

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 13, 2025

Graeme Means, PE
High Mesa, a Bowman Co.
6010-B Midway Park NE
Albuquerque, NM 87109

gmeans@bowman.com

Re: JACK CANDELARIA COMMUNITY CENTER ADDITION
400 San Jose SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 11-7-23 (M14D004) TRANS-2025-00150
Certification dated 6-9-2025

Dear Mr. Means,

PO Box 1293

Based upon the information provided in your submittal received 6-5-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at (505) 924-3909 or at skanbar@cabq.gov

NM 87103

Sincerely,

Sertil A. Kanbar

www.cabq.gov

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

05 5000.D1	CONCRETE FILLED STEEL PIPE BOLLARD
10 1400.A1	METAL SIGN ASSEMBLY
32 1200.B1	ASPHALT PAVING
32 1300.A1	CONCRETE SIDEWALK
32 1300.A4	CONCRETE APRON
32 1300.B1	CONTROL JOINT
32 1300.E2	CONCRETE CURB
32 1700.B1	CROSSWALK PAVEMENT MARKING
32 1700.D1	PAVEMENT MARKING
32 1713.A1	PARKING BUMPER
32.3300.A2	SITE BENCH WITHOUT BACK

A. FIRE DEPARTMENT VEHICLE ACCESS MAY REQUIRE ADDITIONAL MARKINGS OR SIGNAGE AS DICTATED BY THE AUTHORITY HAVING JURISDICTION AND/OR THE LOCAL FIRE DEPARTMENT.

B. KNOX BOX LOCATIONS ARE APPROXIMATE. COORDINATE FINAL LOCATION WITH A.H.I. AND/OR LOCAL FIRE DEPARTMENT.

A. DIMENSIONS FOR FIRE SEPARATION DISTANCE ARE MEASURED PERPENDICULAR FROM EXTERIOR WALLS TO EITHER THE PROPERTY LINE, AN IMAGINARY LOT LINE, OR THE CENTERLINE OF A PUBLIC WAY AS APPLICABLE.

B. REFER TO CIVIL ENGINE DRAWINGS FOR FIRE PROTECTION FEATURES SUCH AS HYDRANT SPACING AND FLOW CALCULATIONS.

C. ACCESSIBLE ROUTES INDICATED SHALL BE GRADED AT NOT MORE THAN 1:20 (%) EXCEPT WHERE RAMPS OR CURB RAMPS ARE INDICATED. RAMPS SHALL NOT BE SLOPED GREATER THAN 1:12 (%). CURB SLOPES SHALL NOT EXCEED 1:40 (%) AT ANY WALKING SURFACE.

D. IN THE CASE OF ANY DISCREPANCY BETWEEN THE GRADE REQUIREMENTS AT ACCESSIBLE ROUTES AND THOSE SHOWN ON THE CIVIL ENGINEERING DRAWINGS, THE MORE RESTRICTIVE SHALL CONTROL.

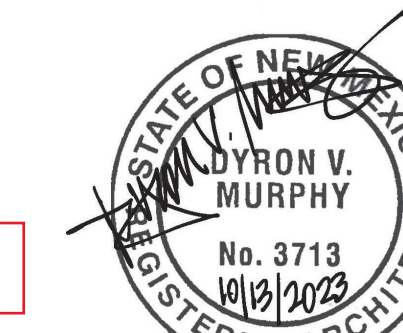
Total parking spaces provided in parking facilities	Required minimum number of accessible spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
1,001 and over	20, plus one for each 100, or fraction thereof, over 1,000

1106.5 Van Spaces. For every six or fraction of six accessible parking spaces, at least one shall be a van-accessible parking space.

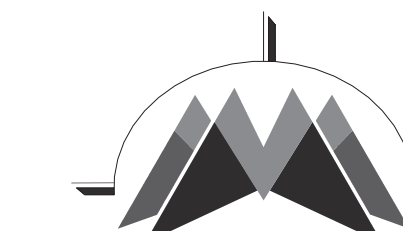
REVISION SCHEDULE

1 COA PERMIT 11/07/23

STAMP



DYRON MURPHY ARCHITECTS, P.C.



