

Issued Hydrology

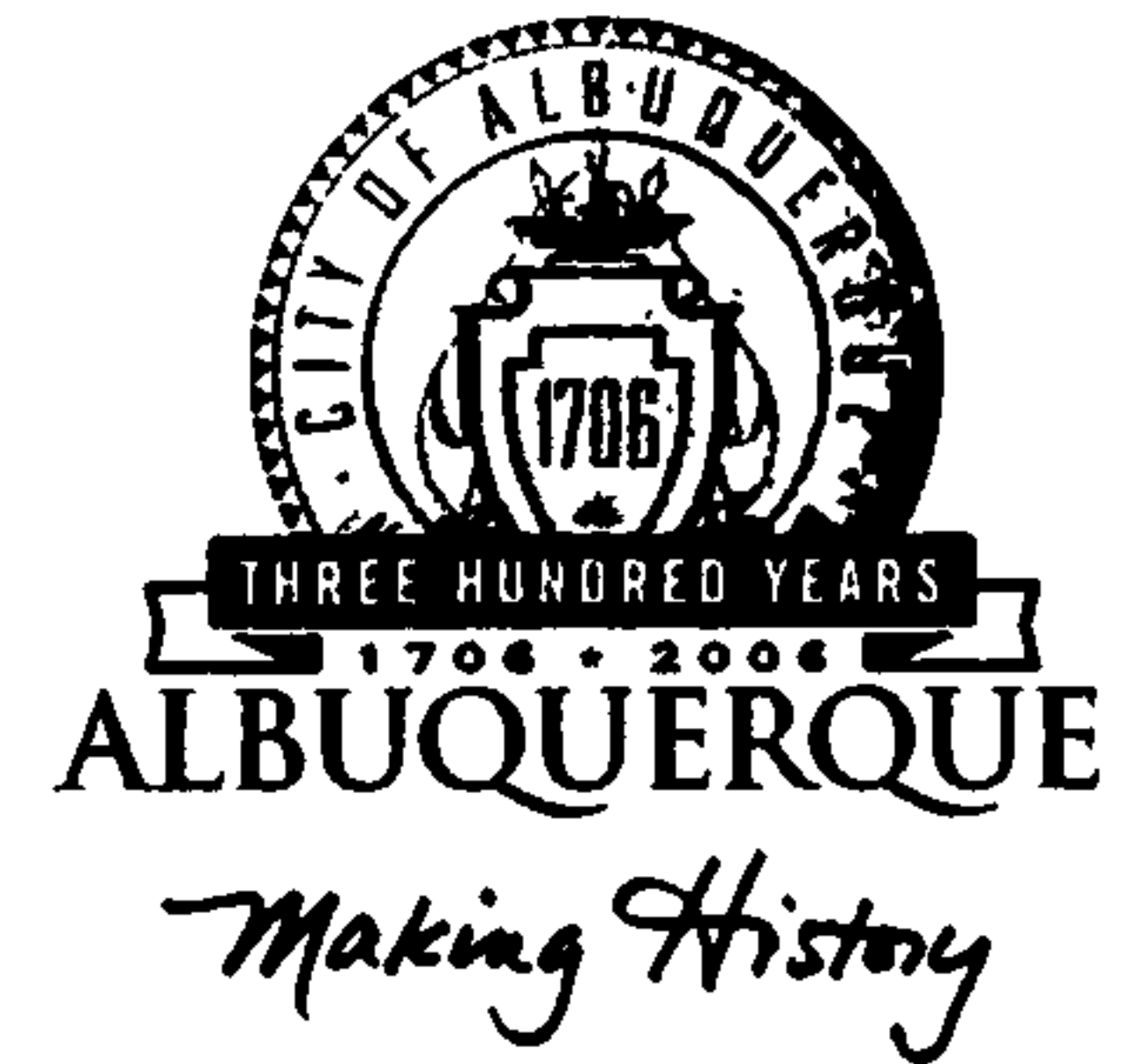
C.O.

