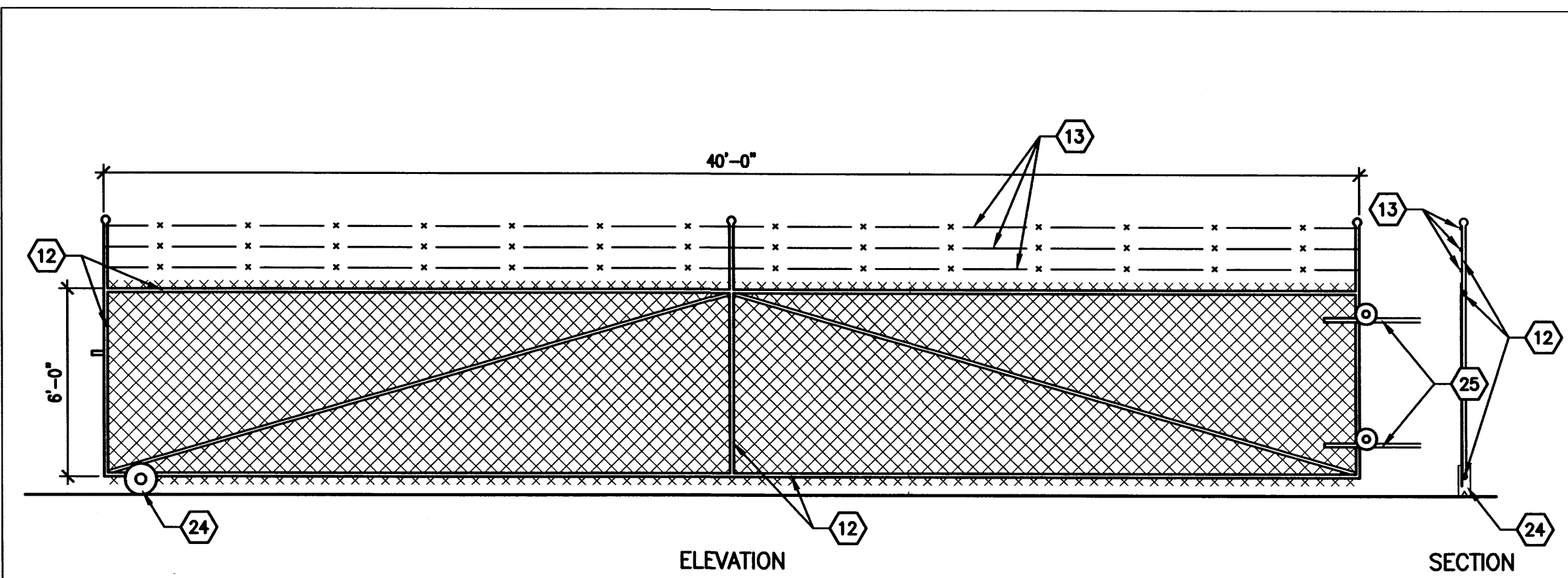
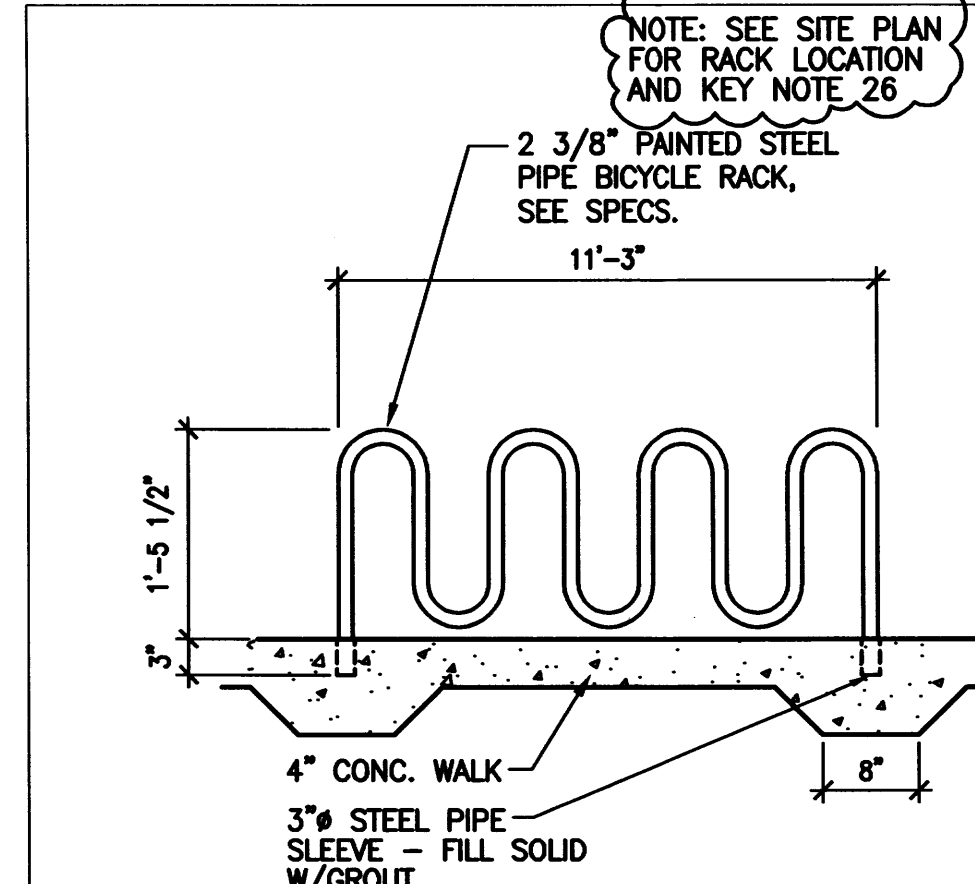




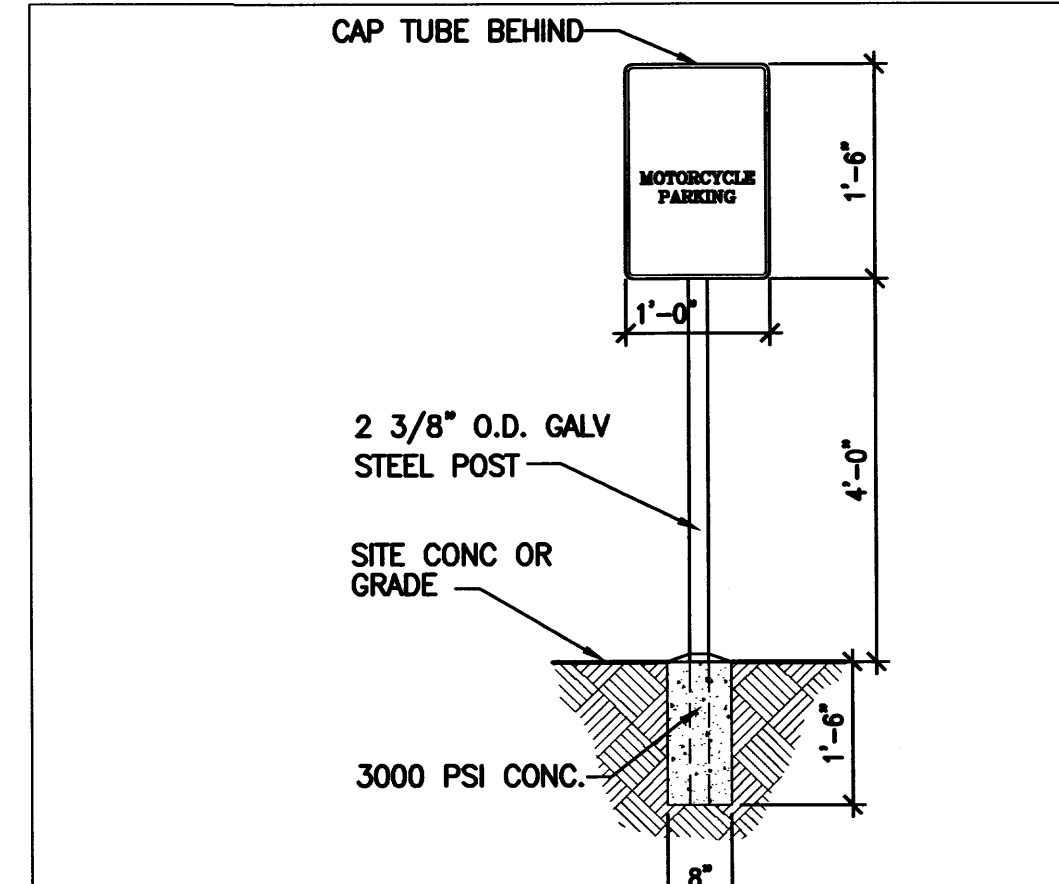
D1 GATE DETAILS

1/4"=1'-0"



D3 BIKE RACK

3/4"=1'-0"



D4 MOTORCYCLE SIGN

3/4"=1'-0"