4505 Montbel Place NE, Albuquerque, New Mexico 87107

JACK CANDELARIA
COMMUNITY CENTER
ADDITION

400 SAN JOSE AVE, SE
ALBUQUERQUE, NEW MEXICO 87102
100% CONSTRUCTION DOCUMENTS
OCTOBER 13, 2023

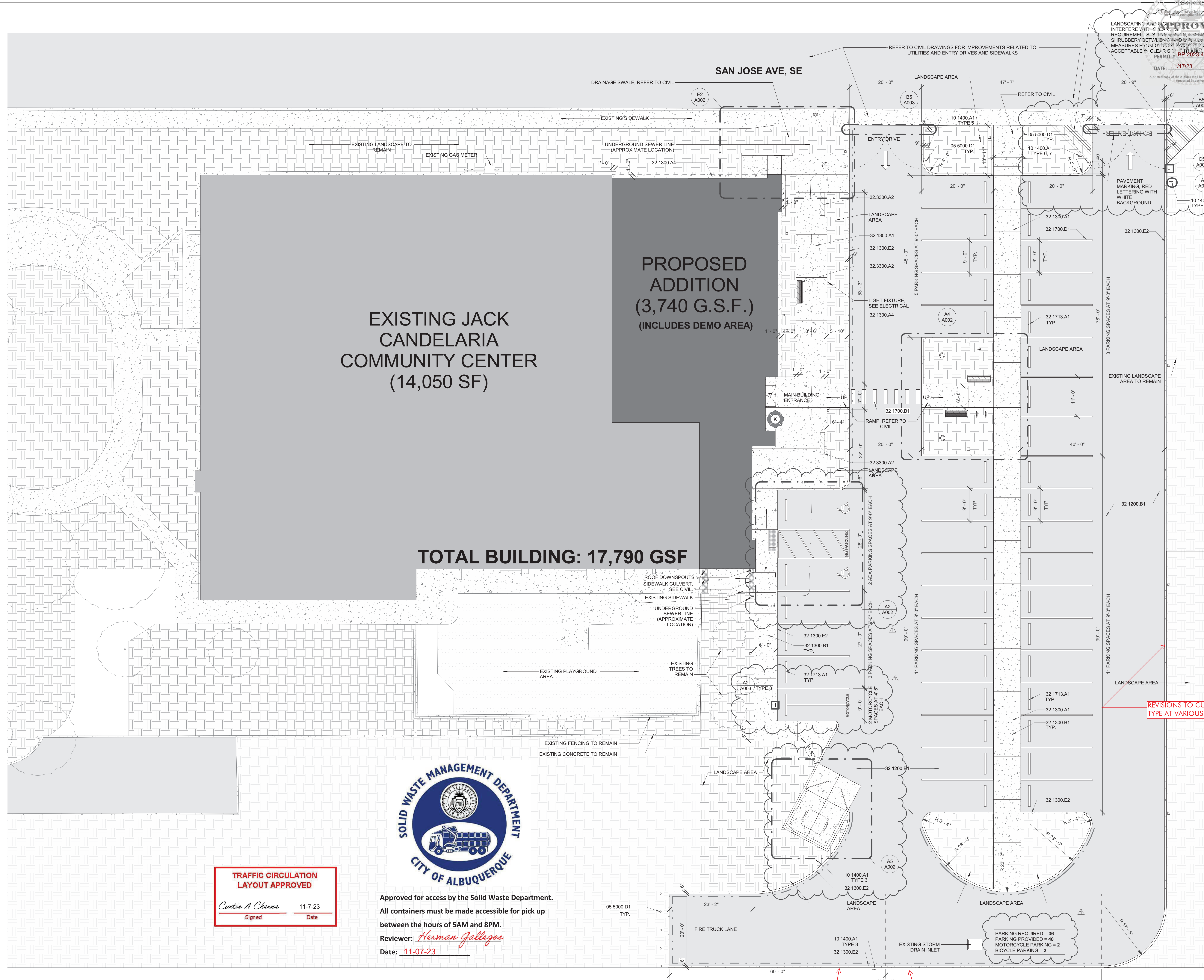
PROJECT NUMBER	DRAWN BY	PROJ MGR
2021.01	PP	OT