8/28/08

B1B

CITY OF ALBUQUERQUE

2945 Broadway SE



July 1, 2005

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Private Garage for A & E Auto Sales, 2945 Broadway Boulevard SE,
Grading and Drainage Plan
Engineer's Stamp dated 5-15-05 (M14-D1A)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 6-20-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRIVATE GARAGE FOR A & E AUTO
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # M14-D1A
WORK ORDER#:

LEGAL DESCRIPTION: TRACT A, BLOCK B, SOUTH BROADWAY ACRES UNIT NO. 1
CITY ADDRESS: 2945 BROADWAY BLVD. S.E.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOKA
PHONE: 250-7719
ZIP CODE: 87120

OWNER:
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT:
PHONE:
ZIP CODE:

ARCHITECT:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ PAVING PLAN
☐ TCL CERTIFICATION
☐ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES VERBAL WITH KRSITAL METRO
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) RESUBMITTAL

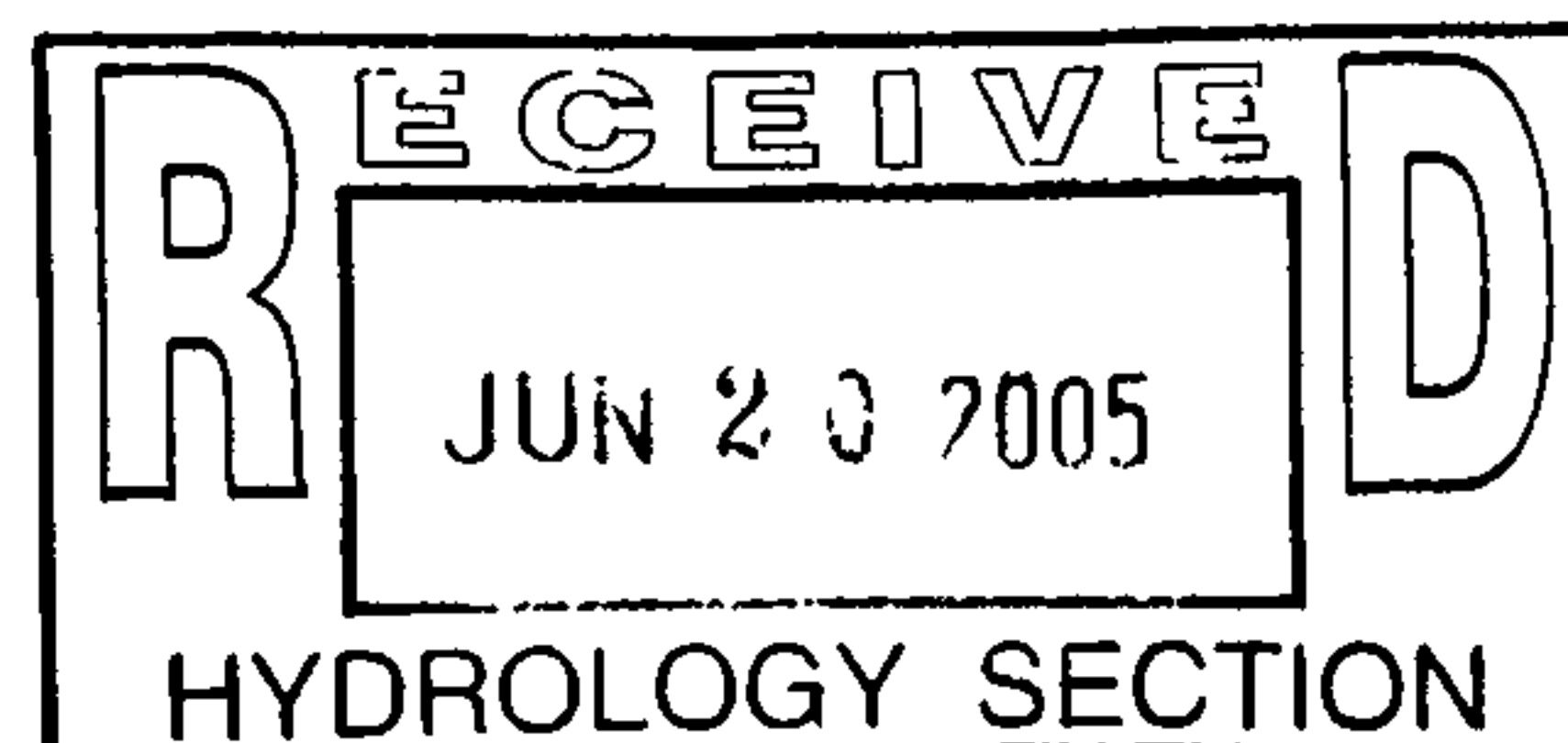
DATE SUBMITTED: 06/19/2005

BY:

Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



June 13, 2005

Bradley I. Bingham, P.E.
Principal Engineer, Planning Department
Development and Building Services

**RE: PRIVATE GARAGE FOR A & E AUTO SALES @ 2945 BROADWAY S.E.
(M14-D1A)**

Dear Mr. Bingham:

This letter is in response to your comments sent on May 31, 2005.