KEYED NOTES

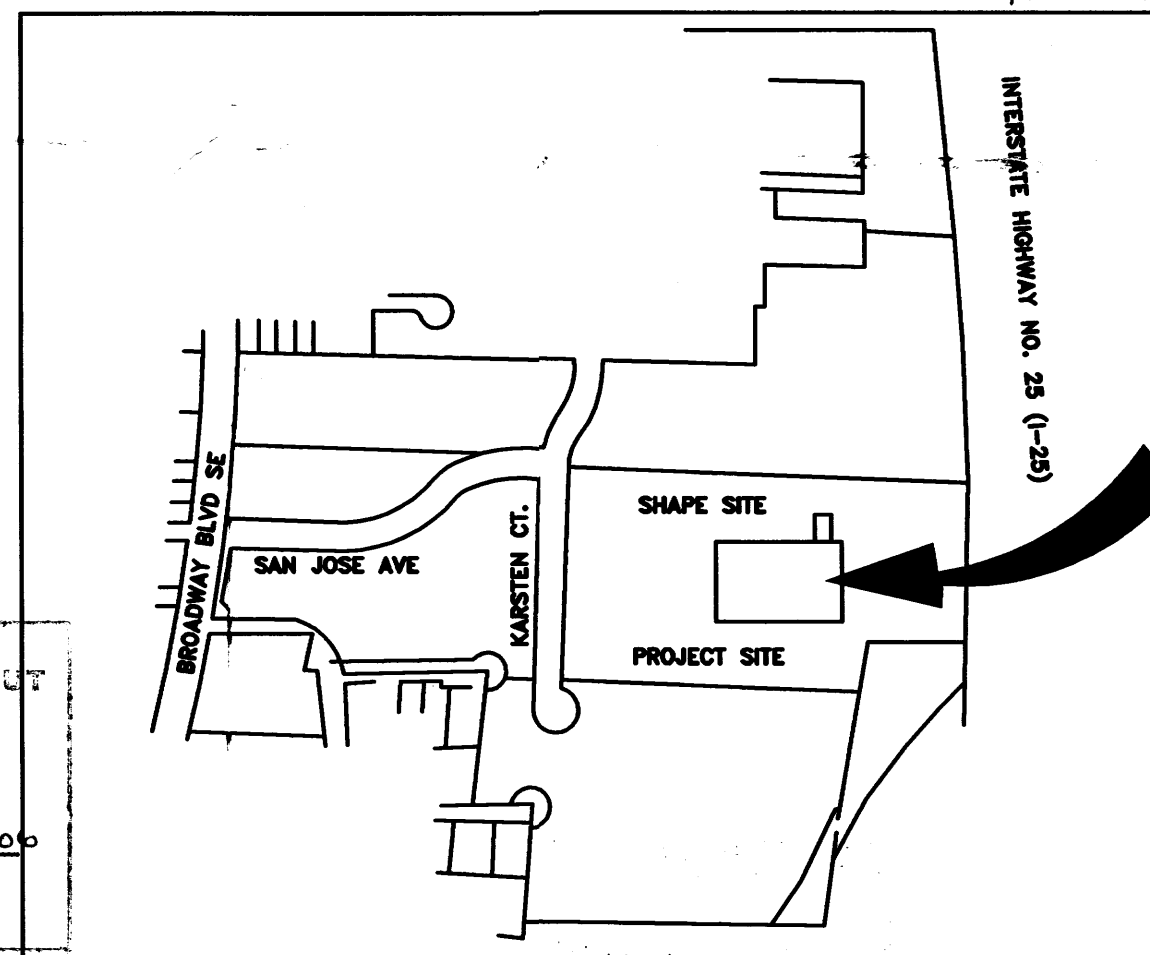
- EXISTING MANUFACTURING FACILITY.
- EXISTING SIDEWALK AND LANDSCAPING.
- EXISTING ASPHALT PAVING.
- NOT USED.
- EXISTING CHAIN LINK FENCE.
- EXISTING RETENTION POND.
- EXISTING LIGHT POLE.
- EXISTING FIRE HYDRANT.
- EXISTING FIRE/WATER LINE.
- EDGE OF EXISTING ASPHALT.
- BUILDING ADDITION.
- 1 1/2" # STEEL PIPE FRAME.
- BARBED WIRE.
- CONCRETE PAD FOR COMPACTOR. INSTALL ANGLE STOP PER COMPACTOR MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS D1/AS-104, C1/AS-104 & B1/AS-104.
- EXISTING GUARDRAIL LENGTH OF POND.
- (1) 40' SLIDING GATE EACH SIDE, SEE DETAIL D1/AS-103.
- NOT USED.
- DASHED LINE INDICATES A 60'-0" YARD CLEARANCE FROM BUILDING, REQUIRED BY CODE FOR UNLIMITED ALLOWABLE AREA.
- DASHED LINES ARE REPRESENTATIONAL ONLY TO SHOW TRUCK TURNING RADIUS.
- NEW 12" WIDE CONCRETE RIBBON ACROSS OPENING.
- NEW CURB TO COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (25' RADIUS).
- NOT USED.
- STEEL V-TACK WHEEL.
- PHASE FOR SITE.
- BIKE RACK. SEE DETAILS D3/AS-103 A1/AS-104. 11 SPACES REQUIRED FOR BIKE RACK.
- MOTORCYCLE PARKING. SEE DETAIL D4/AS-103 AND A2/AS-104.
- EXISTING REFUSE ENCLOSURE.
- GENERAL CONTRACTOR SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- INSTALL NEW PAVEMENT IN AREA WHERE EXISTING CURB IS REMOVED FOR WIDENING ENTRANCE. COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SUMMARY

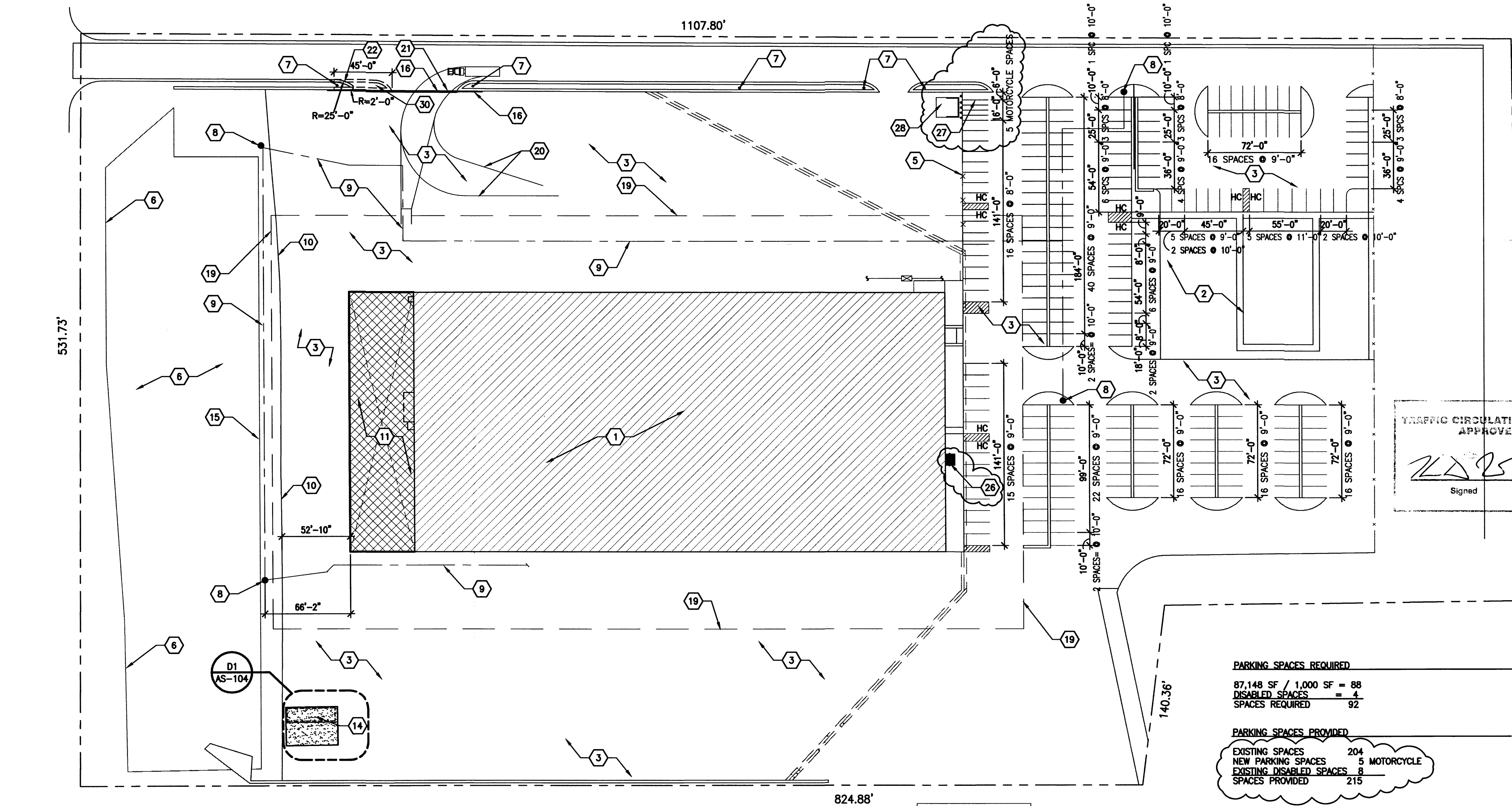
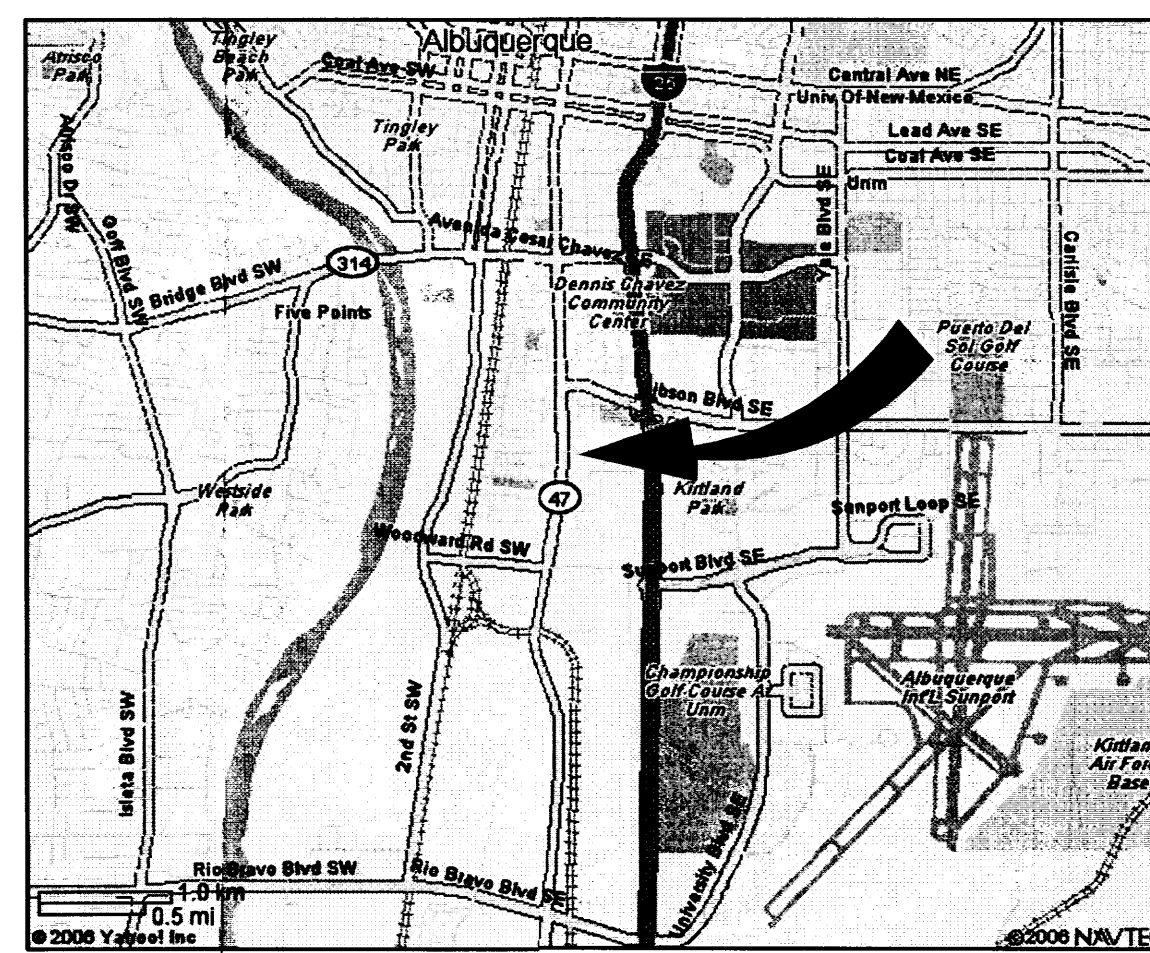
- THE NEW CONCRETE PAD IS PROVIDED FOR THE COMPACTOR ONLY.
- THE REFUSE FROM THE COMPACTOR AREA WILL BE GOING TO THE EXISTING REFUSE PAD.
- ALL PAVEMENT ON SITE IS EXISTING. THE ONLY AREA TO BE REPAVED IS THE CURB CUT WHERE THE ENTRANCE IS WIDENING.
- EXISTING CURB IS REMOVED TO WIDEN THE ENTRANCE. INSTALL NEW CURB ACCORDING TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- NEW GATE TO BE INSTALLED AT THE SITE ENTRANCE.
- NEW MOTORCYCLE PARKING IS PROVIDED (5 SPACES).
- NEW BICYCLE RACK IS PROVIDED (11 SPACES).

