

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 27, 2022

Jeffrey T. Wooten, P.E.
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

**RE: Homes Direct
601 San Jose Ave. SE
Grading & Drainage Plan
Engineer's Stamp Date: 10/07/22
Hydrology File: M14D004E**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 10/18/2022, the Grading & Drainage Plan is approved for Grading Permit. Once the grading for the project is complete, please provide an as-built for the City's records since there is no CO attached to the project.

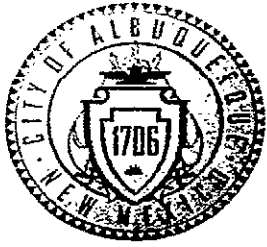
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Homes Direct **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 6A-1-A, Broadway Industrial Subdivision
City Address: 601 San Jose Ave SE, Albuquerque, NM 87102

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

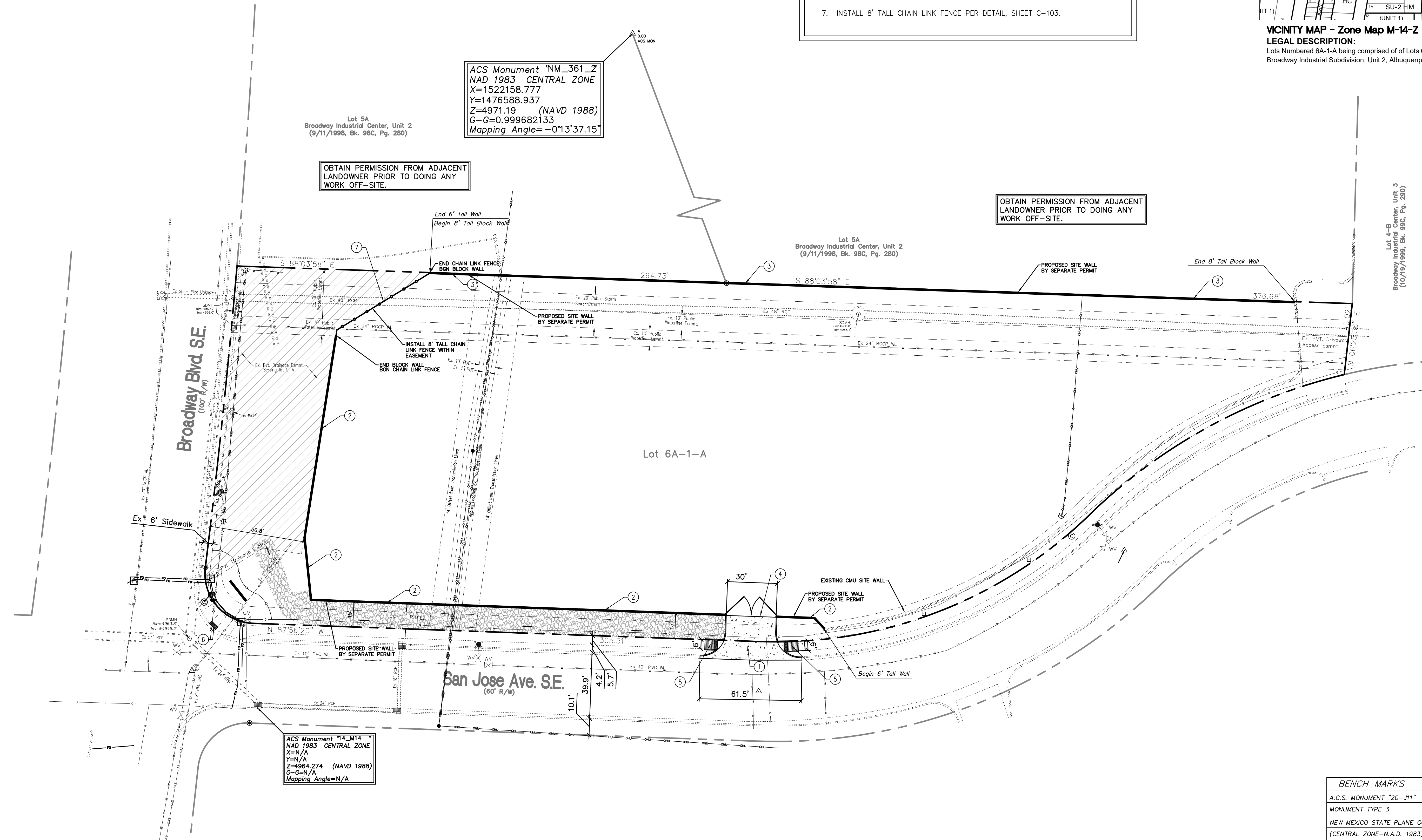
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: October 10, 2022 **By:** Jeffrey T. Wooten, P.E.

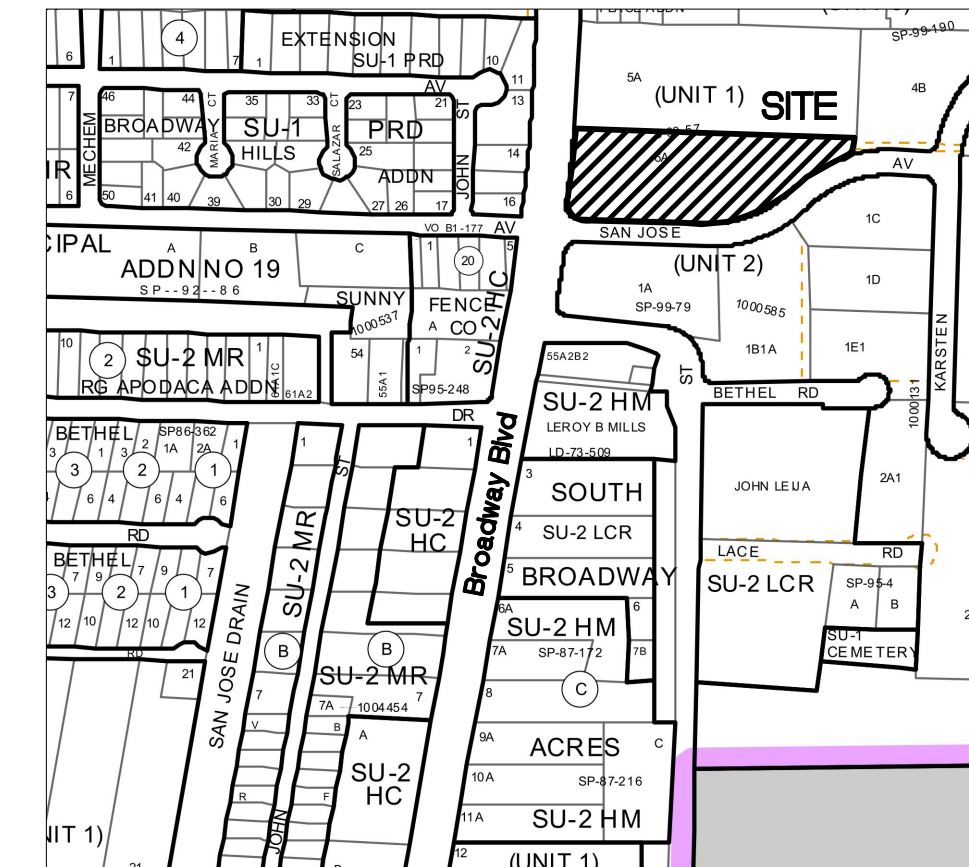
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



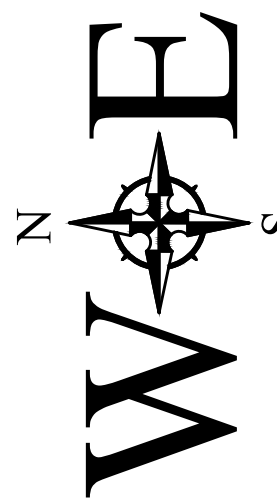
1. INSTALL NEW PRIVATE ENTRANCE PER COA STD DWGS 2420 AND 2426.
2. PROPOSED 6' TALL DECORATIVE BLOCK SITE WALL BY SEPARATE PERMIT. REF. DETAIL ON SHEET C-103.
3. PROPOSED 8' TALL SOLID CMU WALL BY SEPARATE PERMIT. REF. DETAIL ON SHEET C-103.
4. PROPOSED GATE BY SEPARATE PERMIT.
5. INSTALL PARALLEL CURB RAMP WITH TRUNCATED DOMES PER COA STD DWGS 2440-2448.
6. INSTALL TRUNCATED DOMES ONTO EXISTING ADA RAMP PER COA STD DWG 2446.
7. INSTALL 8' TALL CHAIN LINK FENCE PER DETAIL, SHEET C-103.