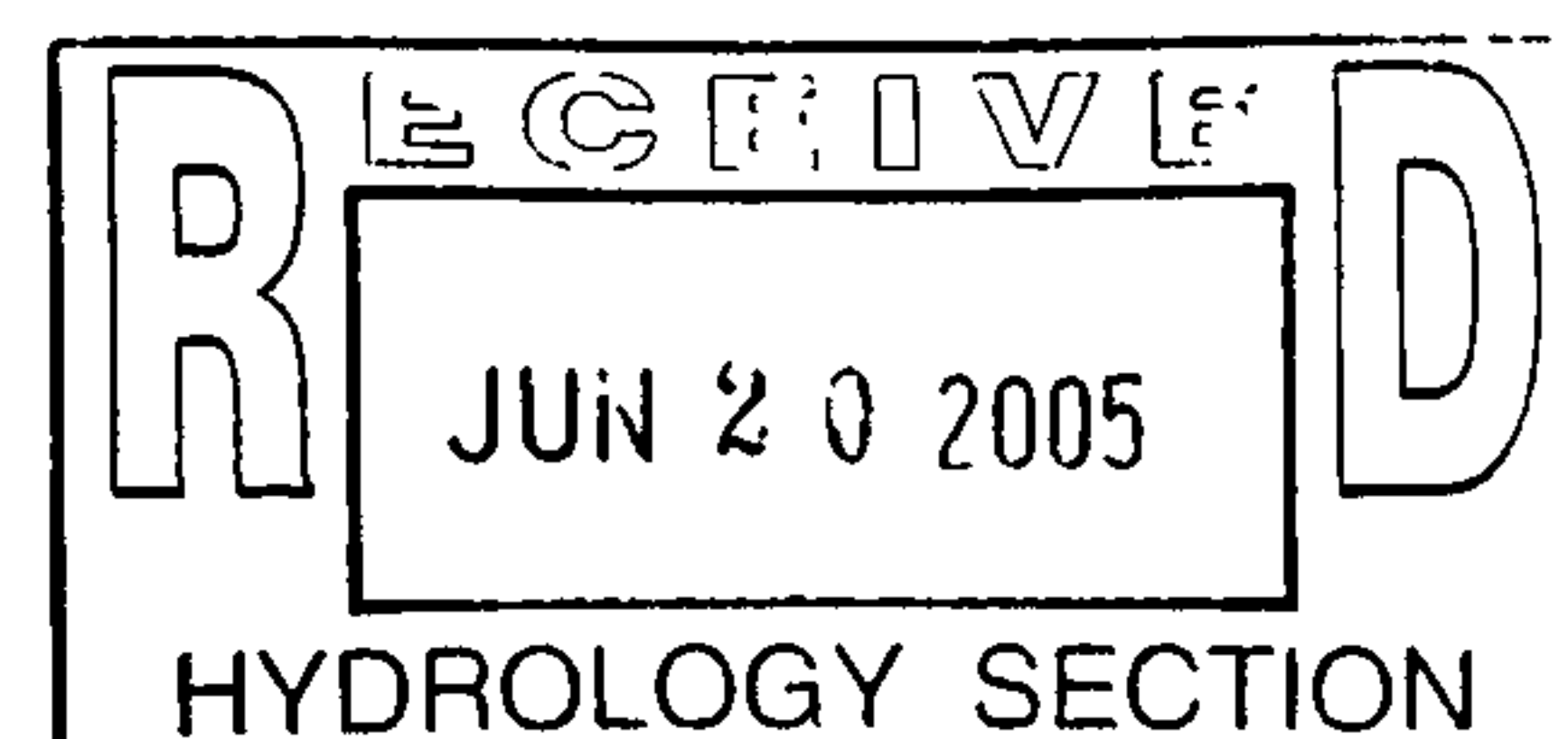
1. According to your calculations and write up, approximately 6400 sq. ft. of landscaping will be added to this site. Please show the location of this additional landscaping. *I have included a copy of the landscaping plan for your information.*
2. Calculations and details, including the volume required / provided and the water surface elevation, must be provided for the pond. *The pond volume calculations are provided within the plan drawing along with the 100-year water surface elevation*
3. The existing contour lines indicate flow entering the site from the northern lot. How is this flow prevented from entering the site? *Additional spot elevations have been obtained and indicated on the plan drawing. The lot to the north is lower.*