ALL CLOUDS ARE PERMIT CORRECTIONS FROM ORIGINAL SUBMITTALS.

LOCATION MAP



VICINITY MAP



A1 SITE PLAN

SCALE: 1"= 50'-0"

PARKING SPACES REQUIRED
87,148 SF / 1,000 SF = 88
DISABLED SPACES = 4
SPACES REQUIRED = 92

PARKING SPACES PROVIDED
EXISTING SPACES 204
NEW PARKING SPACES 5 MOTORCYCLE
EXISTING DISABLED SPACES 8
SPACES PROVIDED 215

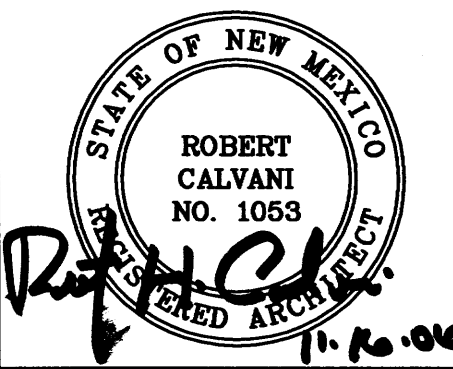
0 50' 100'
SCALE: 1"= 50'



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1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT



CONSULTANT

PROJECT TITLE

**KARSTEN
MANUFACTURING
EXPANSION**

**CHASSIS PLANT
EXPANSION**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK DATE DESCRIPTION

TS TS

PROJECT NUMBER:

A06.06

DATE:

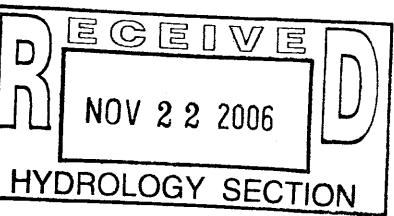
10-09-06

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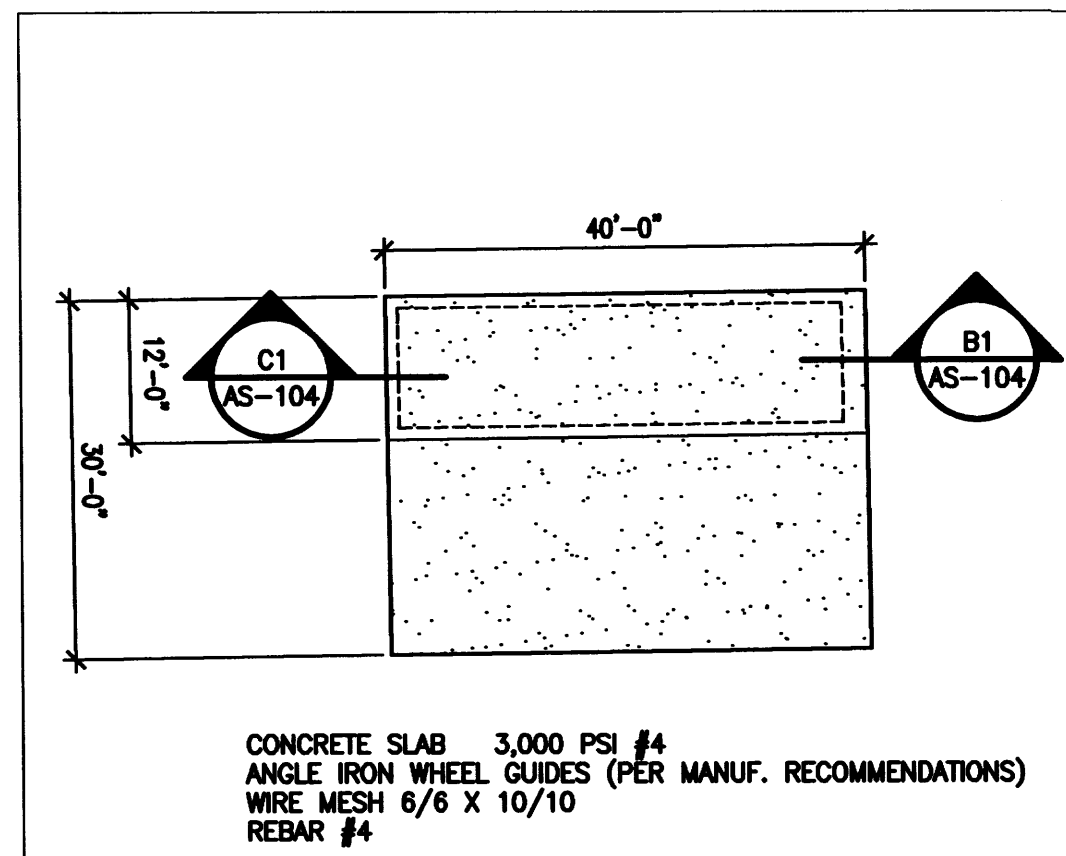
**TRAFFIC
CONTROL PLAN**

SHEET NO:

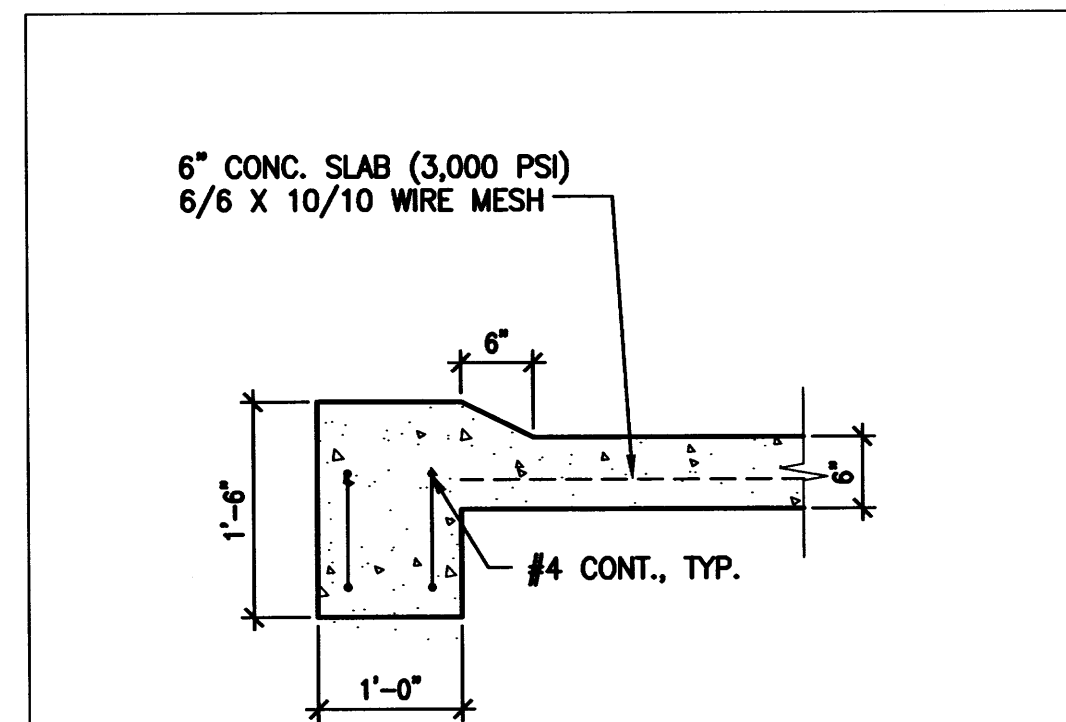
AS-103



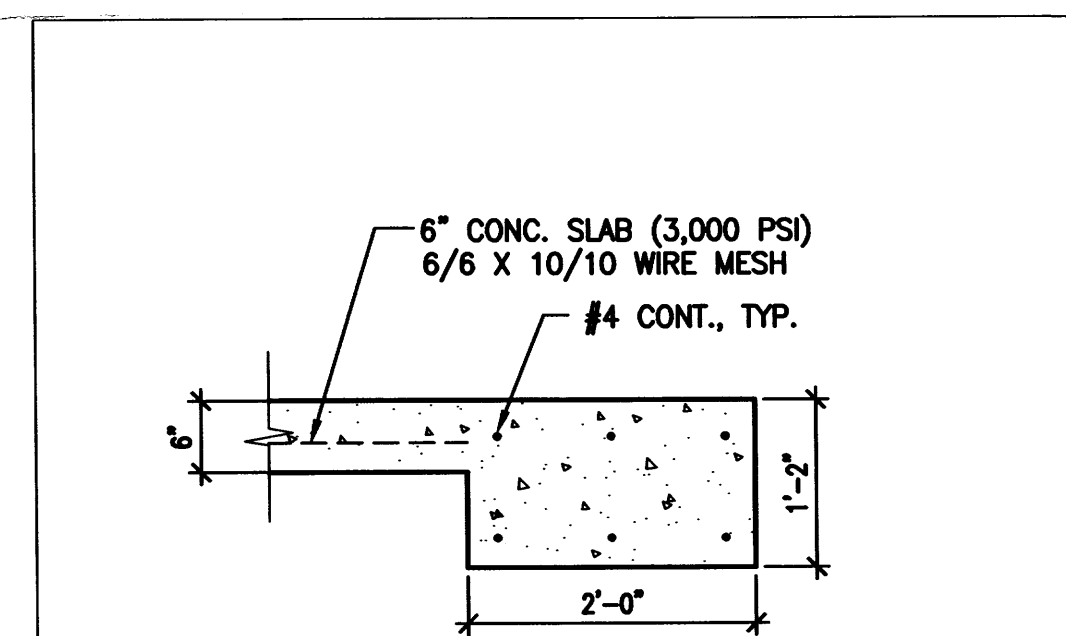
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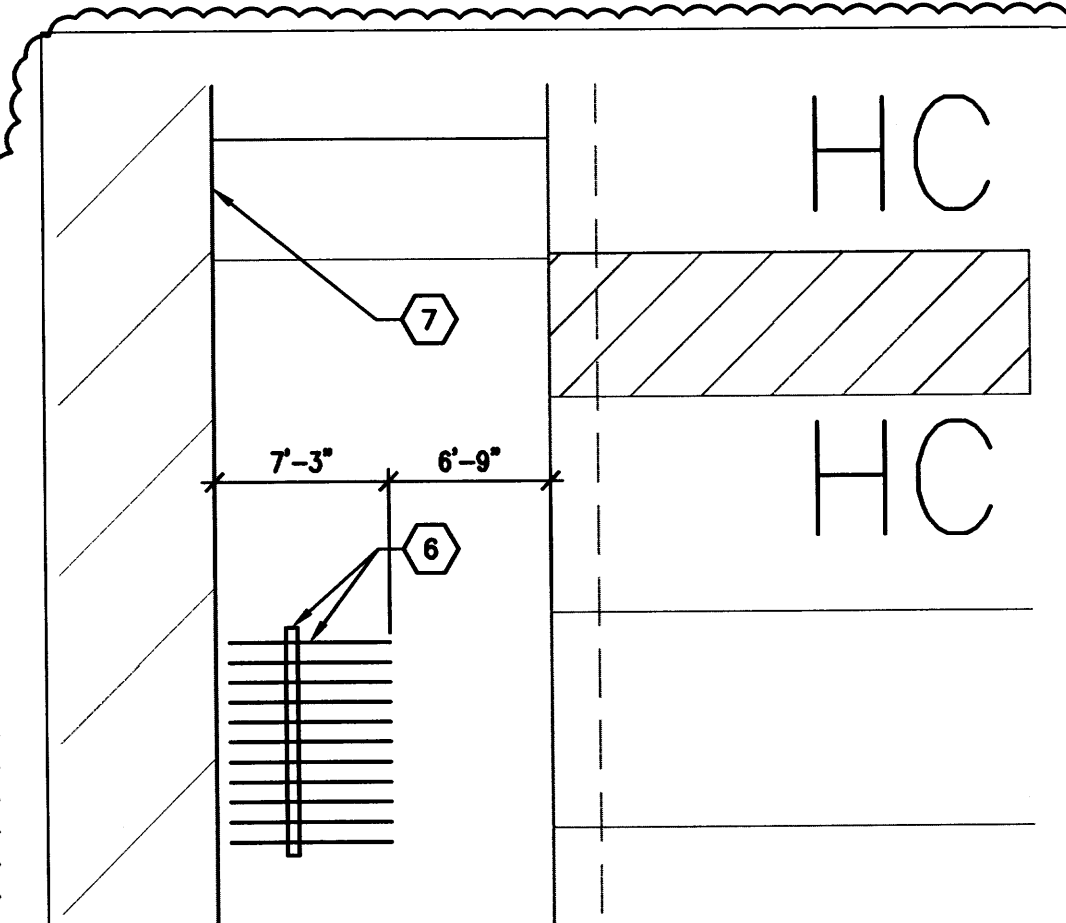
D1 COMPACTOR SLAB 1/16"=1'-0"



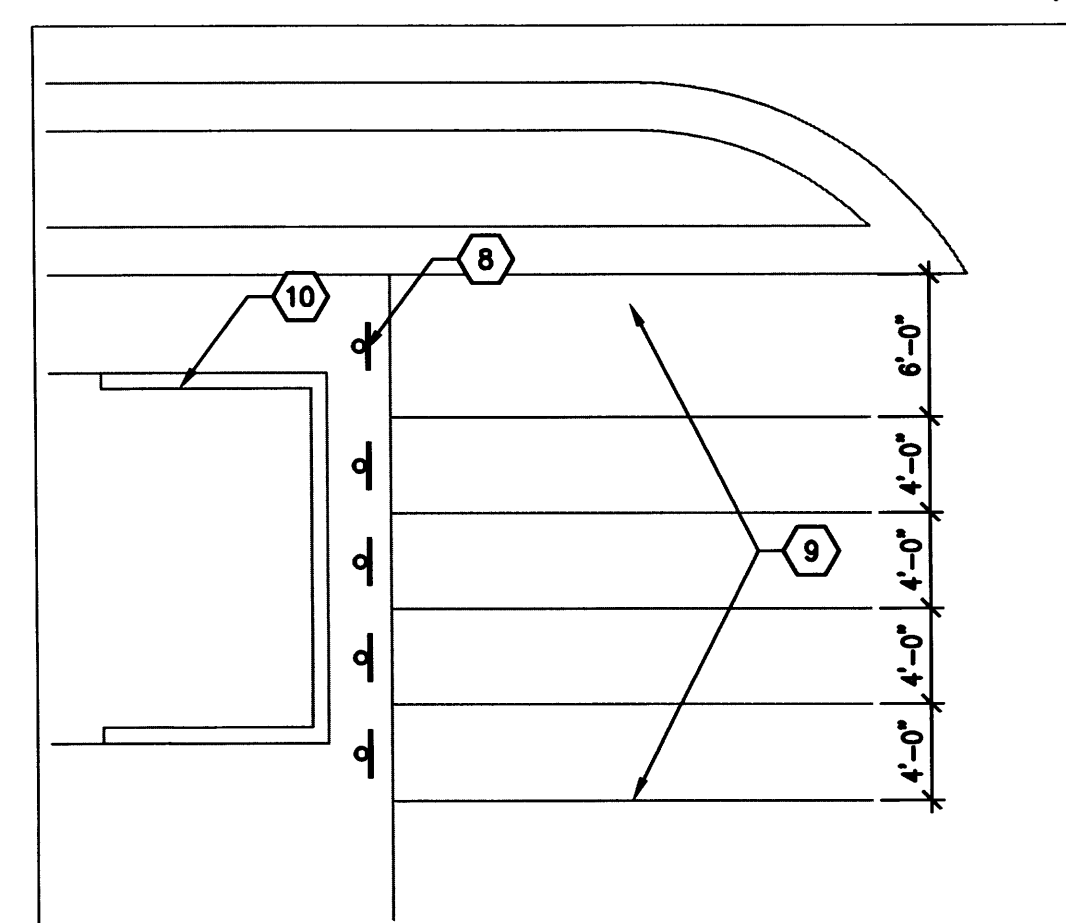
C1 COMPACTOR FOOTING 3/4"=1'-0"