SITE PLAN

SITE PLAN

Sheet Title	
Sheet Number	of

A001



CURB AND GUTTER AND RETAINING WALL SHIFTED NORTH 12" ALONG WITH ISLAND AND RADIUS AT ISLAND TO MAINTAIN CLEARANCE AND WIDTH

RETAINING WALL PERMIT ISSUED
GP-2024-37683

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

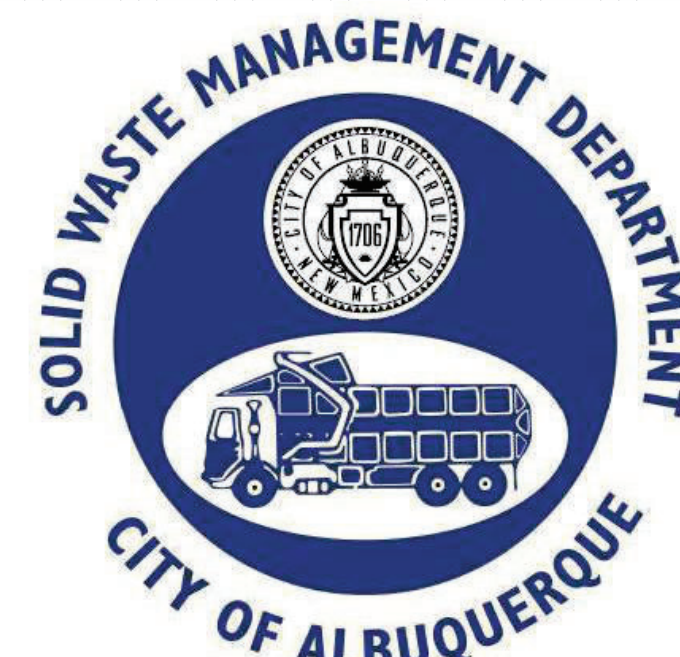
Curtis A Cherne 11-7-2011
Signed Date

Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallegos*

Date: 11-07-23



A6 SITE PLAN
1" = 10'-0"



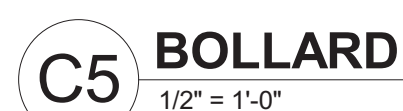
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND EXISTING UTILITY IS RESPONSIBLE FOR REMOVALS AS REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. CONTRACTOR TO PROMOTE SAFETY MEASURES TO PROTECT PEDESTRIANS, VEHICLES AND ALL EXISTING CONSTRUCTION TO REMAIN.
3. CONTRACTOR TO COORDINATE WITH THE OWNER FOR ALLOWABLE CONSTRUCTION SCHEDULE.
4. FIELD VERIFY ALL EXISTING UTILITIES AND COORDINATE WITH THE SCOPE OF WORK SHOWN ON DRAWINGS.
5. REMOVE ALL EXISTING UTILITIES TO BE REMOVED EXISTING ITEM AND ALL ASSOCIATED COMPONENTS, AND PROPERLY DISPOSE OF OFF SITE.
6. OTHER CONDITIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. ALL SIDEWALKS ARE 5'-0" BY 5'-0" FROM EDGE TO EDGE UNLESS OTHERWISE NOTED.
8. SEE SHEET A002 AND A003 FOR SITE DETAILS.
9. SEE DRAWING A001 FOR ADDITIONAL INFORMATION.
10. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND IRRIGATION PLANS.
11. PROVIDE CONCRETE BASE AT ALL SITE FURNISHINGS AS REQUIRED BY MANUFACTURER FOR ANCHORING.

SITE FINISH NOTES

- A. ALL EXPOSED STEEL TO BE PRIMED AND PAINTED. COLOR TO BE SELECTED BY ARCHITECT.
- B. ALL SCUPPERS AND DOWNSPOUTS COLOR TO BE SELECTED BY ARCHITECT.