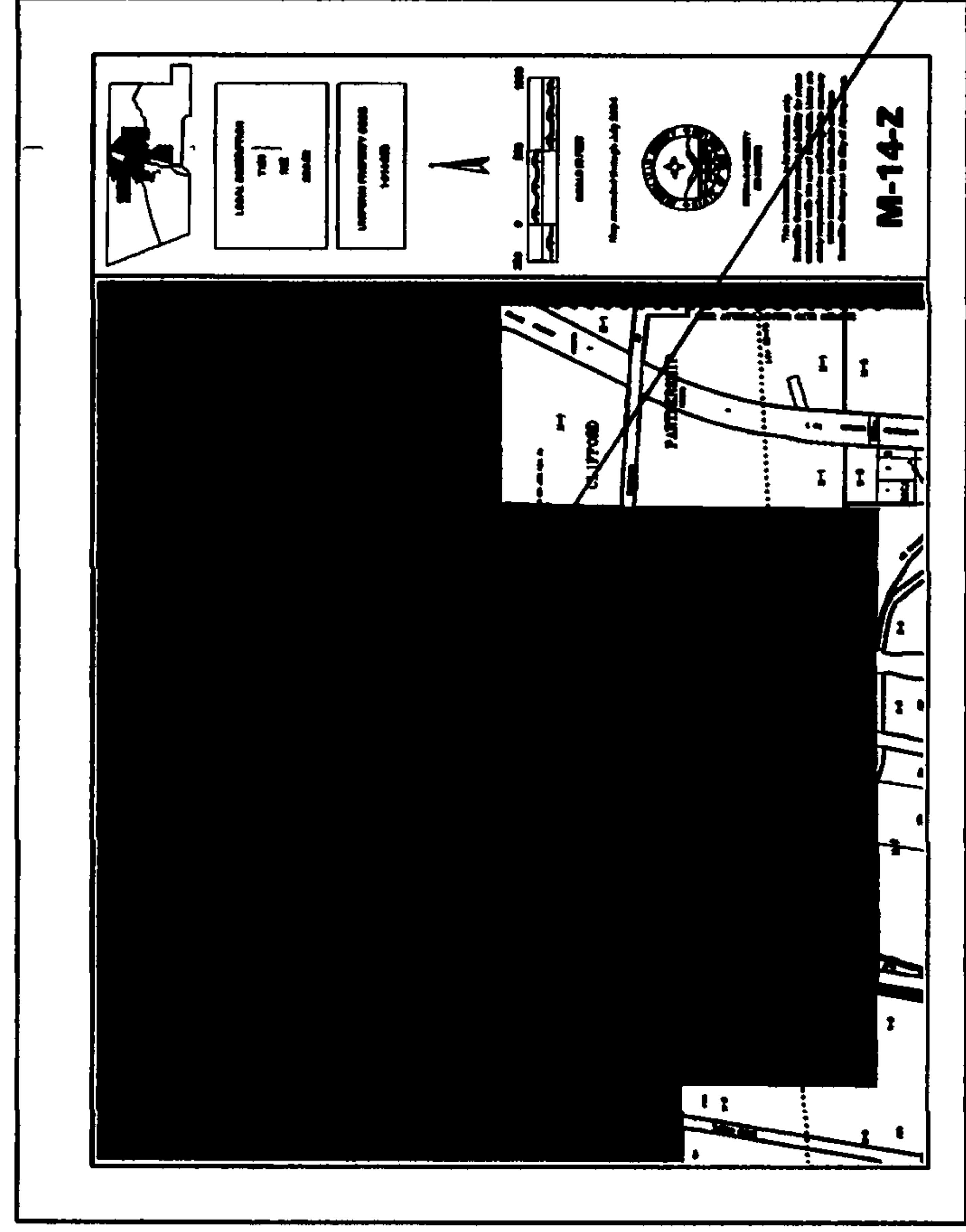
If I can be of further assistance, please feel free to call me at 250-7719.

Sincerely



Bernie J. Montoya C.E.





LANDSCAPE NOTES:

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% AT MATURITY.

