

The purpose of this plan is to establish developed drainage patterns for the Master Plan Area. It includes conceptual designs of the on-site public drainage infrastructure, and establishes allowable discharges from private lots. Grading of the private lots is not Separate Grading and Drainage plans are required for the individual lots prior to issuance of building permits. Each lot will be required to temporarily retain all on-site developed storm water runoff (100 yr., 10 day Volume) until the City completes the storm sewer diversion in Broadway Boulevard, from Alamo Avenue to the San Jose Drain in accordance with the South Broadway Sector Drainage Management Plan. After the Broadway storm drain is constructed, the retention ponds may be reduced in size to allow discharge at the rates established by this plan. All on-site public right-of-ways are allowed free discharge and the initial increase in downstream flows is offset by the ponding requirements on the individual lots such that there will be no significant adverse impact to the downstream

The "Unit 3 Revision" maintains the same allowable flow of 123.57cfs in the existing 48" pipe just east of Broadway Blvd., while expanding the contributing area to include 5.5 acres in lot 11 at the same allowable by creating a large pand on lot 7 The pand on lot 7 overdetains incorniows from lots 8,9,10 and offsite areas such that free discharge from lower portion of the basin plus the increased area on lot 11 does not

INV. RIM/TC PHASE TYPE SLOPE DEPTH APPROACH INTERCEPT BYPASS 7) 56.30 61.70 UNIT 1 'A' INLET 3.8 0.33 6.64 4.0 2.64 8 55.00 61.35 UNIT 1 'A' INLET 3.8 0.33 6.64 4.0 2.64 (9) 52.50 58.82 UNIT 1 'C' INLET 1.7 0.30 5.28 3.5 1.78 - FUTURE 'A' INLET 1.0± 0.56 20.92 7.1 13.82 - | - | FUTURE 'C' INLET | 1.0± | 0.50 | 13.82 | 5.7 | 8.12 - FUTURE MH 4'DIA FUTURE MH 6'DIA 79.0± 85.35 UNIT 2 'A' INLET SUMP - 3.64 0.00 9) 45.0± 55.0± UNIT 2 MH 6'DIA 1 44.0± 55.5± UNIT 2 MH 6'DIA - - - - - - -40.0± 51.0± FUTURE MH 8'DIA 24) 64.22 78.5± EXIST. MH 6'DIA - - - -75.48 89.0± EXIST. MH 6'DIA - - - - -(26) 86.45 | 96.0± | EXIST. | MH 6'DIA | - | - | - | - |

property. A privately maintained retention pond will be provided for the Southerly end of Karsten Court until the Broadway storm sewer

discharge rate of 1.667cfs/ on site • acre as established in the report and while allowing free discharge from all of the Unit 3 lots below lot 7 exceed the original 123.57cfs allowable discharge rate as established by the previously approved version of this plan and in accordance with the South Broadway Sector Drainage Management Plan. This plan also identifies rough grading of pad sites and temporary retention ponds on each of the Unit 7 lots except lot 11. The temporary retention ponds may be adjusted at the time of building permit for each lot but must remain until the 72" pipe is constructed in Broadway per project # 1-05-1B. The detention pond on lot 7 will be temporarily oversized as a retention pond to serve development of lots 8, 9, & 10.

VICINITY MAP ZONE MAP: M-14 LEGAL DESCRIPTION

A tract of land situate within Sections 28, 29, 32 and 33, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being a portion of TRACT A and B McKINNEY-APODACA AREA as the same is showneddurry

Clerk of Bernalillo County, New Mexico, on March 15, 1960 in Volume C4, Folio 190, together with a portion of LANDS OF HENRY AND SENAIDA PEREA and ALBERTO CANDELARIA as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on January 27, 1953, in Volume C2, Folio 143, together with all of TRACT A, LAND OF GORDON ZUCHT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on June 8, 1977 in Volume A6, Folio 59, together with TRACT B, LAND OF GORDON ZUCHT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on June 8, 1977 in Volume A6, Folio 58, together with a portion of Parcel O, LANDS OF SCHWARTZMAN PACKING COMPANY as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 17, 1961 in Volume D2, Folio 133, together with a remaining portion of SMALL HOLDING CLAIM FILE Number 2534 and 2535, PLAT OF SMALL HOLDING CLAIMS as the same is shown and designated on said plat filed in the General Land Office, in Santa Fe, New Mexico, on December 5, 1895 and together with a portion of VACATED HIGH STREET AND ARNO STREET