KEYED NOTES

03 3000.81	CONCRETE FOOTING
03 3000.81	CAS-IN-PLACE CONCRETE WALL
04 2000.44	8X8X6 CMU
05 1000.01	STEEL TUBES
05 1000.02	CONCRETE FILLED STEEL PIPE
05 5001.01	TUBE GATE GATE
05 5013.41	HANDRAIL
05 9005.02	SEALANT CONTINUOUS
10 1400.01	ACCESSIBLE PARKING SIGN
10 7500.01	FLAGPOLE
12 1203.01	BIKE RACK
12 1203.01	SITE BENCH
12 9010.01	ASPHALT PAVING
12 1300.01	CONCRETE SIDEWALK
12 1300.05	CONCRETE STAIRS
12 1300.06	CONCRETE PAVING
12 1300.01	CONTROL JOINT
12 1300.02	1/2" EXPANSION JOINT
12 1300.03	CONCRETE DRIVE APRON
12 1300.02	CONCRETE CURB
12 1700.01	ACCESSIBLE PARKING MARKING
12 1700.01	ACCESSIBLE PAVEMENT MARKING
12 1700.01	CROSSWALK PAVEMENT MARKING
12 1700.01	PAVEMENT MARKING
12 1713.01	PARKING BUMPER
12 1726.01	PACIFILE WARNING TILE
12 9300.01	LANDSCAPE PLANTING

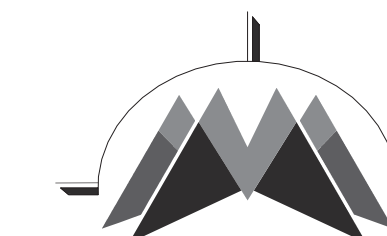


REVISION SCHEDULE		
1	COA PERMIT	11/07/23

STAMP



DYRON MURPHY ARCHITECTS, P.C.



4505 Montbel Place NE, Albuquerque, New Mexico 87107

**JACK CANDELARIA
COMMUNITY CENTER
ADDITION**
400 SAN JOSE AVE, SE
ALBUQUERQUE, NEW MEXICO 87102
100% CONSTRUCTION DOCUMENTS
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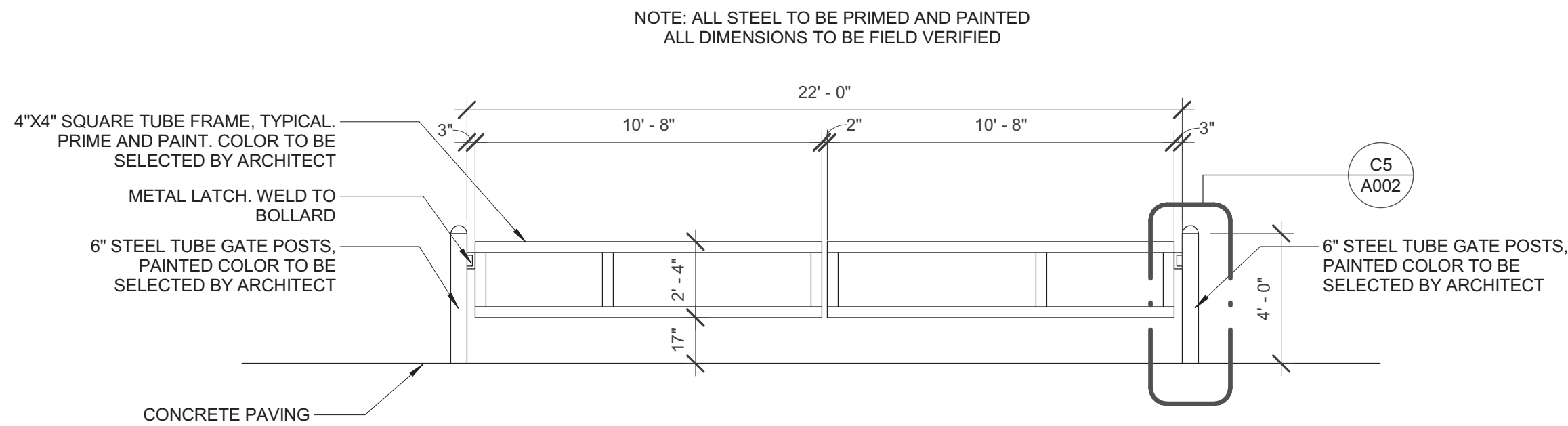
PROJECT NUMBER	DRAWN BY	PROJ MGR
2021.01	PP	OT