VICINITY MAP - Zone Map M-14-Z
LEGAL DESCRIPTION:
 Lots Numbered 6A-1-A being comprised of of Lots 6A-1 and 6A-2,
 Broadway Industrial Subdivision, Unit 2, Albuquerque, NM. 2.7296 Acres.

[illegible]

Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

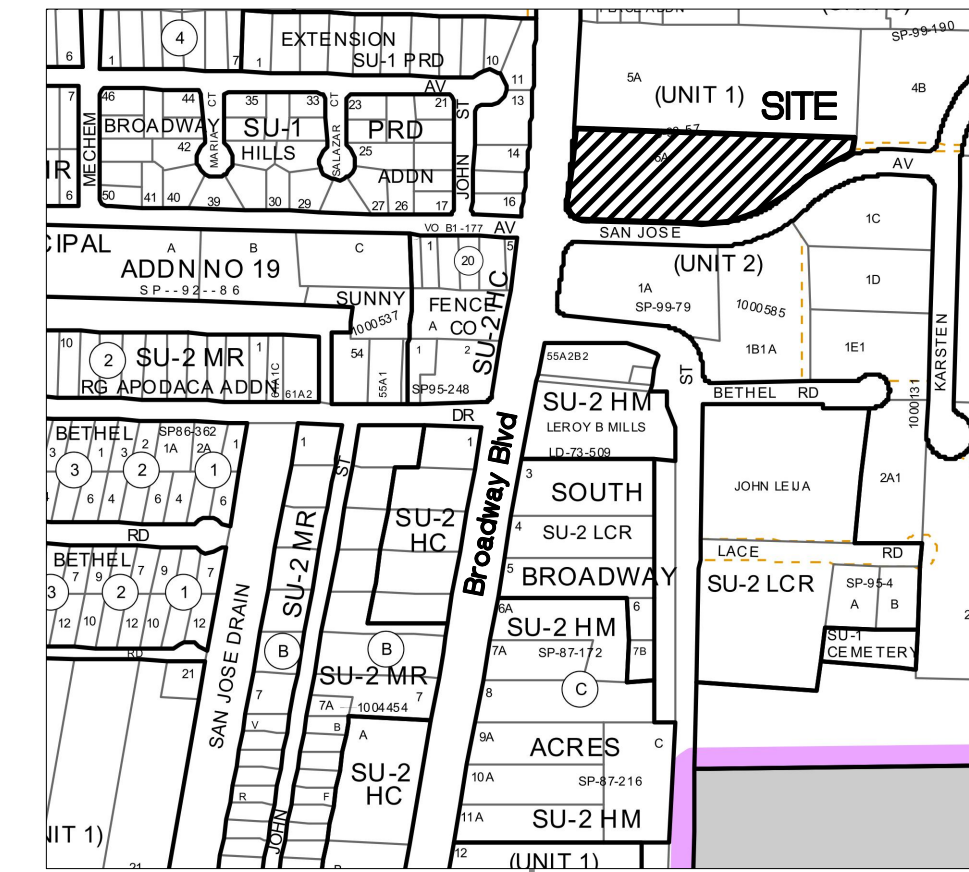
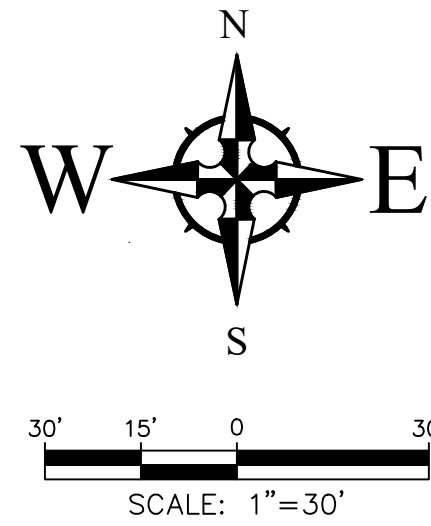


Homes Direct
601 San Jose Ave SE
Albuquerque, NM 87102

Site Plan

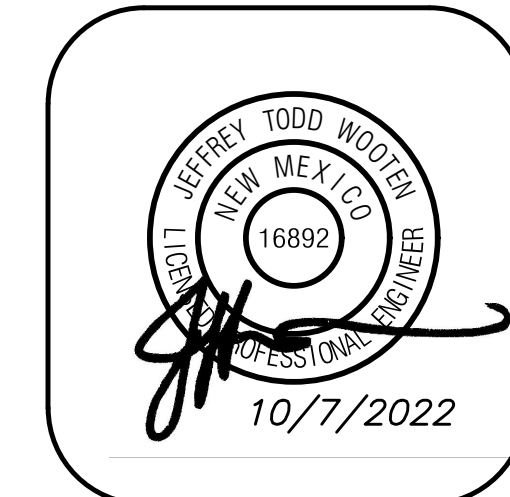
C-101

<i>BENCH MARKS</i>
A.C.S. MONUMENT "20-J11"
MONUMENT TYPE 3
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E=1,506,437.513
PUB. EL=5094.032 NAVD 1988
GROUND TO GRID FACTOR=0.999680825
DELTA ALPHA ANGLE = -0°15'27.22"



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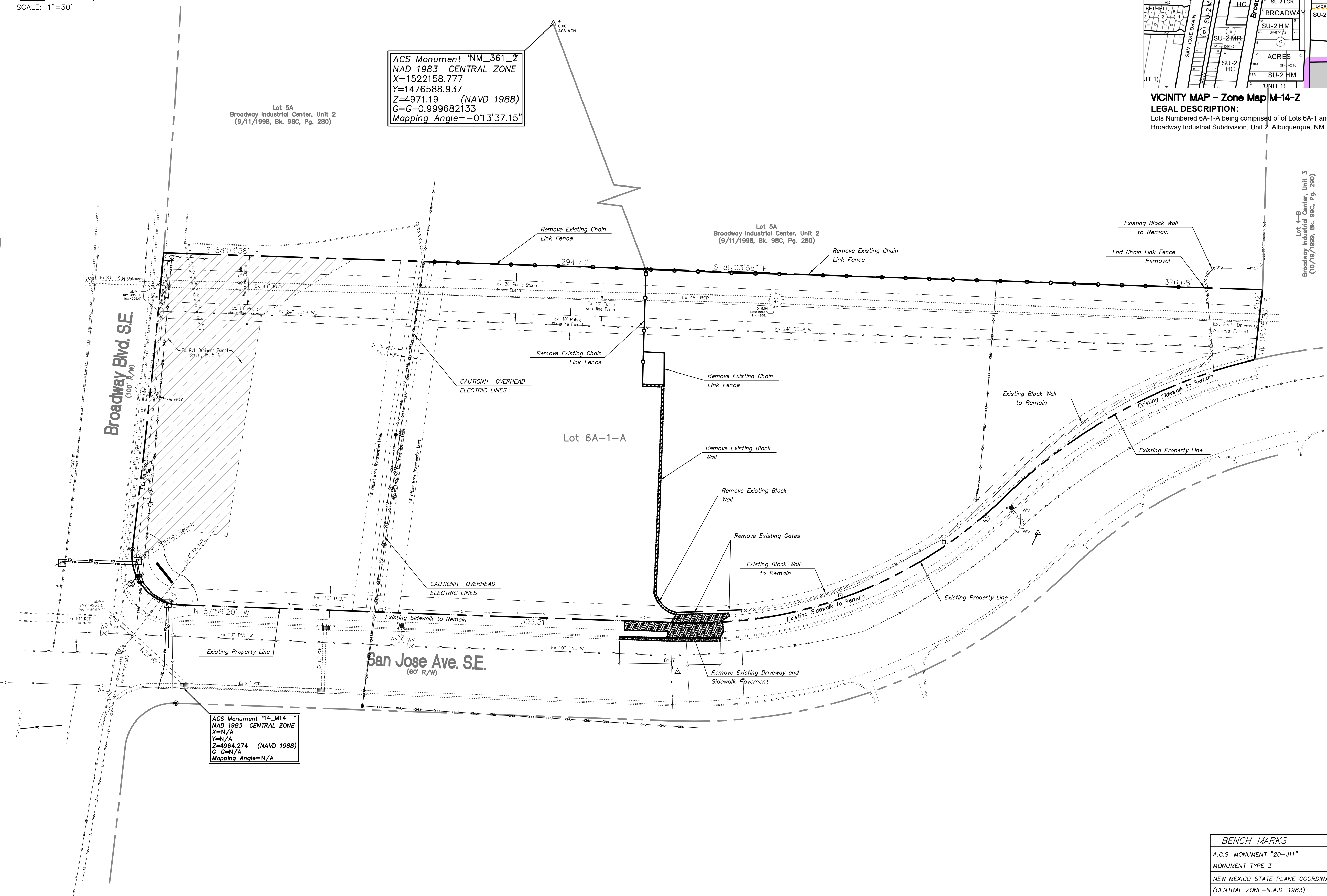