GENERAL NOTES

CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. LATEST EDITION, SHALL GOVERN ALL WORK. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST

CONTROL MEASURES AND REQUIREMENTS, AND WILL BE RESPONSIBLE FOR PREPARING ND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS. . THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL. THIS SHEET. AND WETTING THE SOIL TO KEEP IT FROM BLOWING. CONTRACTOR

IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF 5. THE EARTHWORK CONTACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

6. ALL STREET ELEVATIONS SHOWN ARE FINISHED FLOWLINE CROSSLOT DRAINAGE IS TO BE PREVENTED BY THE CONTRACTORS CONSTRUCTION

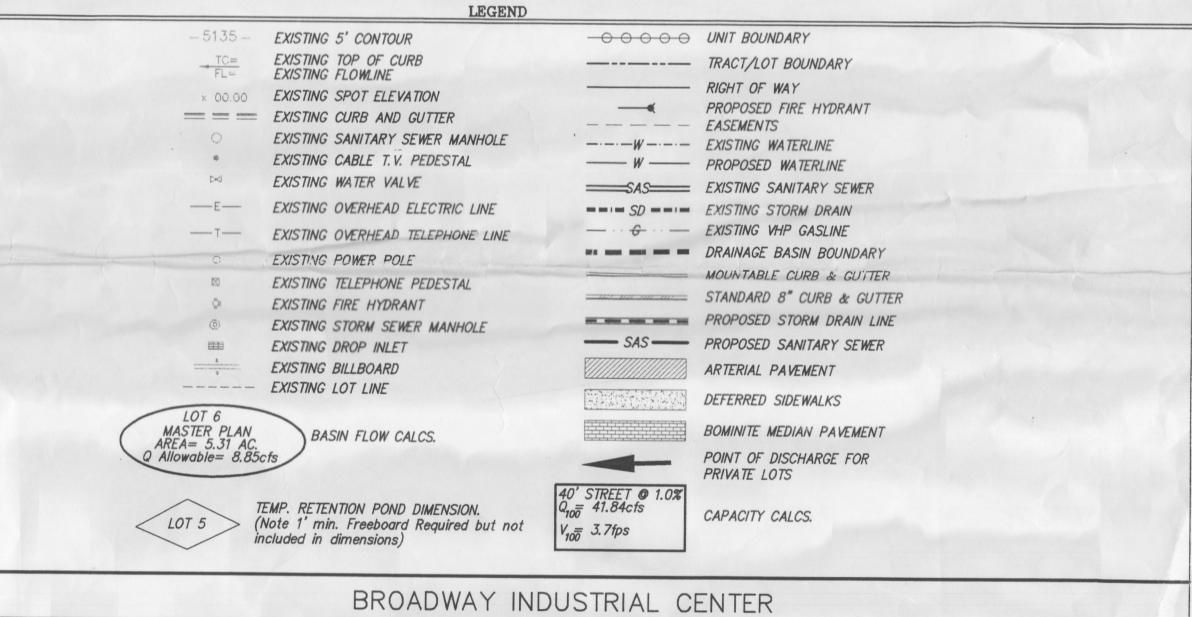
S.E. and containing 60.8423 acres more or less.

OF DITCHES CUT INTO THE ROUGH GRADES TOGETHER WITH BERM'S CREATED FROM THE EXCESS MATERIAL FROM THE DITCHES, SUCH THAT THE ULTIMATE DRAINAGE PATTERNS SHOWN HEREON ARE TEMPORARILLY ESTABLISHED TO THE SATISFACTION OF THE INSPECTING ENGINEER. (18" AVERAGE DITCH DEPTH, 12" AVERAGE COMPACTED BERM HEIGHT, 30" TOTAL

ZONING AND SETBACKS

This property is Zoned SU-2, HM By the South Broadway Sector Plan which is equivelant to M-1. The front and street side yard of corner lots is the greater of

B. 11' where a street or driveway intersects a driveway.



UNIT 3 REVISION TO THE GRADING AND DRAINAGE MASTER PLAN

D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199

(505) 828-2200Designed: DMG Drawn: AMB Checked: DMG Scale: 1" = 100' Date: 11/13/98 Job: 98027

A\DwGS\99JOBS\9008BIC\9008GDM1.DWG Tue Mar 09 14:01:10 1999 plotted by Mike