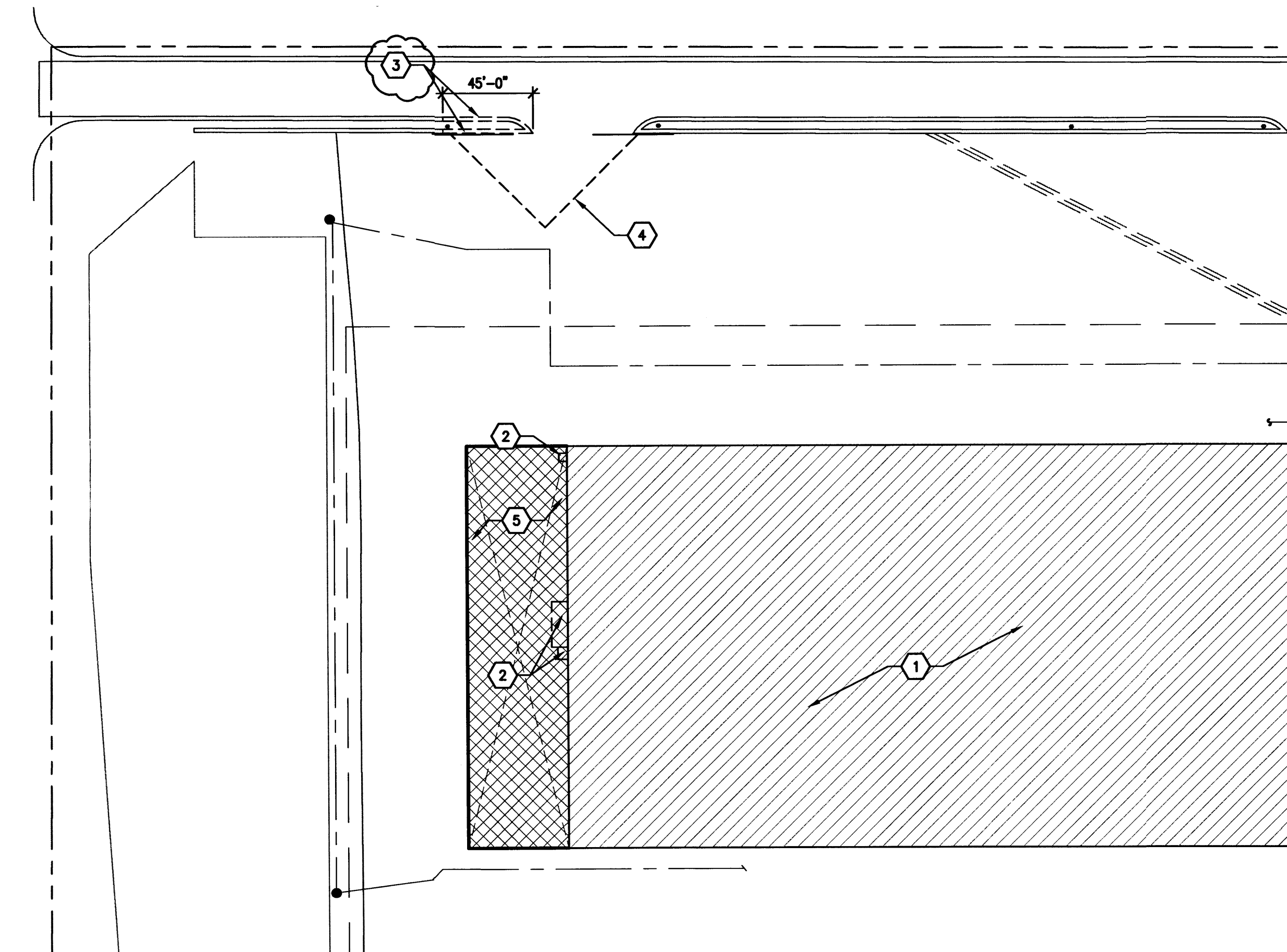
B1 COMPACTOR FOOTING 3/4"=1'-0"



A1 BICYCLE RACK PLAN 1/8"=1'-0"



A2 MOTORCYCLE SPACES PLAN 1/8"=1'-0"



A3 SITE DEMOLITION PLAN SCALE: 1"= 50'-0"

KEYED NOTES

1. EXISTING MANUFACTURING FACILITY.
2. EXISTING CONCRETE PAD TO BE REMOVED.
3. REMOVE PORTION OF EXISTING CURB AS REQUIRED TO ALLOW FOR 80'-0" WIDE ENTRANCE AS SHOWN.
4. EXISTING FENCE TO BE REMOVED.
5. NEW ADDITION.
6. BIKE RACK (11 SPACES).
7. EXISTING BUILDING ENTRANCE.
8. MOTORCYCLE SIGNAGE, SEE DETAIL D4/AS-103.
9. MOTORCYCLE PARKING (5 SPACES). STRIPE AS REQUIRED.
10. EXISTING REFUSE ENCLOSURE.
11. EXISTING CURB TO REMAIN.

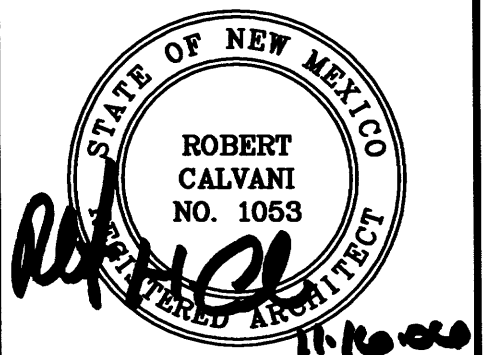
CLOUDS ARE
PERMIT CORRECTIONS
FROM ORIGINAL SUBMITTAL

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ARCHITECT



CONSULTANT

PROJECT TITLE

**KARSTEN
MANUFACTURING
EXPANSION**

**CHASSIS PLANT
EXPANSION**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

TS JL

PROJECT NUMBER:
A06.06

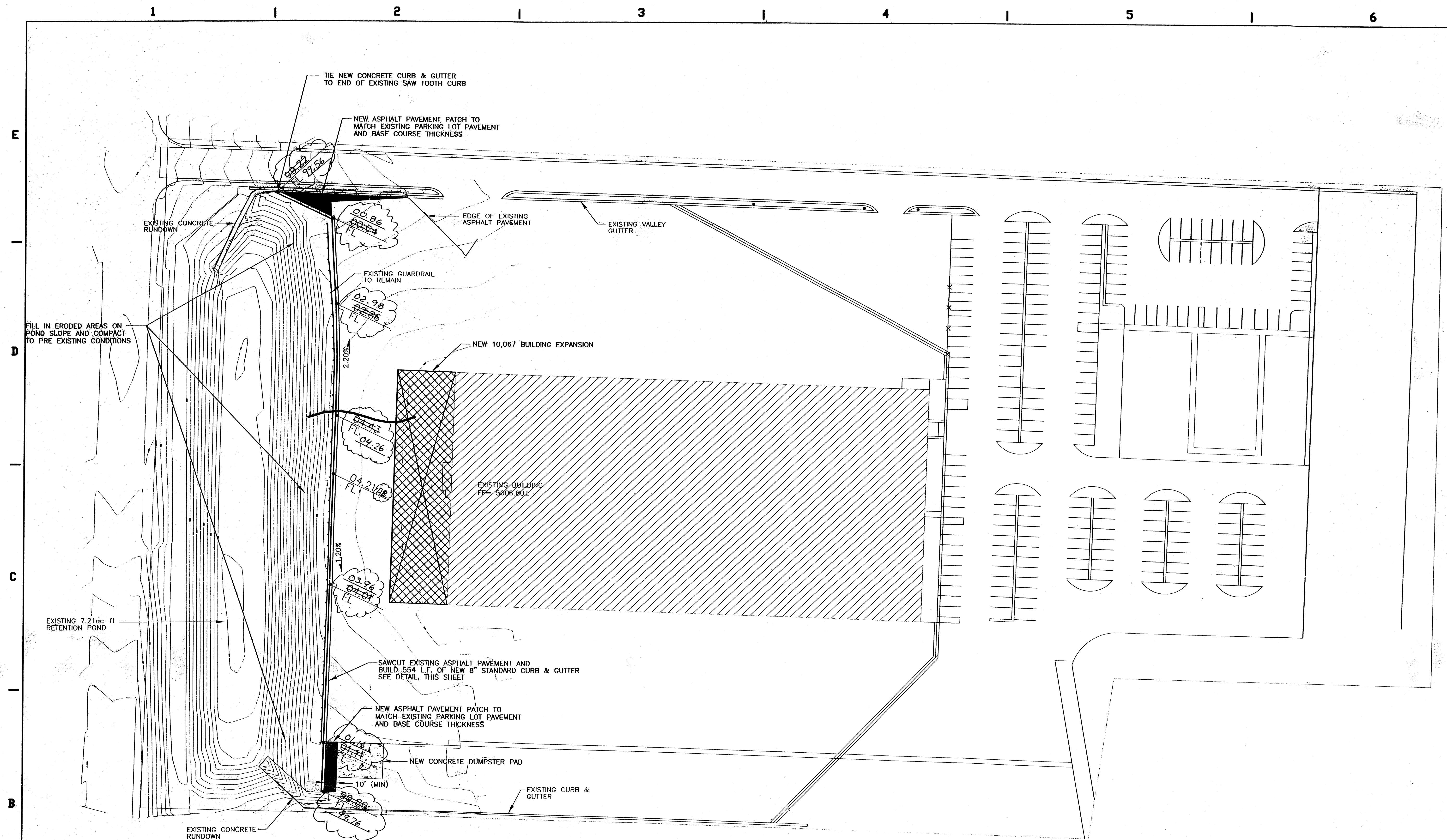
DATE:
10-09-06

SHEET TITLE:

**TRAFFIC
CONTROL PLAN**

SHEET NO:

AS-104



Drainage Certification

I, VERLYN A. MILLER, NMPE 14507, OF THE FIRM MILLER ENGINEERING CONSULTANTS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/10/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID R. VIGIL, NMPS 8911 OF THE FIRM GEO-SURVCO, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/24/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CITY OF ALBUQUERQUE.