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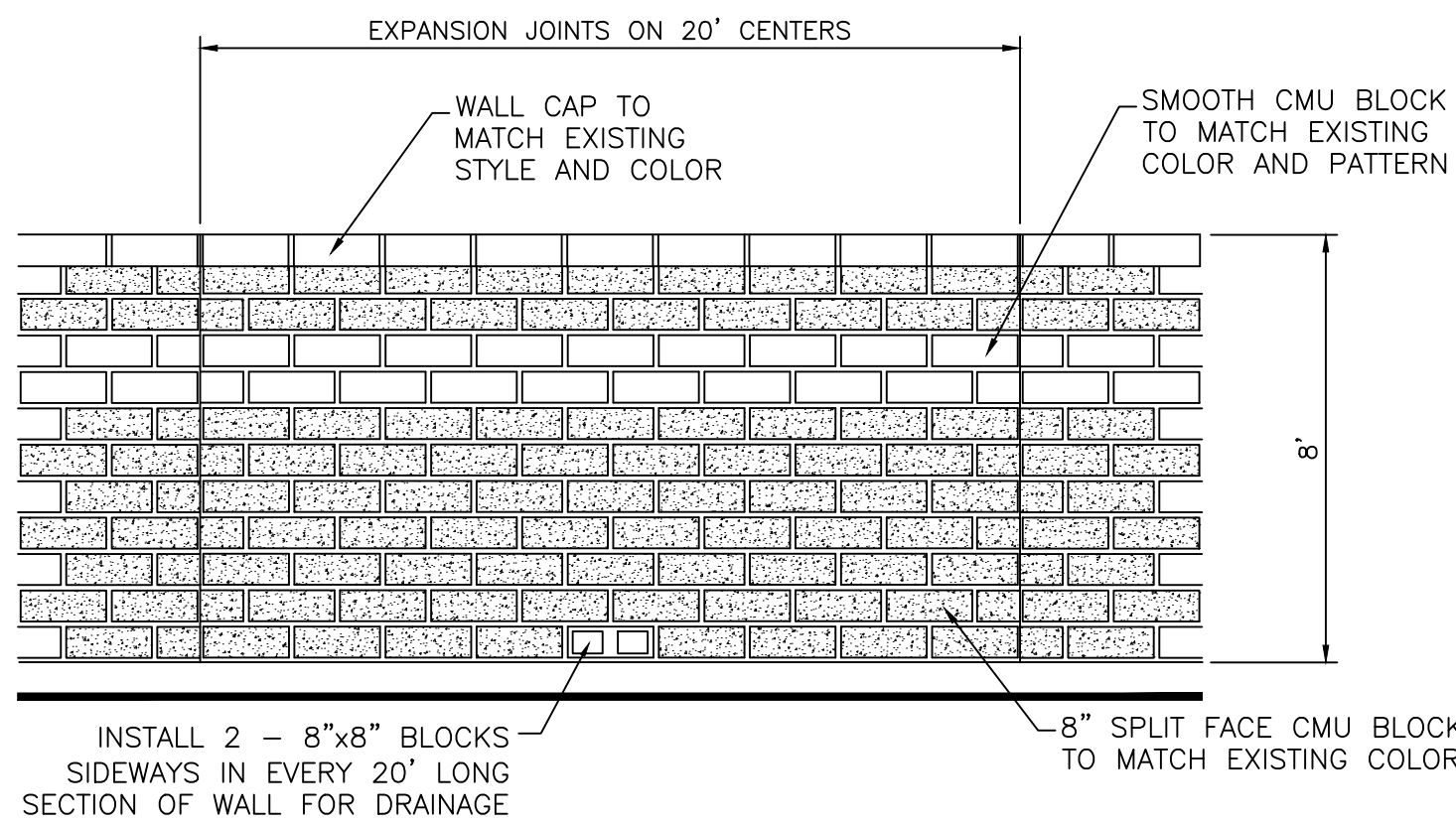
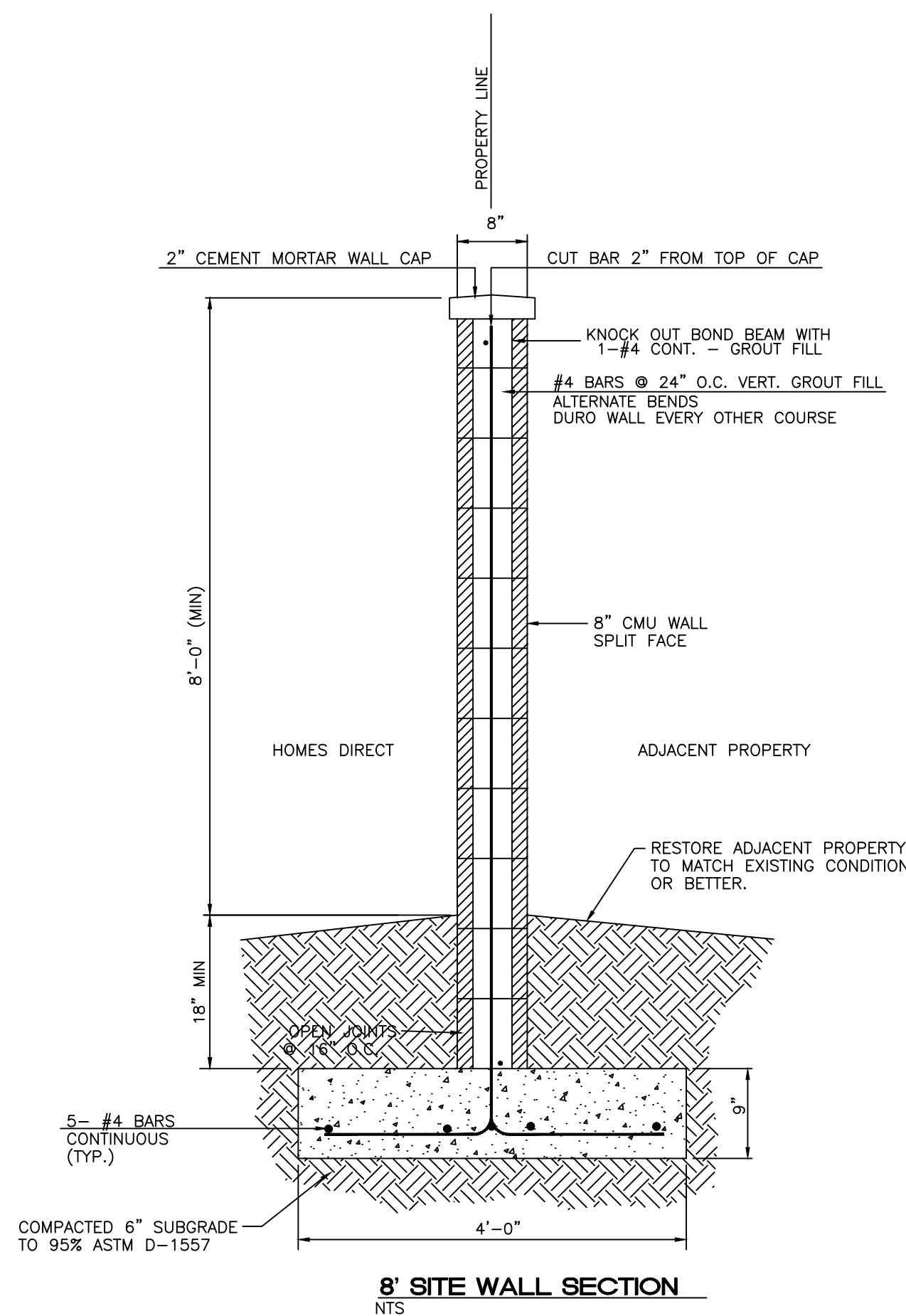
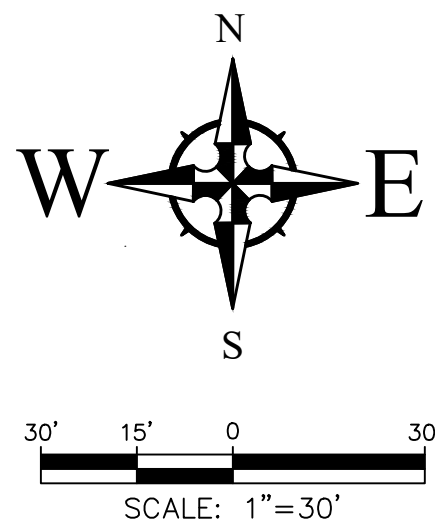
Homes Direct
601 San Jose Ave SE
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Demolition Plan

