

# ACS BENCHMARK

NMNSHC MONUMENT, "1 - 25 - 30"  
Y = 1477272.26, X = 383916.04, G-G = 0.9987444, DELTA ALPHA = -0.0112°  
CENTRAL ZONE (NAD 1927/SLD 1929)  
ELEVATION = 5038.51

# LEGAL DESCRIPTION

LOTS 1A-1E, UNIT 2, BROADWAY INDUSTRIAL CENTER WITHIN SECTION 32,  
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM, CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

# LEGEND

- 5135 - EXISTING 5' CONTOUR
- TC - EXISTING TOP OF CURB
- FL - EXISTING FLOWLINE
- × 00.00 - EXISTING SPOT ELEVATION
- == - EXISTING CURB AND GUTTER
- - EXISTING SANITARY SEWER MANHOLE
- - EXISTING CABLE T.V. PEDESTAL
- ⊕ - EXISTING WATER VALVE
- E - EXISTING OVERHEAD ELECTRIC LINE
- T - EXISTING OVERHEAD TELEPHONE LINE
- - EXISTING POWER POLE
- ⊗ - EXISTING TELEPHONE PEDESTAL
- ⊕ - EXISTING FIRE HYDRANT
- ⊙ - EXISTING STORM SEWER MANHOLE
- ⊖ - EXISTING DROP INLET
- - EXISTING LOT LINE
- - TRACT/LOT BOUNDARY
- - RIGHT OF WAY
- - EASEMENTS
- - EXISTING WATERLINE
- - EXISTING STORM DRAIN
- - EXISTING VHP GASLINE
- - PROPOSED STORM DRAIN LINE

40' STREET @ 1.0%  
Q<sub>100</sub> 41.84 cfs  
V<sub>100</sub> 3.7 fps

CAPACITY CALCS.

EXISTING SAS

PRIVATE SAS CONNECTIONS W/CLEAN OUT

# Broadway Industrial Center Grading Plan

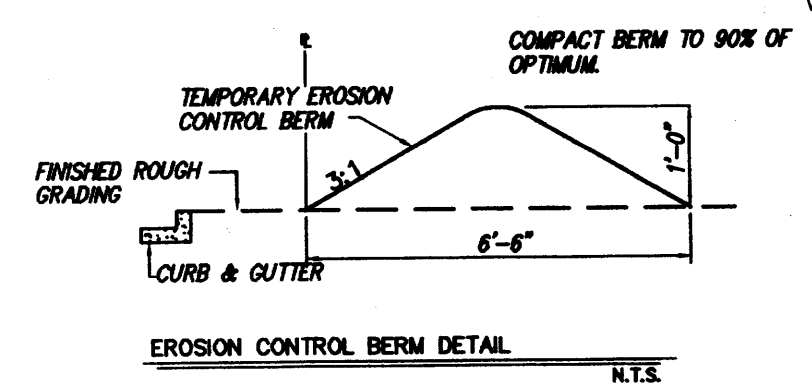
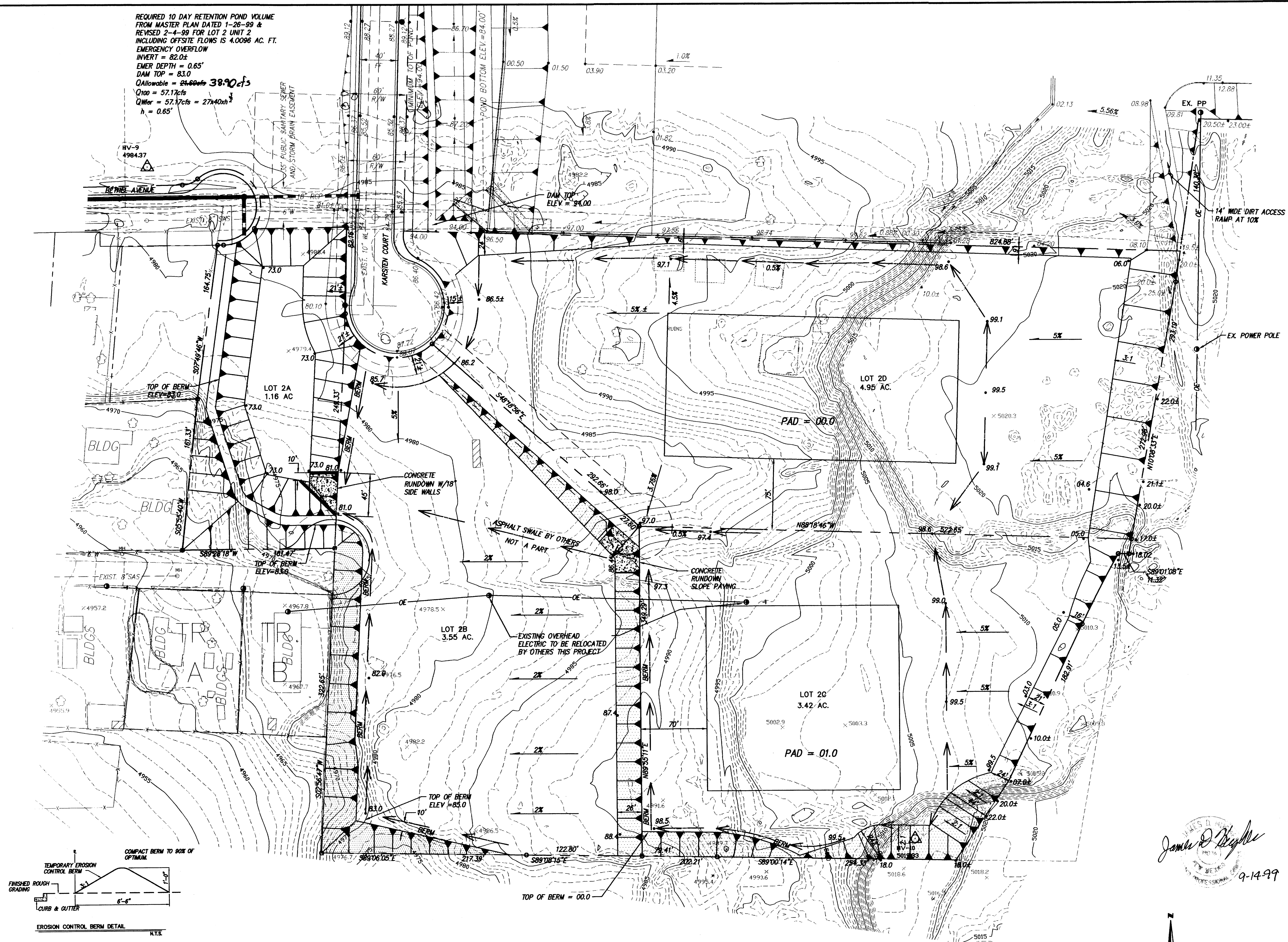
**dmg** MARK GOODWIN & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87109  
(505)828-2200, FAX (505)797-1399