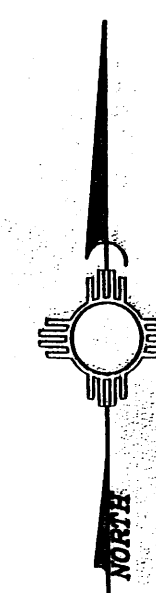
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


VERLYN A. MILLER

1-24-07
DATE

LEGEND

-
-  DIRECTION OF FLOW
 SPOT ELEVATION
 FLOW LINE
 HIGH POINT
 EXISTING CONTOUR
 EXISTING CONTOUR



SCALE: 1"=40'
CONTOUR INTERVAL = 1'



MILLER ENGINEERING CONSULTANTS
Engineers • Plantiers

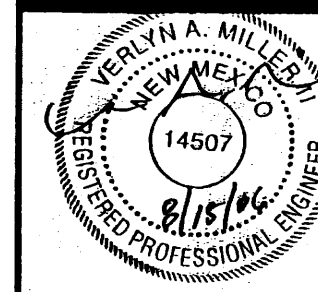
STANDARD COA 8" CURB & GUTTER

SCALE: N.T.S.

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6854 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



PROJECT TITLE

KARSTEN MANUFACTURING EXPANSION

CHASSIS PLANT EXPANSION

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

[illegible]

MK	DATE	DESCRIPTION
DRAWN BY:		CHECKED BY:
PROJECT NUMBER:		
A06.06		
DATE:		
AUGUST 2006		
SHEET TITLE:		

SHEET NO:

C-2

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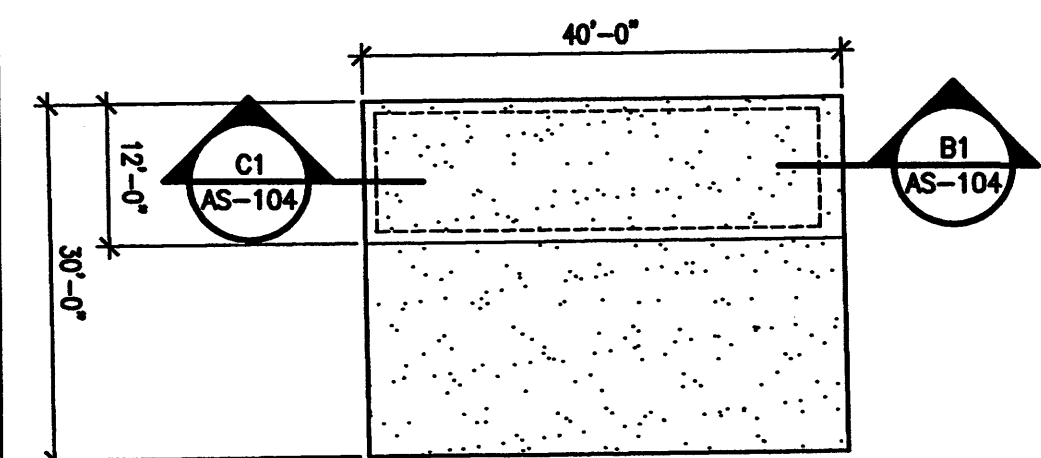
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D

C

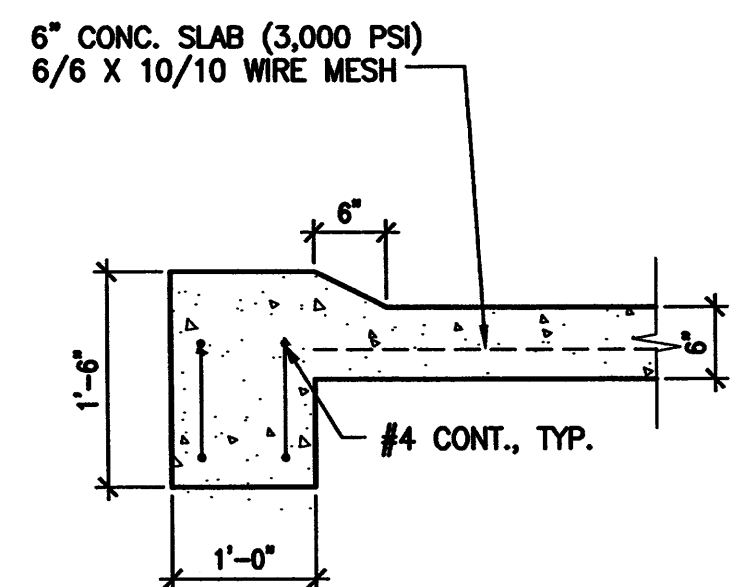
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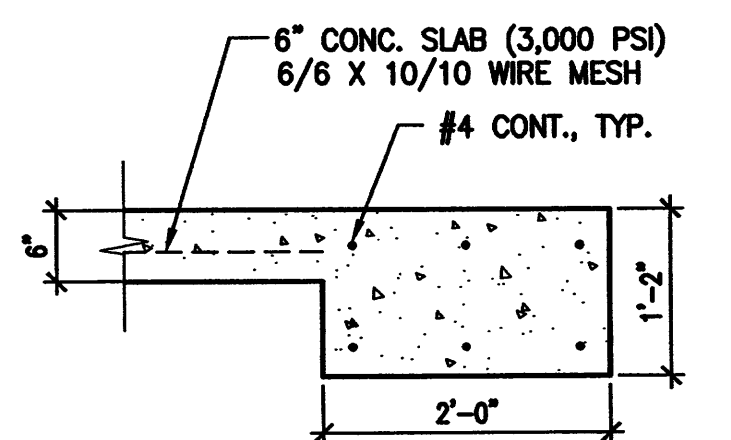


CONCRETE SLAB 3,000 PSI #4
ANGLE IRON WHEEL GUIDES (PER MANUF. RECOMMENDATIONS)
WIRE MESH 6/6 X 10/10
REBAR #4

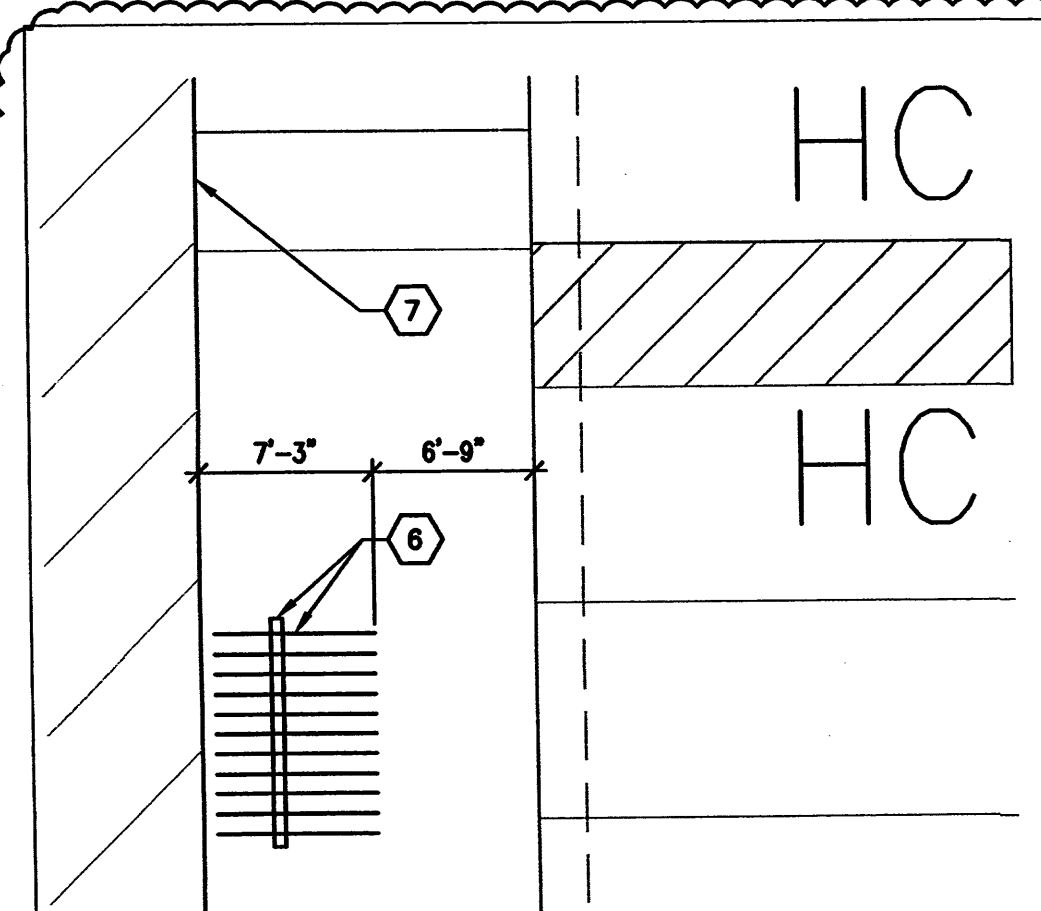
D1 COMPACTOR SLAB 1/16"=1'-0"



