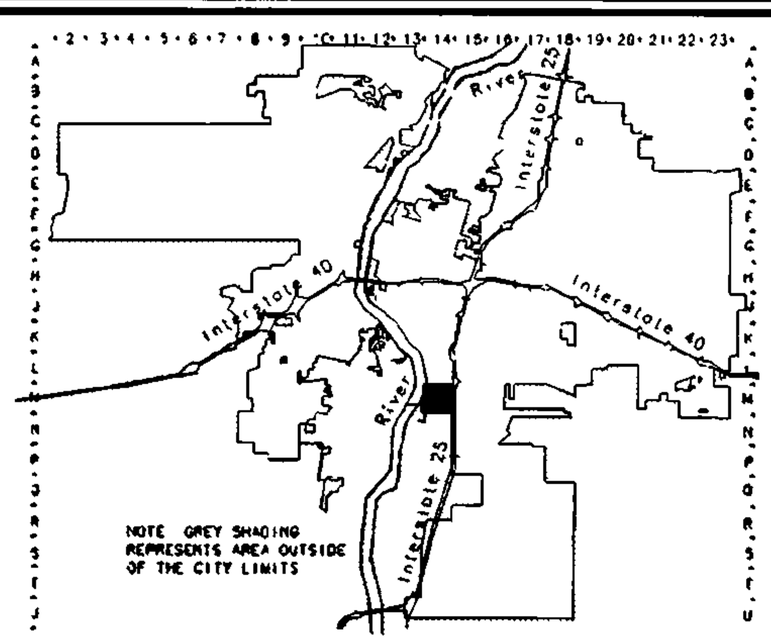
Existing Conditions Area (Acres) per Land Treatment			
A	B	C	D
0.00	0.04	0.92	0.38

Proposed Conditions Area (Acres) per Land Treatment			
A	B	C	D
0.00	0.18	0.69	0.47

Existing Conditions Q_{100} (cfs)				
A	B	C	D	TOTAL
0.00	0.09	2.90	1.78	**4.76**
			TOTAL	**4.76**

Proposed Conditions Q_{100} (cfs)				
A	B	C	D	TOTAL
0.00	0.42	2.15	2.21	**4.78**
			TOTAL	**4.78**





Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET

250 0 750 1000

Zone Atlas Page

M-14-Z

Map Amended through August 04, 2004

DRAINAGE INFORMATION SHEET

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CITY, STATE: **Albuquerque, New Mexico** — ZIP CODE: 87120

OWNER: Emigdio & Annam. Bustillos — CONTACT:
ADDRESS: — PHONE:
CITY, STATE: **Albuquerque, New Mexico** — ZIP CODE:

ARCHITECT: — CONTACT:
ADDRESS: — PHONE:
CITY, STATE: — ZIP CODE:

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____ ENGINEER'S CERTIFICATION
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____ RESUBMITTAL

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____ COPY PROVIDED

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DATE SUBMITTED: 05/11/2005 BY: Bernie J Montoya

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RECEIVED
MAY 11 2005
HYDROLOGY SECTION