C-102

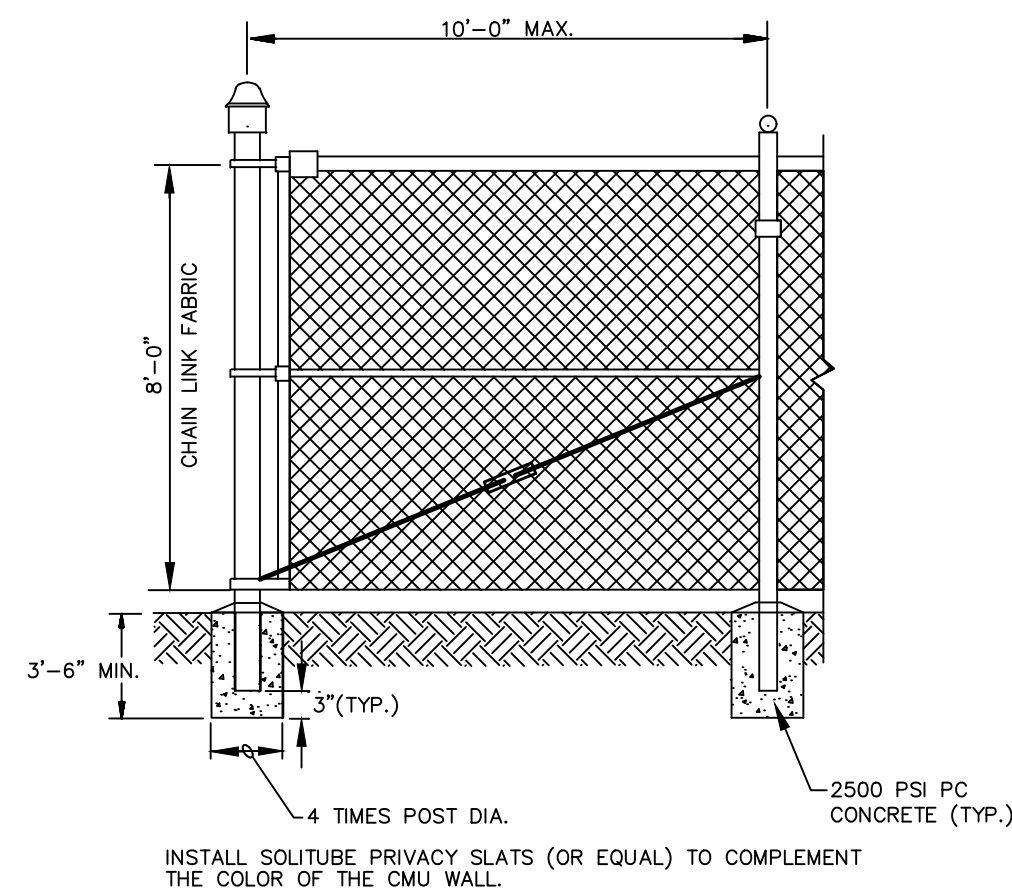


BENCH MARKS	
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E=1,506,437.513	
PUB. EL=5094.032 NAVD 1988	
GROUND TO GRID FACTOR=0.999680825	
DELTA ALPHA ANGLE = -0°15'27.22"	

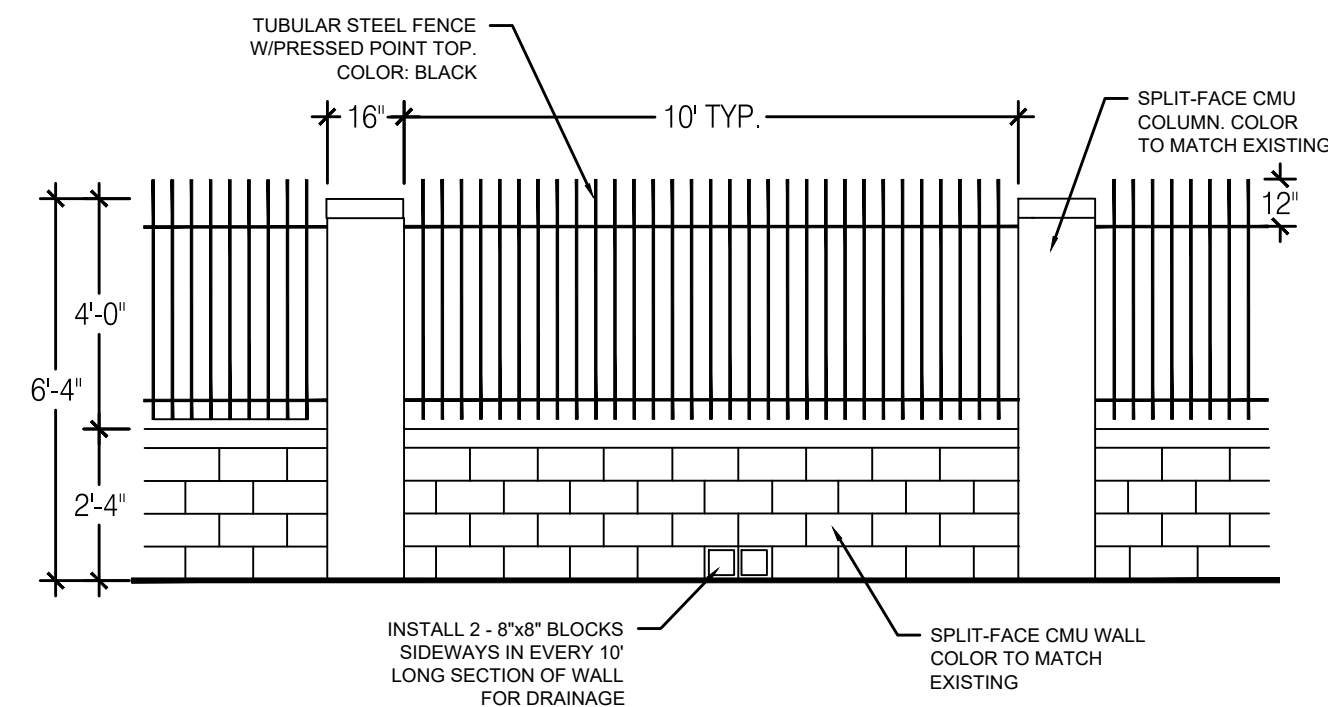


8' SITE WALL ELEVATION

- NTS
- GENERAL NOTES:
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. INSTALL EXPANSION JOINTS ON 20' CENTERS
 8. CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNERS OF WALL LOCATION AND OBTAIN NECESSARY APPROVALS PRIOR TO CONSTRUCTION.



8' CHAIN LINK FENCE DETAIL



6' SITE WALL DETAIL

NOT TO SCALE

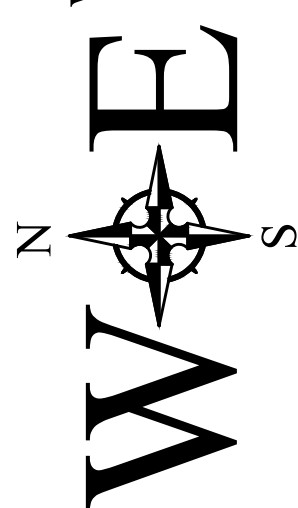
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 7. FOOTING TO MATCH 8' SITE WALL FOOTING.
 8. CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNERS OF WALL LOCATION AND OBTAIN NECESSARY APPROVALS PRIOR TO CONSTRUCTION.