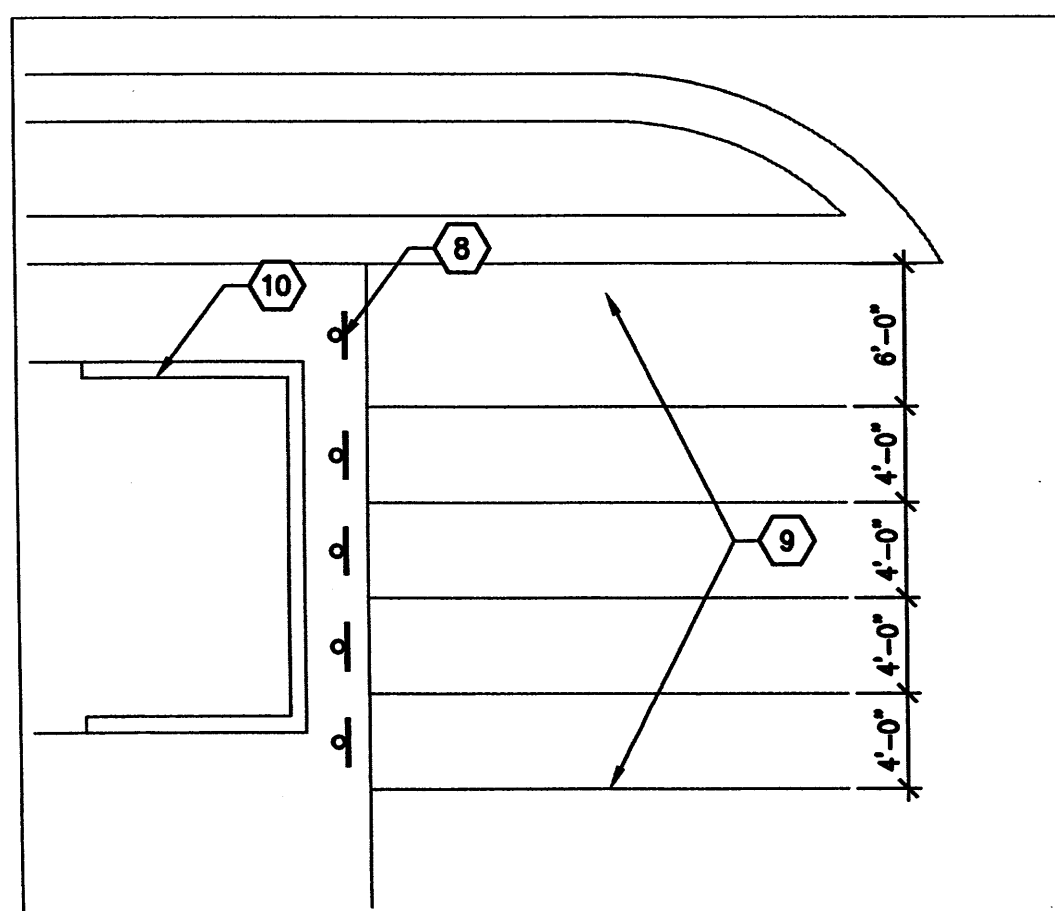
C1 COMPACTOR FOOTING 3/4"=1'-0"



B1 COMPACTOR FOOTING 3/4"=1'-0"



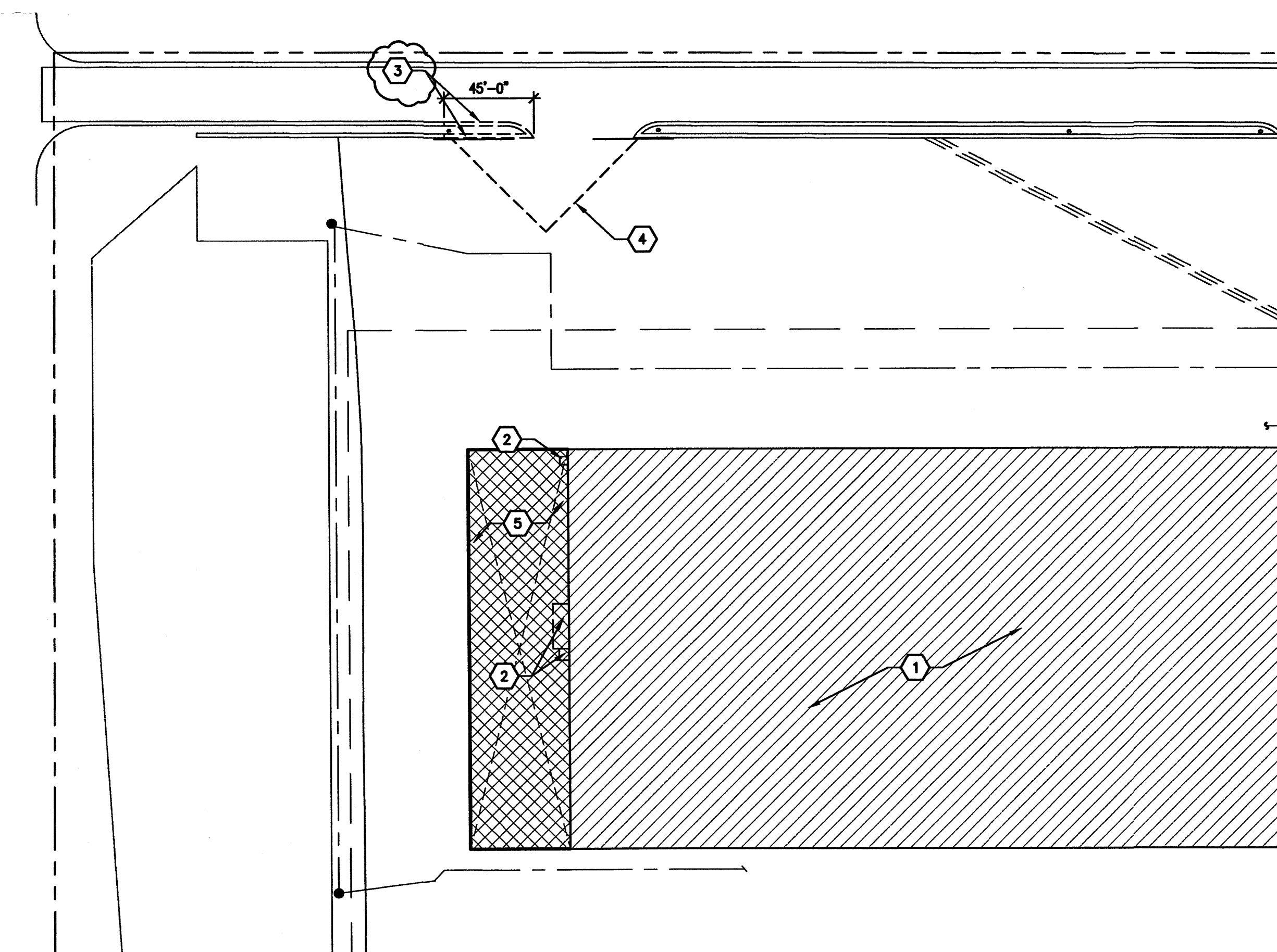
A1 BICYCLE RACK PLAN 1/8"=1'-0"



A2 MOTORCYCLE SPACES PLAN 1/8"=1'-0"

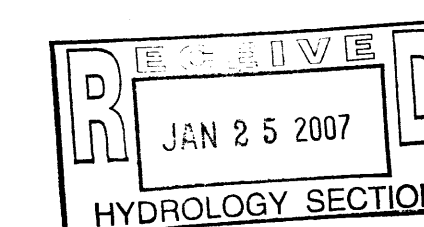
KEYED NOTES

- EXISTING MANUFACTURING FACILITY.
- EXISTING CONCRETE PAD TO BE REMOVED.
- REMOVE PORTION OF EXISTING CURB AS REQUIRED TO ALLOW FOR 80'-0"
- WIDE ENTRANCE AS SHOWN.
- EXISTING FENCE TO BE REMOVED.
- NEW ADDITION.
- BIKE RACK (11 SPACES).
- EXISTING BUILDING ENTRANCE.
- MOTORCYCLE SIGNAGE, SEE DETAIL D4/AS-103.
- MOTORCYCLE PARKING (5 SPACES). STRIPE AS REQUIRED.
- EXISTING REFUSE ENCLOSURE.
- EXISTING CURB TO REMAIN.