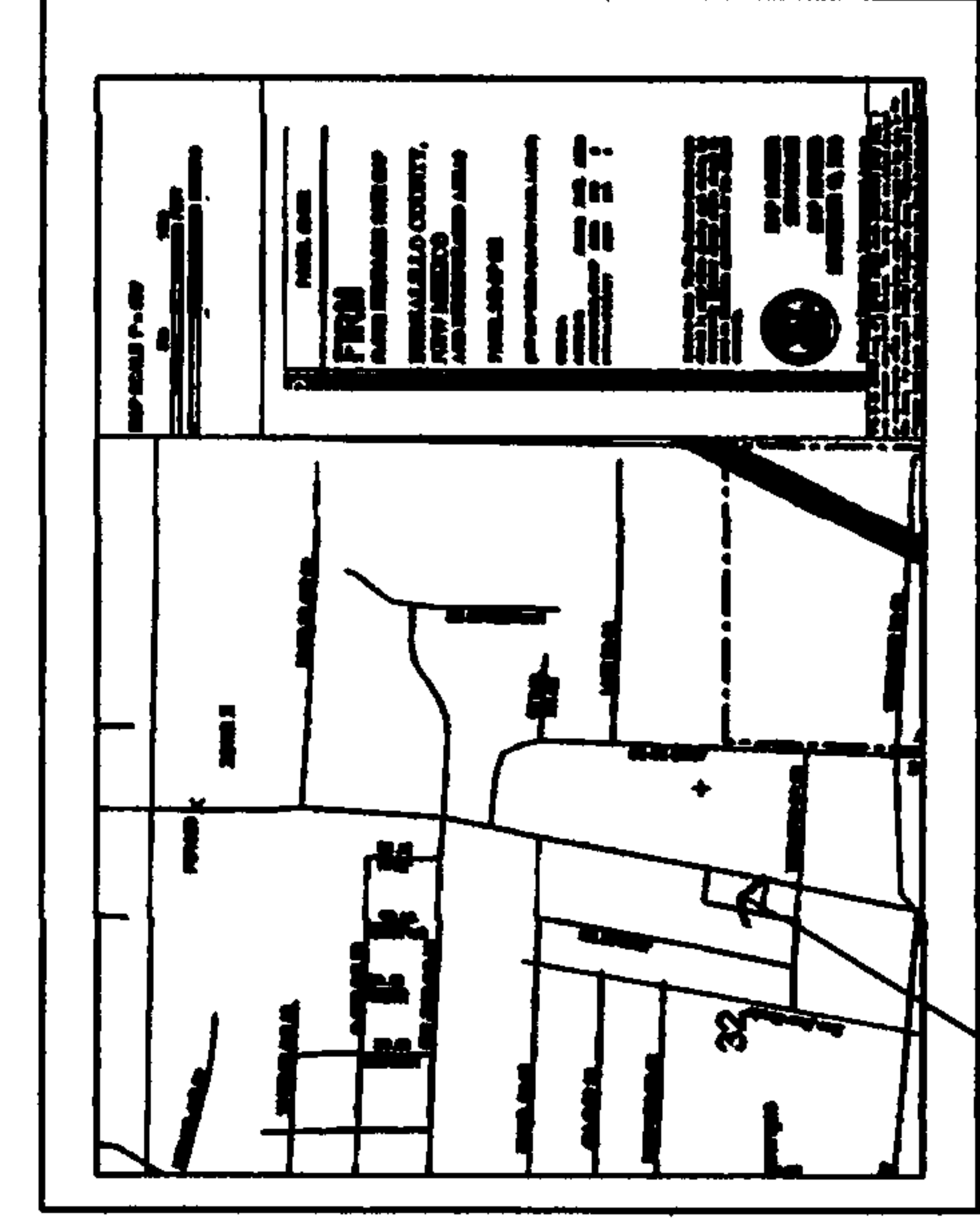
PECAN MULCH SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

IRRIGATION NOTES:

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

TOTAL AREA	58,370.40 SQ. FT.	LANDSCAPE REQUIREMENTS
BUILDING AREA	8,775.0 SQ. FT.	49,595.40x15% = 7,439.10 SQ. FT.
NET AREA	49,595.40 SQ. FT.	TOTAL LANDSCAPE PROVIDED = 7,991.75 SQ. FT.



PLANT LEGEND

PLANT NAME	QUANTITY
ASH OR HONEY LOCUST FRAXINUS OR GLEDITSIA TRIACANTHOS 2" CNL	10
PURPLE-LEAF PLUM PRUNUS CERASIFERA 1 1/2" CNL	8
DESERT WILLOW CHILIPSYIS LINEARIS 5 GAL	1
RED YUCCA HEPHERALDE PARVIFLORA 5 GAL	3
HONEYSUCCULE LONICERA FRAGRANTISSIMA 1 GAL	1
CHAMISA CHRYSOTHAMNUS NAUSEOSUS 1 GAL	8
SANTA FE BROWN GRAVEL OVER LANDSCAPE FABRIC	

ZONING DESIGN DATA

ZONING	SD-2 NC
LOT AREA	84,370.40 S.F.
TOTAL BUILDING AREA	8,775.0 S.F.
NEW LOT AREA	46,595.40 S.F.
LANDSCAPING REQUIRED	7,439.10 S.F.
LANDSCAPING PROVIDED	8,000 S.F.
PARKING REQUIRED	5 TOTAL SPACES
PARKING PROVIDED	11 TOTAL SPACES

NOTE:
NO SOLID WASTE COLLECTION ON-SITE; OWNER HAS PERMIT TO COLLECT ON-SITE AND TRANSPORT TO CITY DUMP SITE.
A & E AUTO ACCOUNT # 22280453