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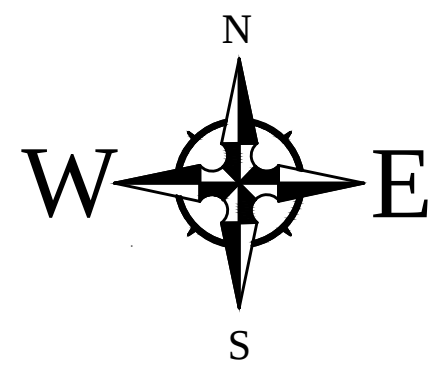
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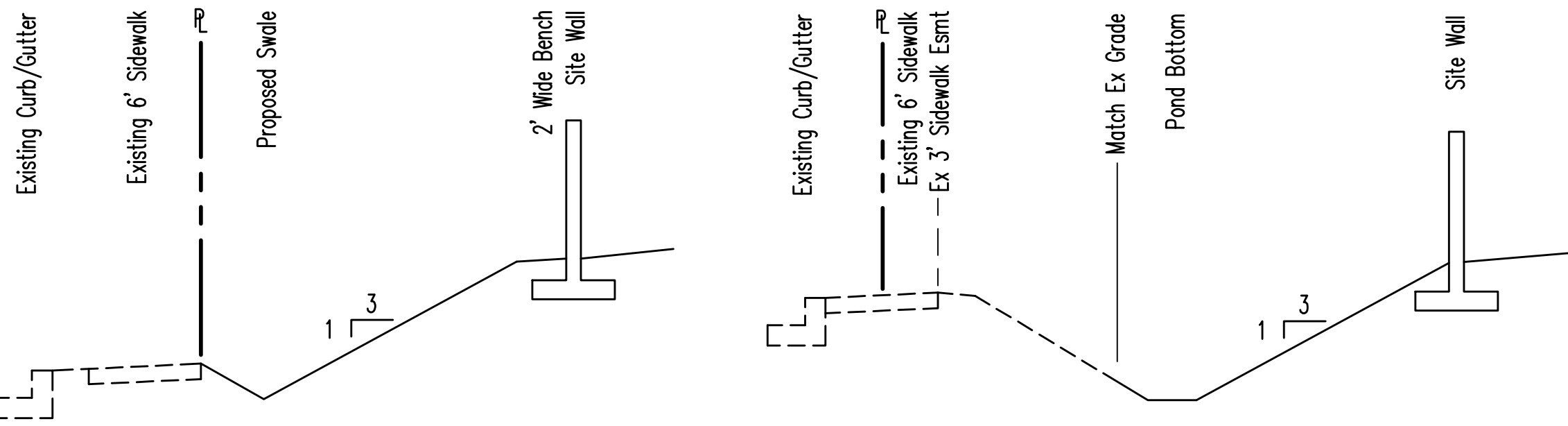
C-103



SCALE: 1"=20'

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



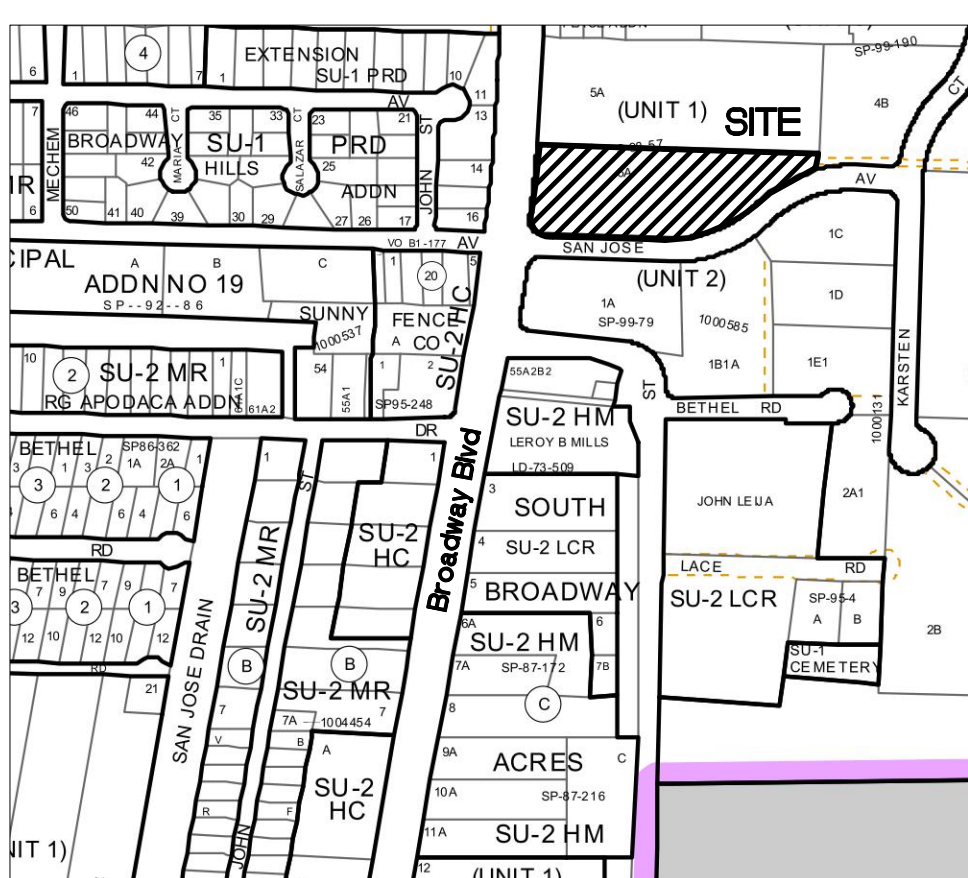
Typical Section at San Jose

NTS

Typical Section at Broadway

NTS

- LEGEND**
- FLOW ARROW
 - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - FGH27.8 PROPOSED GRADE AT TOP OF WALL
 - FGL27.8 PROPOSED GRADE AT BOTTOM OF WALL
 - TW27.8 PROPOSED TOP OF WALL
 - 515 EXISTING CONTOUR
 - 515 PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE



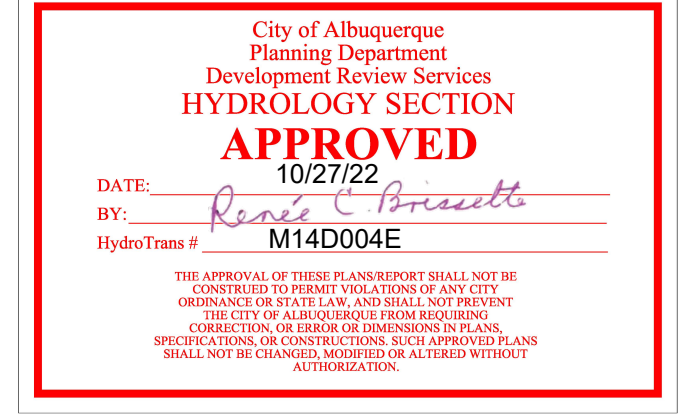
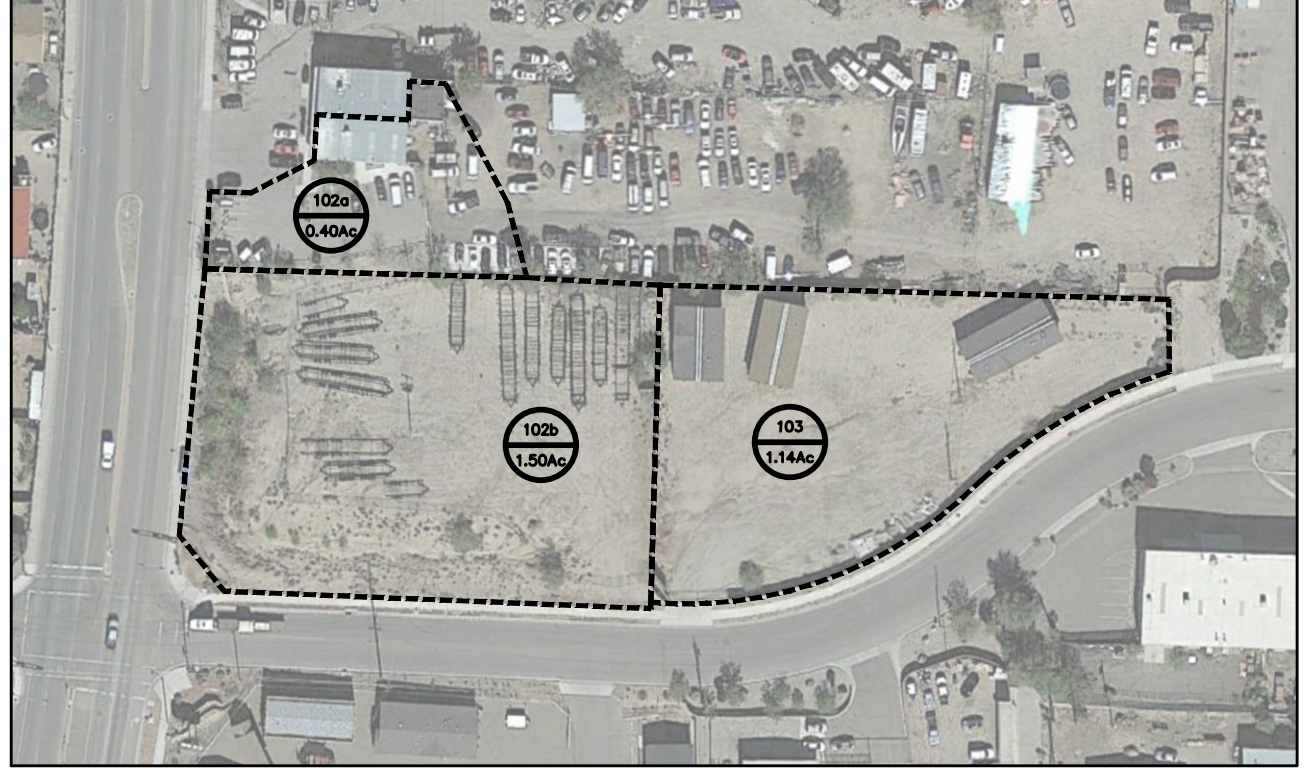
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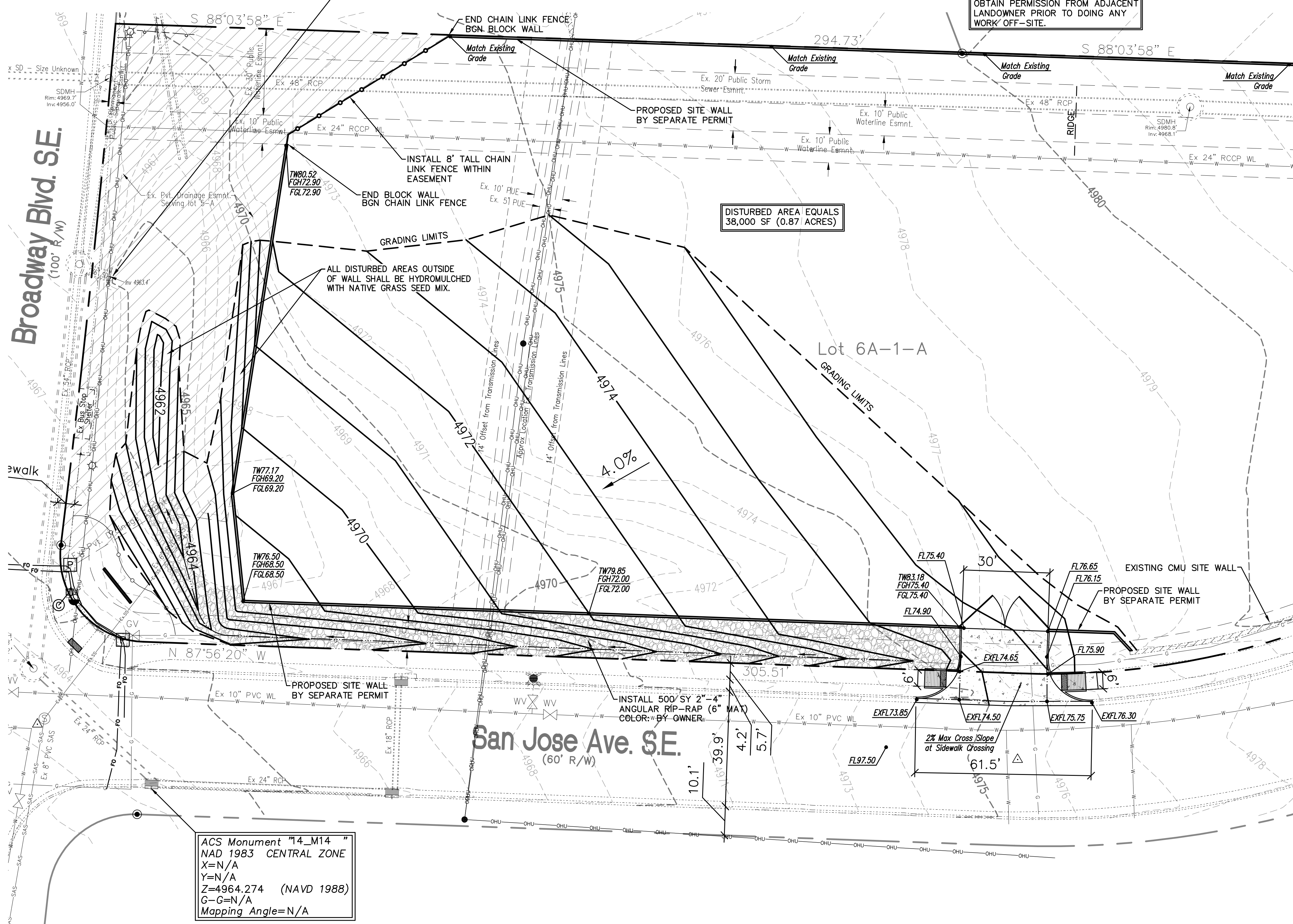
FIRM MAP 35001C0342G
Per FIRM Map 35001C0342G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

GRADING NOTES

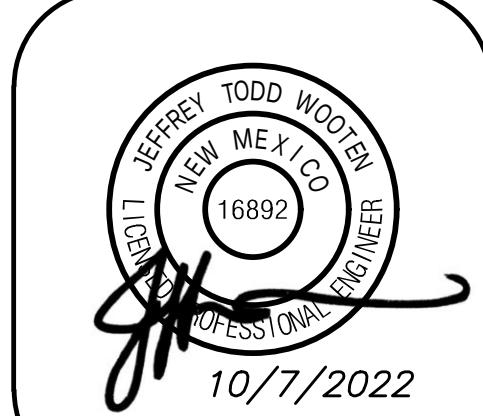
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



BENCH MARKS	
A.C.S. MONUMENT "20-J11"	MONUMENT TYPE 3
NEW MEXICO STATE PLANE COORDINATES	
(CENTRAL ZONE-N.A.D. 1983)	
N=1,491,770.982	E=1,506,437.513
PUB. EL.=5094.032 NAVD 1988	
GROUND TO GRID FACTOR=0.999680825	
DELTA ALPHA ANGLE = -0°15'27.22"	



ACS Monument "14_M14"
NAD 1983 CENTRAL ZONE
X=N/A
Y=N/A
Z=4964.274 (NAVD 1988)
G=N/A
Mapping Angle=N/A