Designed: JDH Drawn: SPS/MJR Checked: JDH  
Scale: 1" = 50' Date: 02/22/99 Job: 99008 Sheet: 1 of 1

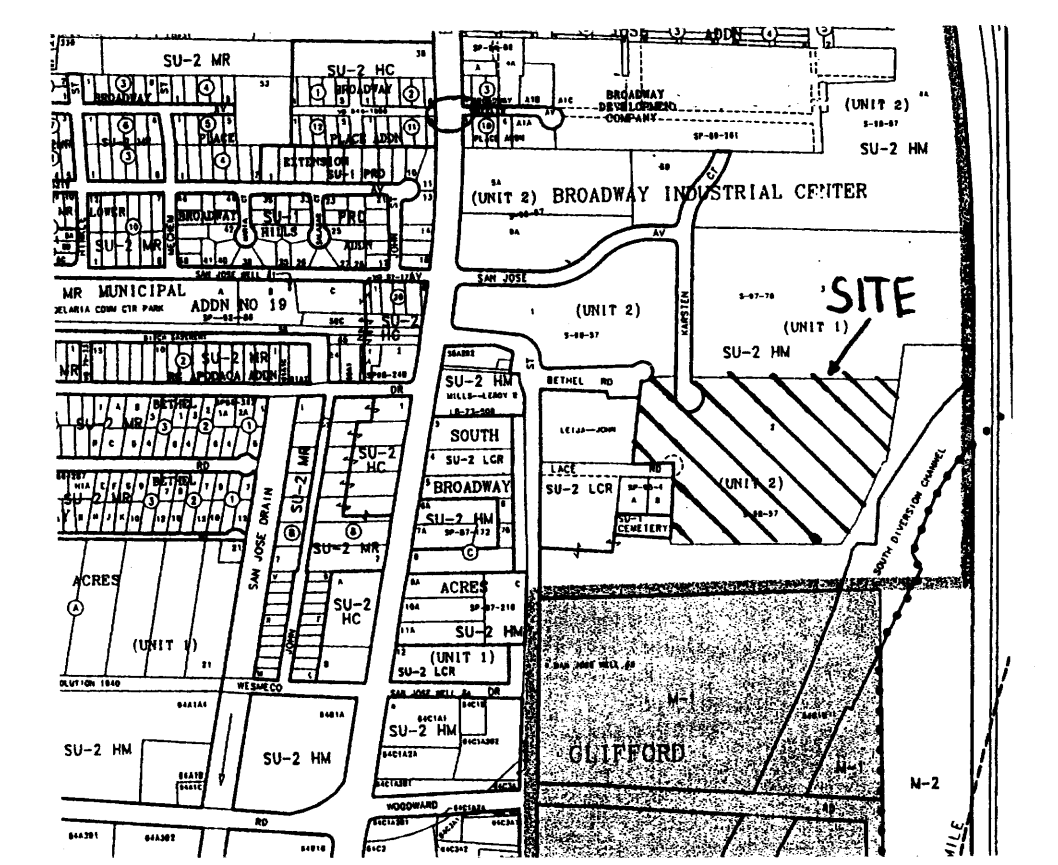
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REQUIRED 10 DAY RETENTION POND VOLUME  
FROM MASTER PLAN DATED 1-26-99 &  
REVISED 2-4-99 FOR LOT 2 UNIT 2  
INCLUDING OFFSITE FLOWS IS 4.0096 AC. FT.  
EMERGENCY OVERFLOW  
INVERT = 82.0±  
EMER DEPTH = 0.65'  
DAM TOP = 83.0  
Allowable = 38.90 cfs  
Q100 = 57.17 cfs  
Q100 = 57.17 cfs = 27400 ft³  
h = 0.65'



- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. EROSION CONTROL BERMES ARE REQUIRED AROUND THE PERIMETER OF EACH LOT AND MUST PREVENT CROSS LOT DRAINAGE.
  5. ALL EROSION CONTROL BERMES MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.
  6. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE INDICATED.
  7. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.



VICINITY MAP ZONE MAP: M-14-Z

**LEGAL DESCRIPTION**  
BROADWAY INDUSTRIAL CENTER UNIT 2, LOT 2, ALBUQUERQUE, NEW MEXICO

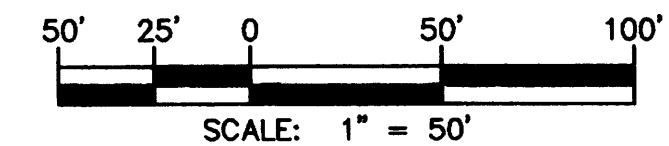
- LEGEND**
- FP= 30.38 FINISHED PAD ELEVATION
  - 3:1 SLOPE
  - TRACT/LOT BOUNDARY
  - RIGHT OF WAY
  - EASEMENTS
  - SWALE
  - W PROPOSED WATERLINE
  - 28.53 PROPOSED SPOT ELEVATION
  - CENTERLINE OF ROAD
  - EXISTING STORM DRAIN LINE
  - SAS EXISTING SANITARY SEWER
  - 5135 EXISTING CONTOUR
  - x 00.00 EXISTING SPOT ELEVATION
  - EXISTING CURB AND GUTTER
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING POWER POLE
  - EXISTING FIRE HYDRANT
  - EXISTING DROP INLET
  - OE EXISTING OVERHEAD ELECTRIC
  - EXISTING EDGE OF PAVEMENT
  - EXISTING EASEMENTS
  - WL EXISTING WATERLINE
  - EXISTING FENCE
  - EXISTING GUY
  - 2:1 GRAVEL MULCHED SLOPE

**PURPOSE**  
THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN IS TO ALLOW THE ADMINISTRATIVE SUBDIVISION OF ONE EXISTING LOT INTO FOUR SMALLER LOTS AND TO PROVIDE A PLAN FOR ROUGH GRADING PADS SITES ON THREE OF THESE LOTS. THE FOURTH LOT WILL BE COMMON AREA TO INITIALLY BE USED BY THE ASSOCIATION OF LOT OWNERS AS A RETENTION POND TO BE CONVERTED AT A LATER DATE TO A DETENTION POND AFTER THE 72" STORM SEWER IS CONSTRUCTED IN BROADWAY BLVD. TO THE SAN JOSE DRAIN. BOTH THE TEMPORARY RETENTION AND THE LATER DETENTION PONDS ARE IN ACCORDANCE WITH THE MASTER DRAINAGE MANAGEMENT PLAN FOR BROADWAY INDUSTRIAL CENTER STAMPED 1-26-99 AND REVISED 2-4-99.

**BROADWAY INDUSTRIAL CENTER  
UNIT 2, LOT 2A THRU LOT 2D  
GRADING AND DRAINAGE PLAN**

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Designed: JDH Drawn: WL/SPS Checked: DMG  
Scale: 1" = 50' Date: 9/99 Job: 99101 Sheet 1 of 1



James D. Knight  
9-14-99



9101BIC/9101GD50/09-09-99/ACH