UBC CODE DESIGN DATA

OCCUPANCY GROUP	U PRIVATE GARAGE
TYPE OF CONSTRUCTION	2-8
AREA OF BUILDING	4,000 SQ. FT.
SEISMIC ZONE	D
SOIL BEARING CAPACITY	1,800 PSF
CONCRETE STRENGTH	3,000 PSI
STRESS VALUES	LUMBER: F _b = 970 KSI STEEL: 50,000 PSI 18 PSF HORIZ. (75 MPH WIND) 20 PSF LL, 15 PSF OL N/A N/A 8,000 SQ. FT. N/A 800 GPM
WIND DESIGN LOAD	
ROOF DESIGN LOAD	
FLOOR DESIGN LOAD	
CORRIDOR DESIGN LOAD	
BASIC ALLOWABLE	
TOILET CALCULATIONS	
FIRE DEPARTMENT FLOW REQUIREMENT	



SITE & LANDSCAPING PLAN 1" = 20'

Project Name
EMIGDIO BUSTILLOS A & E AUTO SALES
2865 BROADWAY BOULEVARD S.E. ALBUQUERQUE, NEW MEXICO

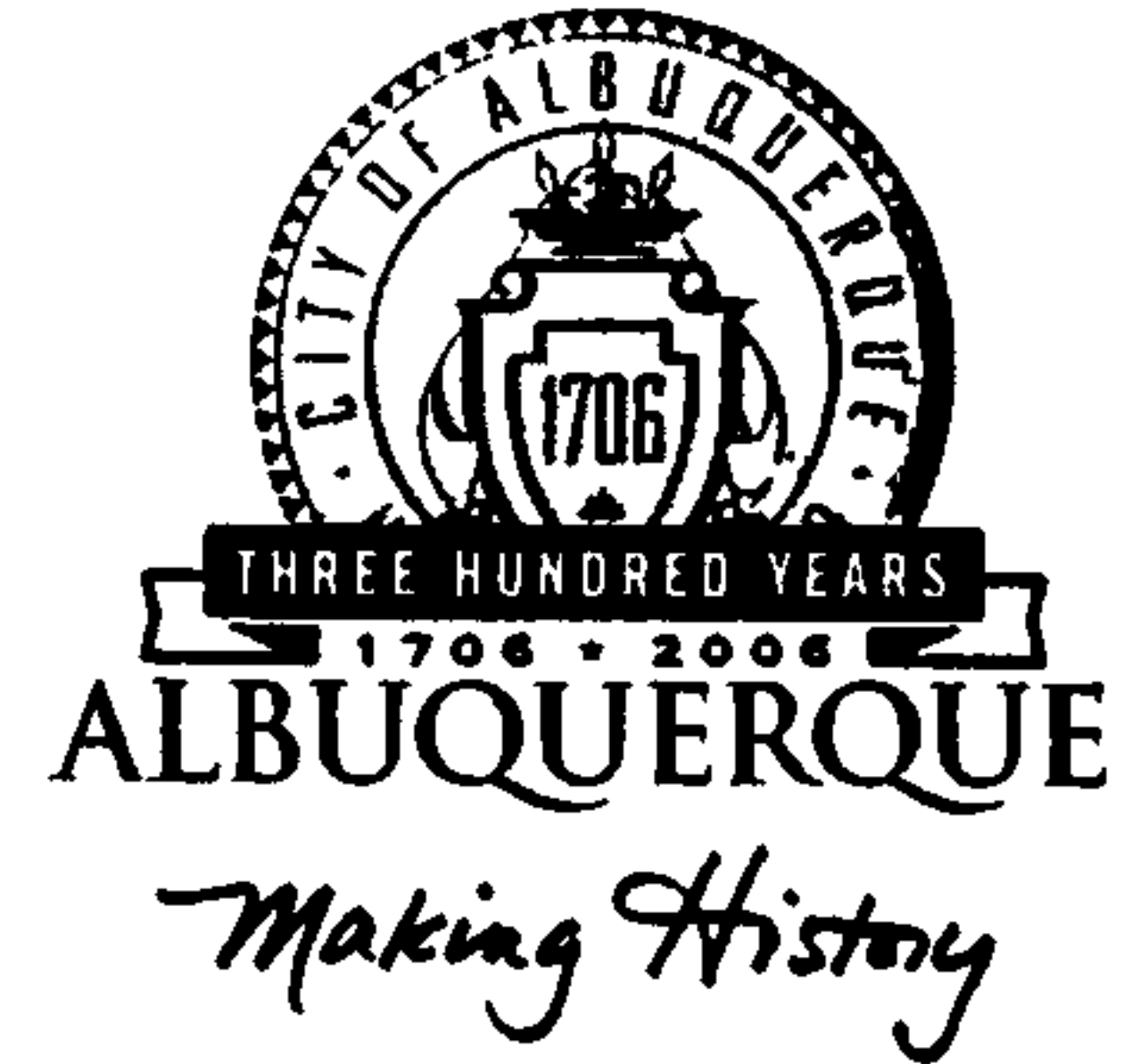
Albuquerque, New Mexico

SITE/LANDSCAPING PLAN

Drawn By: BLM & HTH Checked By:

DATE: MAY 2005
REVISIONS:

CITY OF ALBUQUERQUE



May 31, 2005

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Private Garage for A & E Auto Sales, 2945 Broadway Boulevard SE,
Grading and Drainage Plan
Engineer's Stamp dated 4-17-05 (M14-D1A)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 5-11-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

1. According to your calculations and write up, approximately 6400 square feet of landscaping will be added to this site. Please show the location of this additional landscaping.
2. Calculations and details, including the volume required / provided and water surface elevation, must be provided for the pond.
3. The existing contour lines indicate flow entering the site from the northern lot. How is this flow prevented from entering the site?

www.cabq.gov

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

A E Auto Sales - Private Garage

Q Factor (Zone 2)			
A	B	C	D
1.56	2.28	3.14	4.7

Existing Conditions % Land Treatment				Total Area (Acres)
A	B	C	D	
0%	3%	69%	28%	1.34

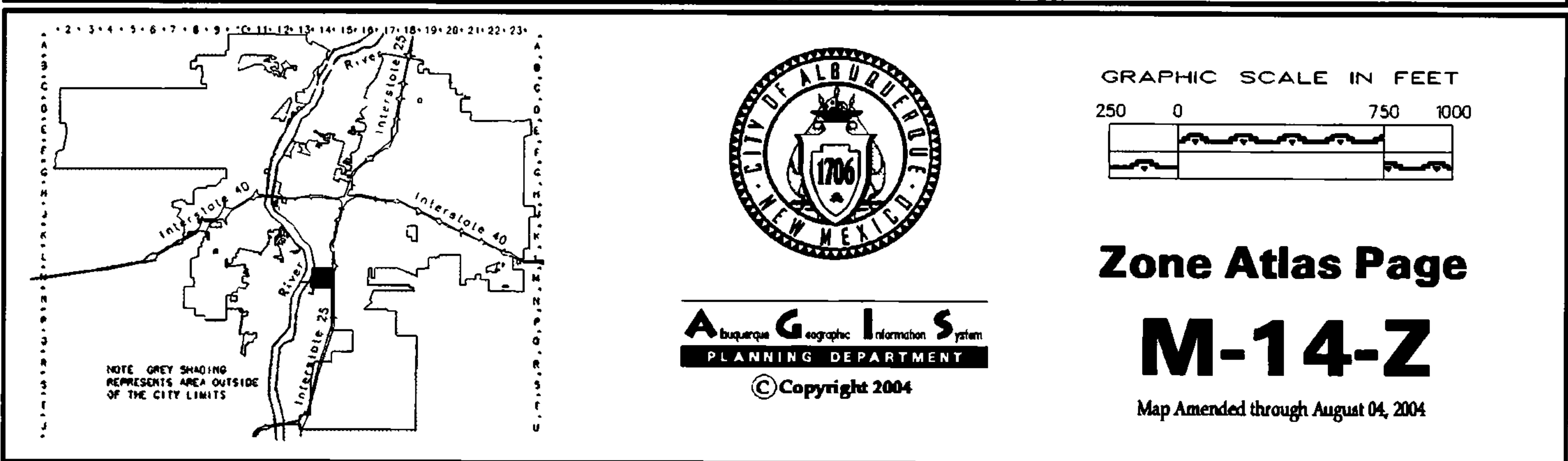
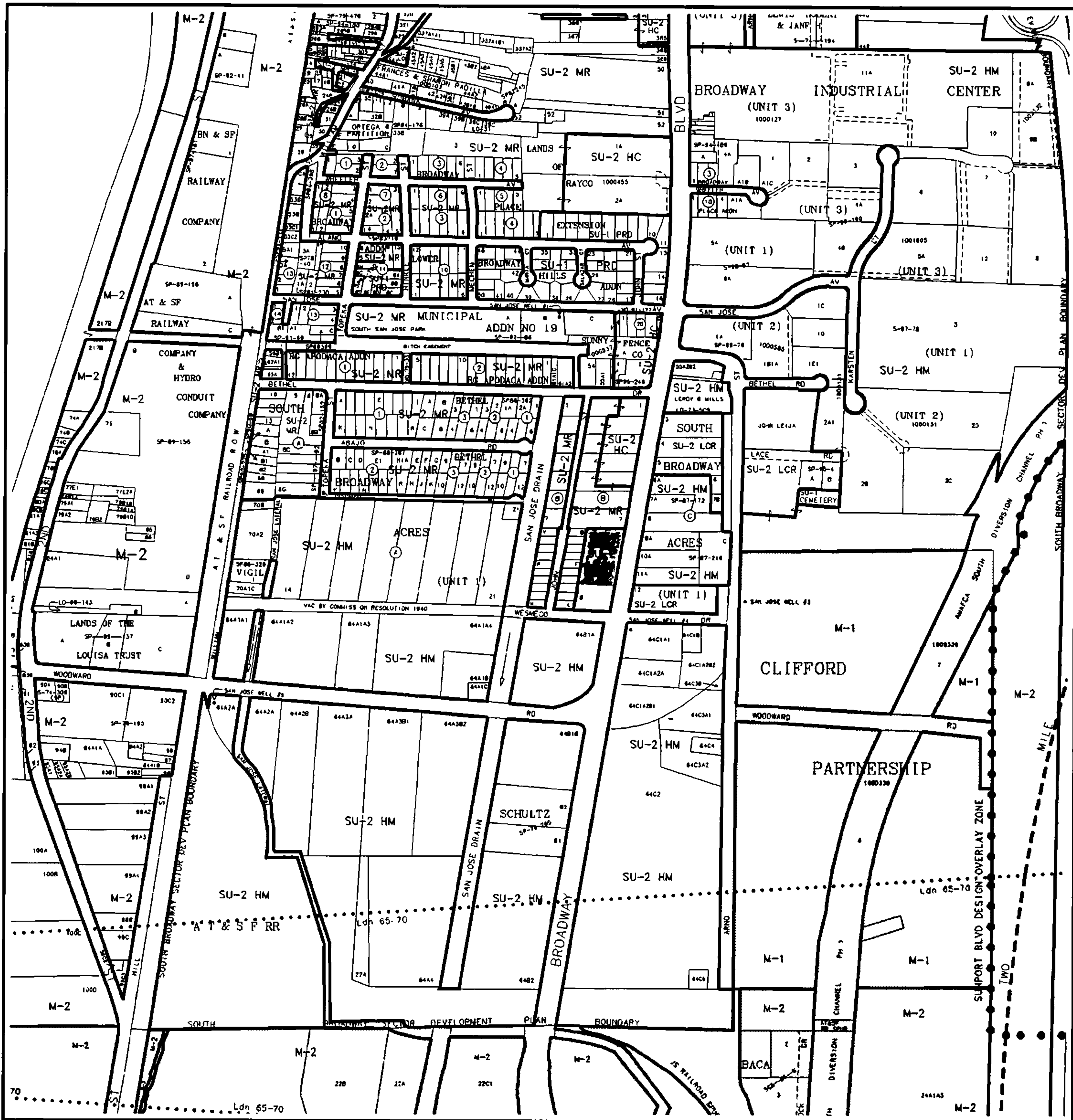
Existing Conditions Area (Acres) per Land Treatment			
A	B	C	D
0.00	0.04	0.92	0.38

Existing Conditions Q ₁₀₀ (cfs)				TOTAL
A	B	C	D	
0.00	0.09	2.90	1.78	4.76
TOTAL				4.76

Proposed Conditions % Land Treatment				Total Area (Acres)
A	B	C	D	
0%	14%	51%	35%	1.34

Proposed Conditions Area (Acres) per Land Treatment			
A	B	C	D
0.00	0.18	0.69	0.47

Proposed Conditions Q ₁₀₀ (cfs)				TOTAL
A	B	C	D	
0.00	0.42	2.15	2.21	4.78
TOTAL				4.78



DRAINAGE INFORMATION SHEET

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DRB #: PC#: N/A

ZONE MAP/DRG. FILE # M14-D1A
WORK ORDER#:

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ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA
PHONE: 250-7719
ZIP CODE: 87120

OWNER: Emigdio & Annam. Bustillos
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT:
PHONE:
ZIP CODE:

ARCHITECT:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: N/A
ADDRESS:
CITY, STATE:

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PHONE:
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TYPE OF SUBMITTAL:

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☒ DRAINAGE PLAN
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☐ ENGINEER'S CERTIFICATION
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☐ TCL CERTIFICATION
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

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☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) CERTIFICATION

DATE SUBMITTED: 05/11/2005

BY:

Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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