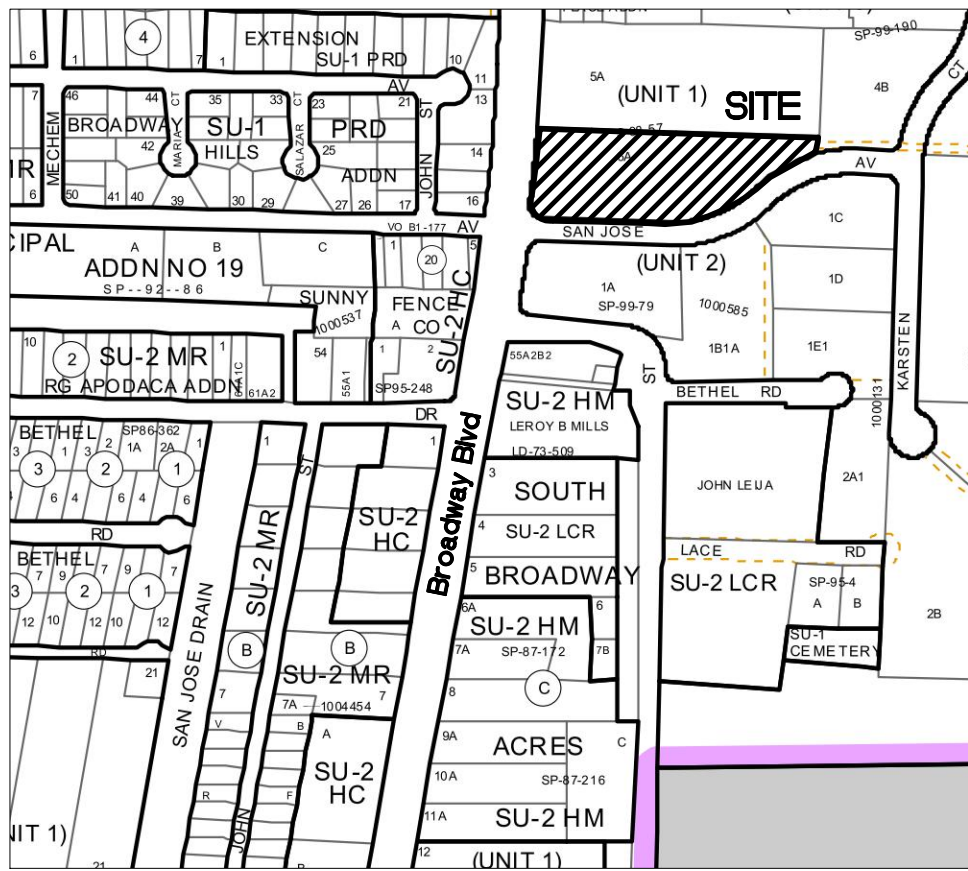
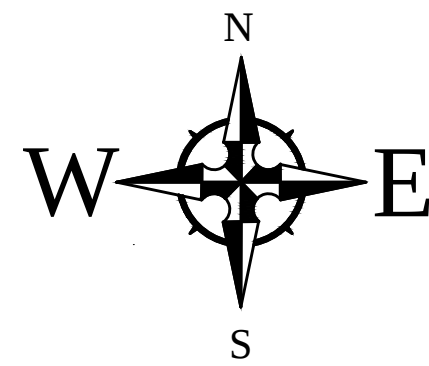
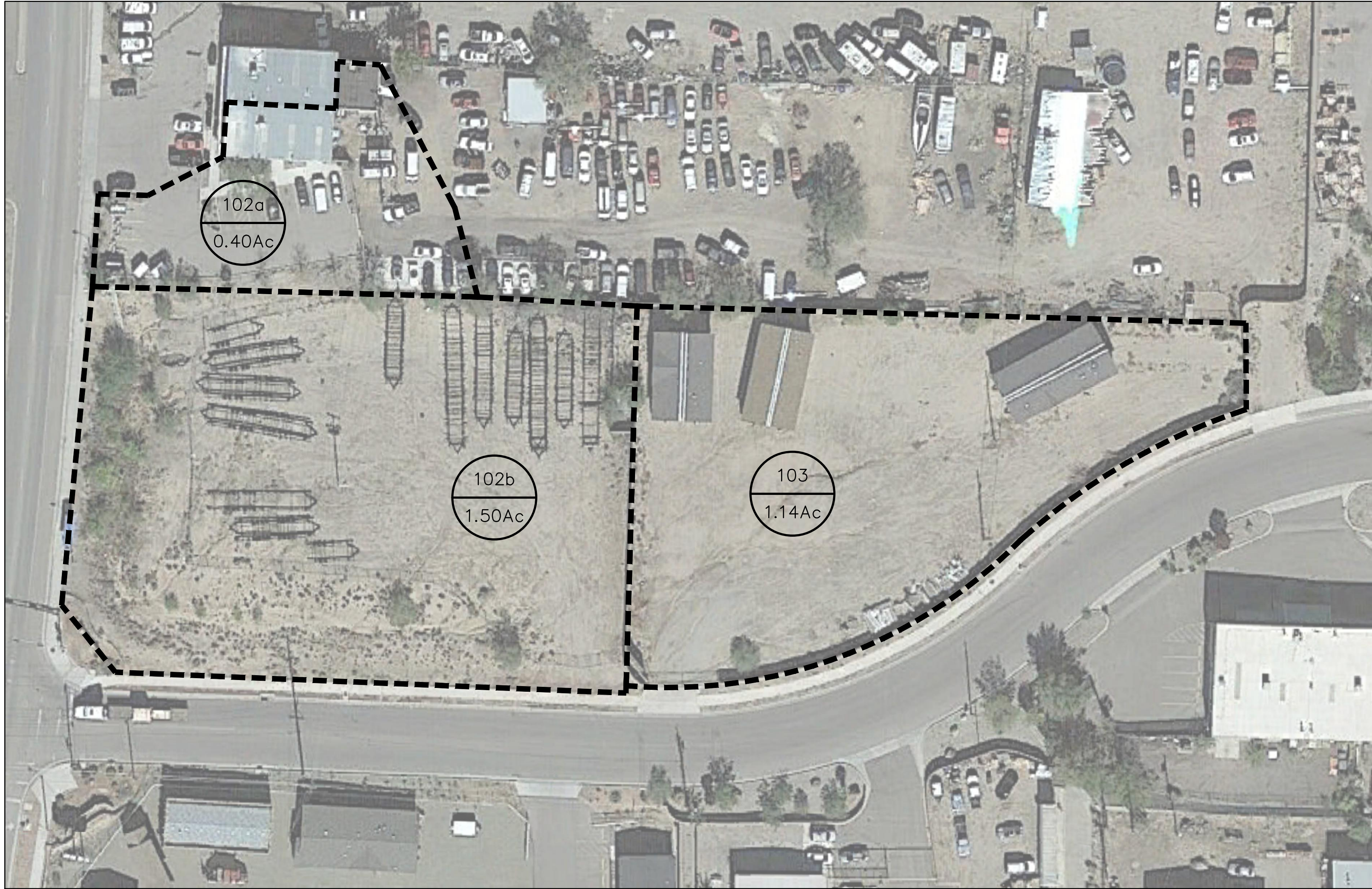
Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

W E

Homes Direct
601 San Jose Ave SE
Albuquerque, NM 87102

Grading Plan

C-201



VICINITY MAP - Zone Map M-14-Z
LEGAL DESCRIPTION:
Lots Numbered 6A-1-A Broadway Industrial Subdivision, Unit 2, City of Albuquerque, Bernalillo County, NM. 2.7556 Acres.



FIRM MAP 35001C0342G
Per FIRM Map 35001C0342G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a grading plan and drainage management plan for the development of 6A-1-A, Broadway Industrial Subdivision, Unit 2. The site is located at 601 San Jose Ave SE (NEC of Broadway and San Jose) in Albuquerque, NM. The site contains approximately 2.74 acres. The proposed development consists of filling in some steep grades to make the site more accessible for storage of modular housing and the installation of new walls/fences around the perimeter of the site. The site will remain unpaved. The existing City Drainage File Number is M14/D0126.

EXISTING HYDROLOGIC CONDITIONS
The site was previously mass graded to allow for future development and generally slopes from west to east to an existing 36" storm drain pipe that connects to an existing storm drain inlet. In accordance with the Broadway Industrial Center Master Drainage Plan by Mark Goodwin & Associates with engineer's stamp date 1/26/1999, this property has a limited discharge of 1.67cfs per acre.

PROPOSED HYDROLOGIC CONDITIONS
The site will continue to drain from west to east and into an enlarged Stormwater Quality / Detention Pond that will discharge via a new 14" Orifice cut into a new steel plate to be mounted to the existing concrete headwall. Per the calculation on this sheet, the maximum discharge from the pond is approximately 4.90cfs at a water surface elevation of 4964.89. The maximum allowable discharge is 5.08cfs.

WATER QUALITY PONDING CALCULATIONS
Since no new impervious areas are being built, Stormwater Quality Ponding is not required; however, we are providing approximately 400 cubic feet of storage to act as a stilling basin before discharging into the existing 36" RCP (via the 14" orifice).

CONCLUSION
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of a Grading Permit.