LARGE SCALE PLANS AND ELEVATIONS

Sheet Title	
Sheet Number	of

A002

03 3000.B1	CONCRETE FOOTING
05 5000.C1	PIPE SLEEVE
05 5000.C2	STEEL TUBE
10 1400.A1	METAL SIGN ASSEMBLY
10 7500.A1	FLAGPOLE
32 1300.A1	CONCRETE SIDEWALK
32 1300.B2	1/2" EXPANSION JOINT
32 1300.E1	CONCRETE CURB AND GUTTER
32 1700.A1	ACCESSIBLE PARKING PAVEMENT MARKING



36" AT 25'-0" HIGH FLAGPOLE

3'-6" AT 25'-0" HIGH FLAGPOLE

107500-A1

FLAGPOLE COLLAR WITH SEALANT

WOOD WEDGES

DRY TAMPED SAND

16 GA. GALVANIZED CORRUGATED SLEEVE

STEEL CENTERING WEDGES

FOOTING STEEL PLATE PER MANUFACTURER

3/4" DIA. LIGHTNING GROUND ROD/SPIKE EXTEND 12" BELOW CONCRETE OR AS REQUIRED BY MANUFACTURER

30" AT 25'-0" HIGH FLAGPOLE

4'-0" AT 25'-0" HIGH FLAGPOLE

1/4" WIDE X 1" DEEP
TOOLED CONTROL JOINT W/
1/4" RADIUS ON EDGES AS
SHOWN ON THE DRAWINGS

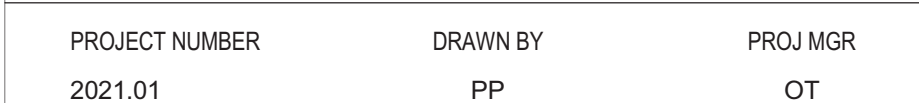
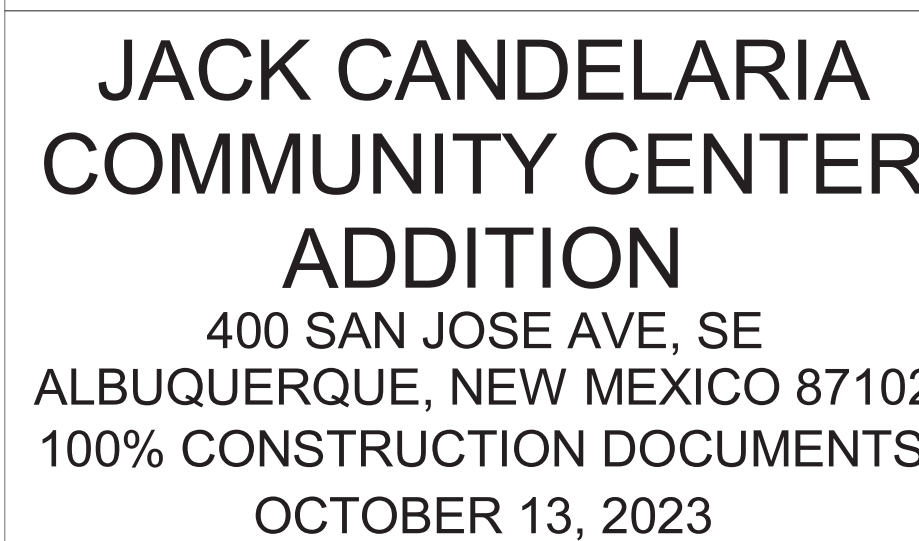
CONCRETE SIDEWALK

1/2" EXP. MATERIAL, 1/4" RADIUS
ON EXPOSED EDGES @ 24"-0" O.C.
UNLESS NOTED OTHERWISE

CONTROL JOINT (C.J.)