Existing and Proposed Drainage Calculations														
Ultimate Development Conditions Basin Data Table														
This table is based on the COA DPM Chapter 6.2(A), Zone: 2														
BASIN	Area	Land Treatment Percentages (%)				Weighted C	Tc	I (100)	Q(100)	Q(100)	WTE	V(100) ₅₀	V(100) _{100y}	Comments
	(AC)	A	B	C	D		(min)	(in/hr)	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	
102a	0.40	0.0	0.0	10.0	90.0	0.87	12.00	4.21	3.68	1.47	2.20	3194	5285	
102b	1.50	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	2.88	1.03	5608	5608	
103	1.14	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	2.19	1.03	4262	4262	
TOTAL	3.04									6.54		13065	15156	

Hydrograph Type	= Pond Route	Peak Flow	= 4.906 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.38 hrs
Time Interval	= 1 min	Hydrograph Volume	= 8,552 cuft
Inflow Hydrograph	= 1 - Basin A-2	Max. Elevation	= 4964.89 ft
Pond Name	= Basin A-2 Pond	Max. Storage	= 2,701 cuft

Pond Summary

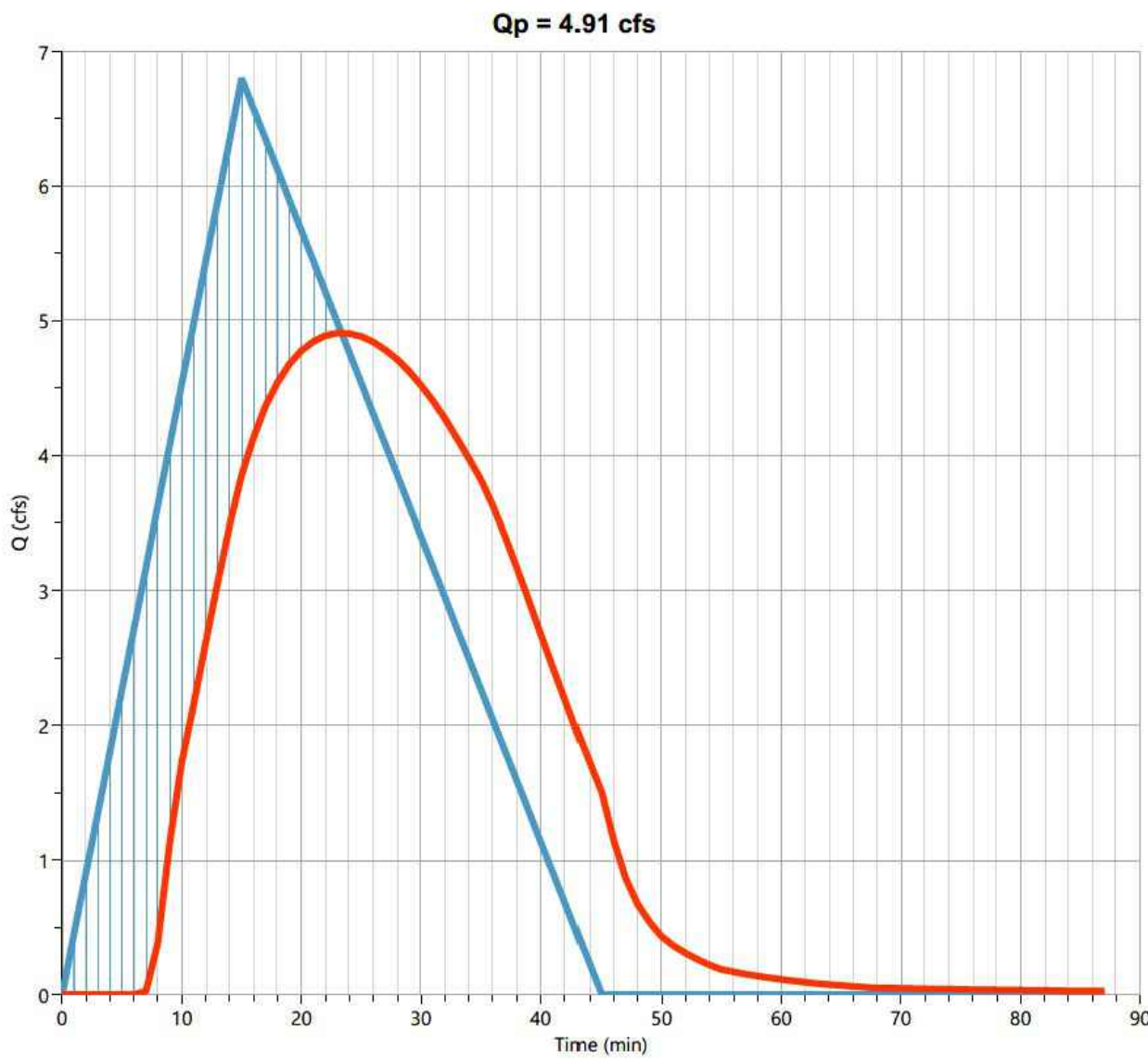
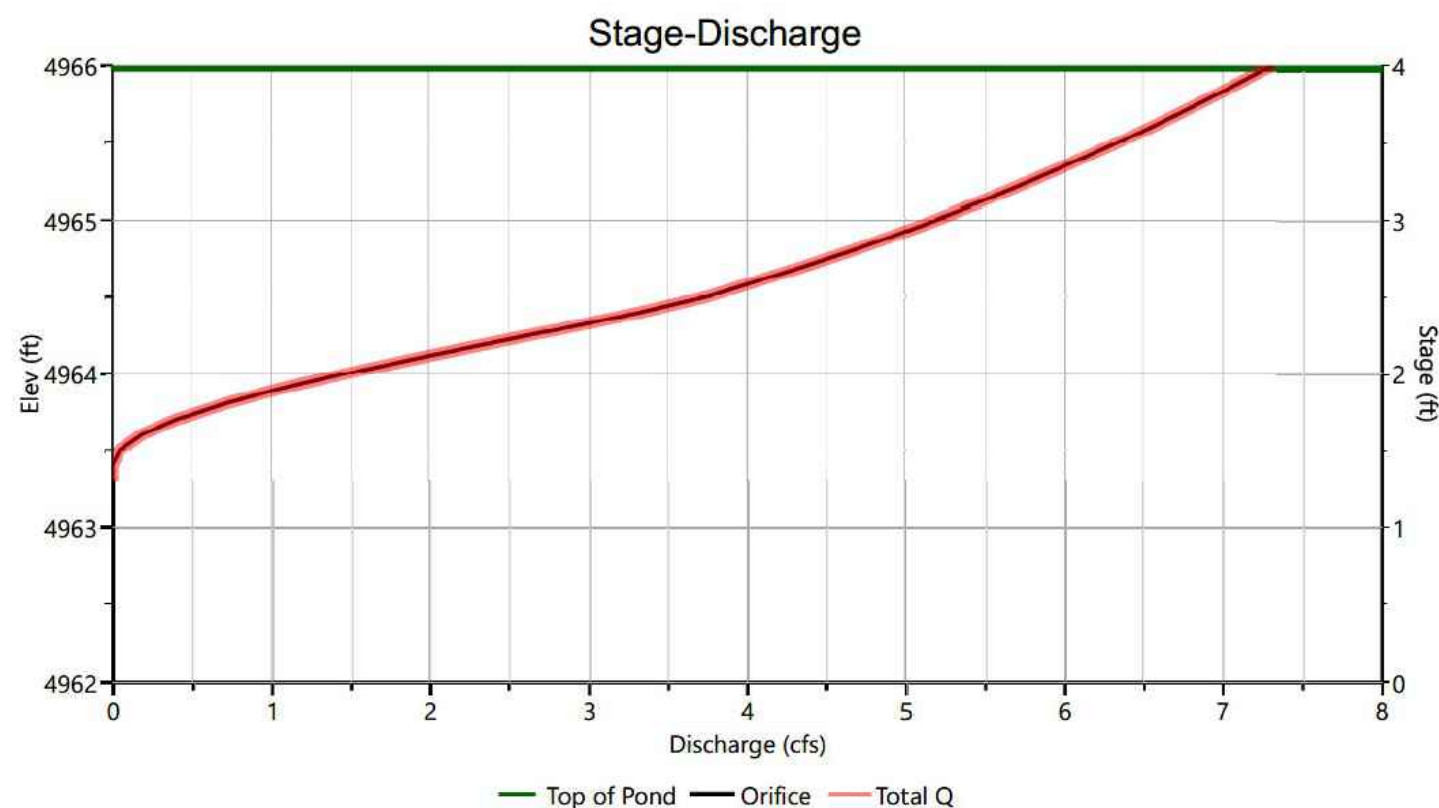
Stage / Storage Table				
Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
0.00	4962.00	97	0.000	0.000
1.00	4963.00	509	303	303
2.00	4964.00	1,103	806	1,109
3.00	4965.00	2,470	1,787	2,896
4.00	4966.00	3,994	3,232	6,128



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POND CALCULATIONS AND TABLES

DRAINAGE BASIN(S) IN: BASINS 102a, 102b, & 103
OUTLET: 14" OPENING IN ORIFICE PLATE; INV: 4963.40



100-Yr, 24-Hr Hydrograph

Homes Direct
601 San Jose Ave SE
Albuquerque, NM 87102

Drainage Plan

C-202