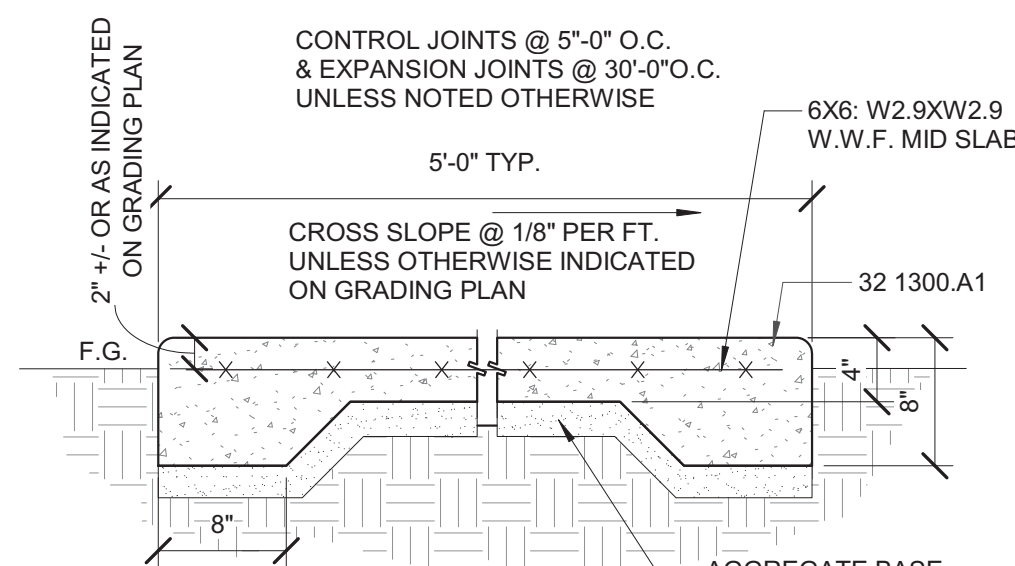
EXPANSION JOINT (E.J.)

REVISION SCHEDULE		
1	COA PERMIT	11/07/23



Sheet Title	
Sheet Number	of

A003



3' SMOOTH
FINISH EACH
SIDE OF JOINTS

5'-0"

UNLESS OTHERWISE NOTED

32 1300.B2

MEDIUM BROOM
FINISH
PERPENDICULAR
TO SLOPE OF WALL

5'-0"

UNLESS OTHERWISE NOTED

Diagram illustrating the dimensions and color specifications for the International Symbol of Access (wheelchair icon) on a sign:

- 32 1700 A1 PAINTED IN WHITE**: Points to the outer rectangular border of the sign.
- BLUE PAINT**: Points to the wheelchair icon itself.
- WHITE PAINT**: Points to the background area within the sign border.
- 2' - 6" +/-**: Dimension indicating the height of the sign.
- 2' - 3" +/-**: Dimension indicating the width of the sign.

[illegible]

A2 TYPICAL SITE SIGNAGE TYPES



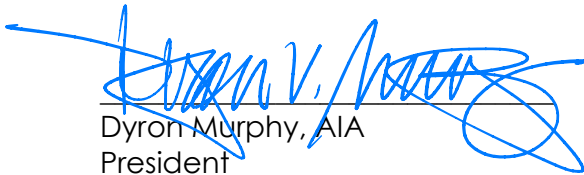
TRAFFIC CERTIFICATION

Dyron Murphy Architects, hereby certifies that the project is in substantial completion with and in accordance with the design intent of the Traffic Circulation Layout drawings approved plan dated October 13, 2023 and approval stamp dated November 7, 2023. The permit number for the project is: BP-2023-41180.

The record information edited onto the original document has been obtained from the contractor. Dyron Murphy Architects conducted a site visit on June 5, 2025 and have determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

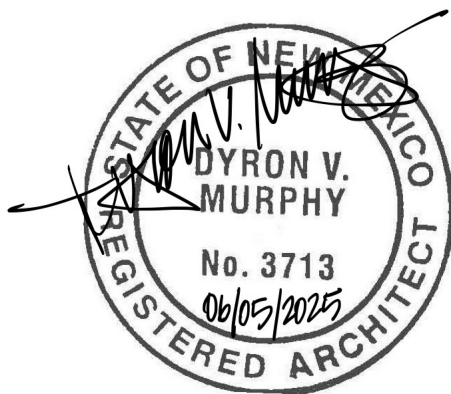
This certification is submitted in support for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.


Dyron Murphy, AIA
President

June 5, 2025

Date



Stamp and Signature