A3 SITE DEMOLITION PLAN
SCALE: 1"= 50'-0"

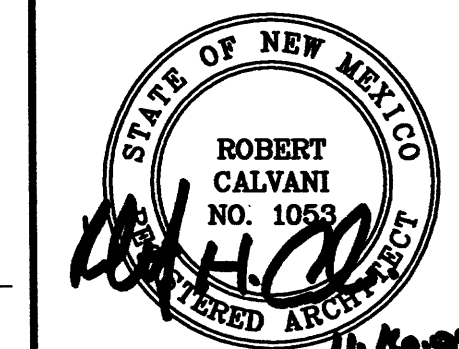
0 50' 100'
SCALE: 1"= 50'



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ARCHITECT



CONSULTANT

PROJECT TITLE

**KARSTEN
MANUFACTURING
EXPANSION**

**CHASSIS PLANT
EXPANSION**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

TS JL

PROJECT NUMBER:

A06.06

DATE:

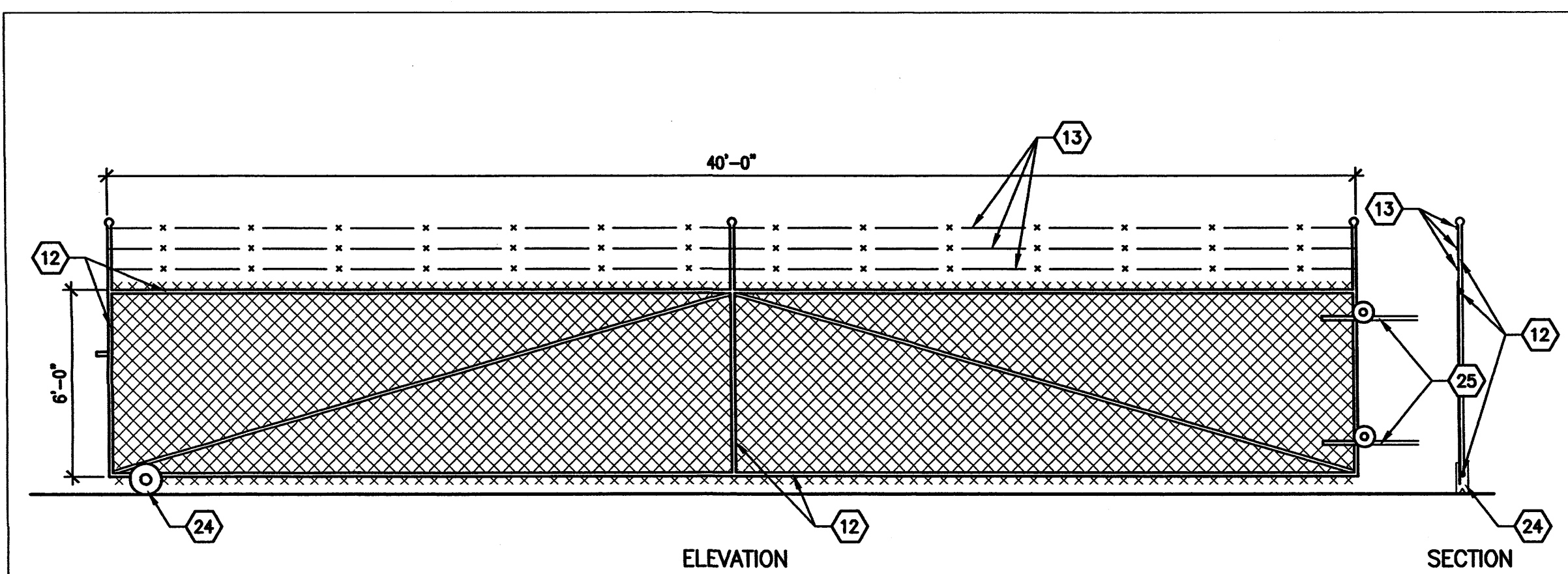
10-09-06

SHEET TITLE:

**TRAFFIC
CONTROL PLAN**

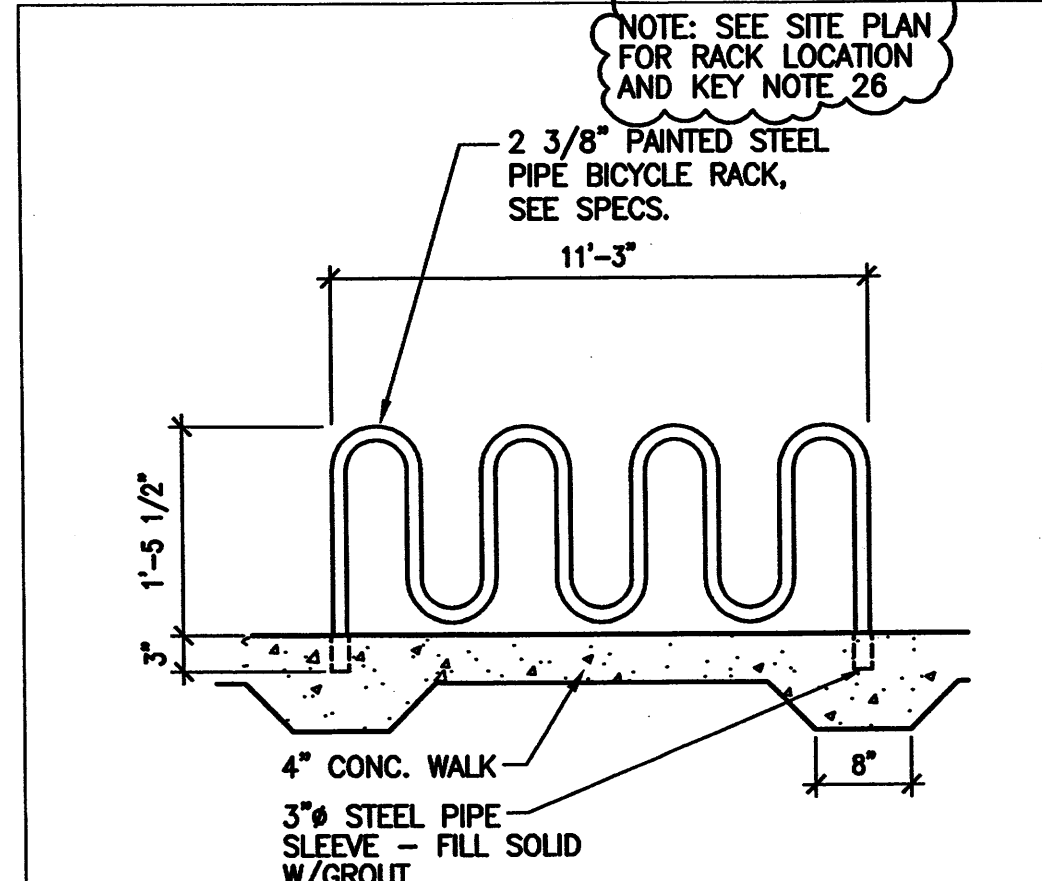
SHEET NO:

AS-104



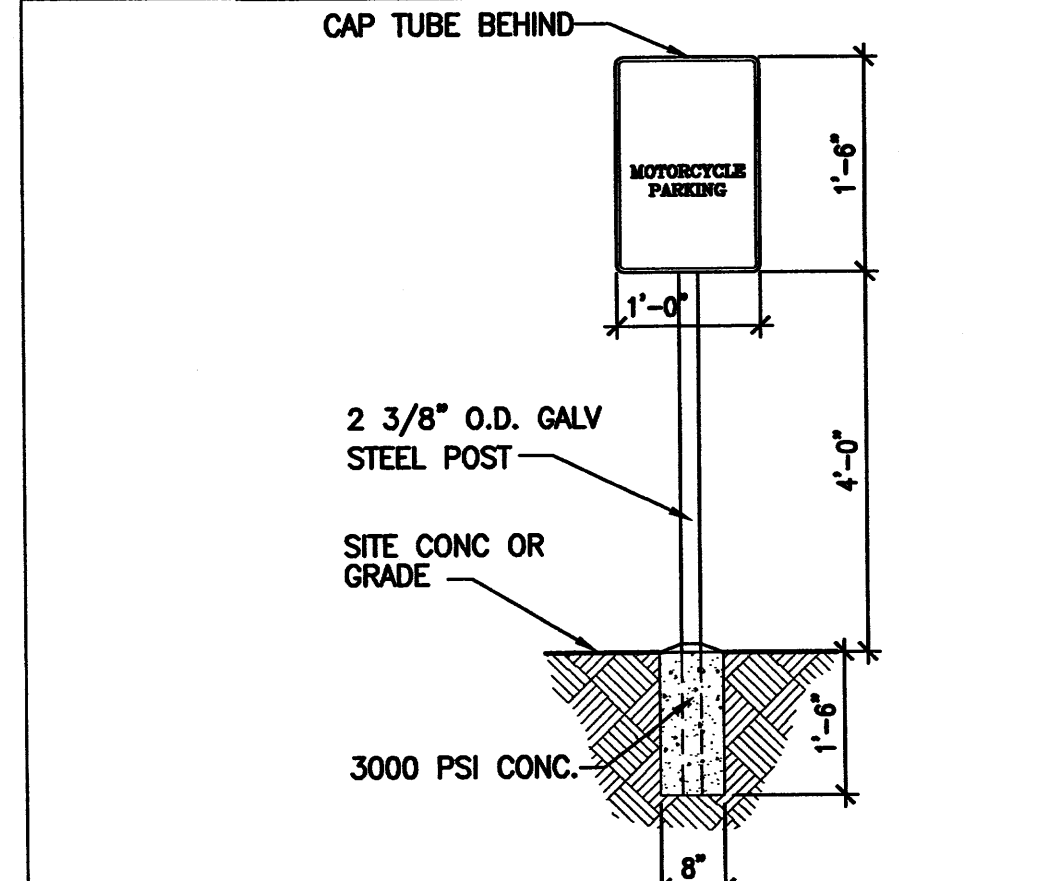
D1 GATE DETAILS

1/4"=1'-0"



D3 BIKE RACK

3/4"=1'-0"



D4 MOTORCYCLE SIGN

3/4"=1'-0"

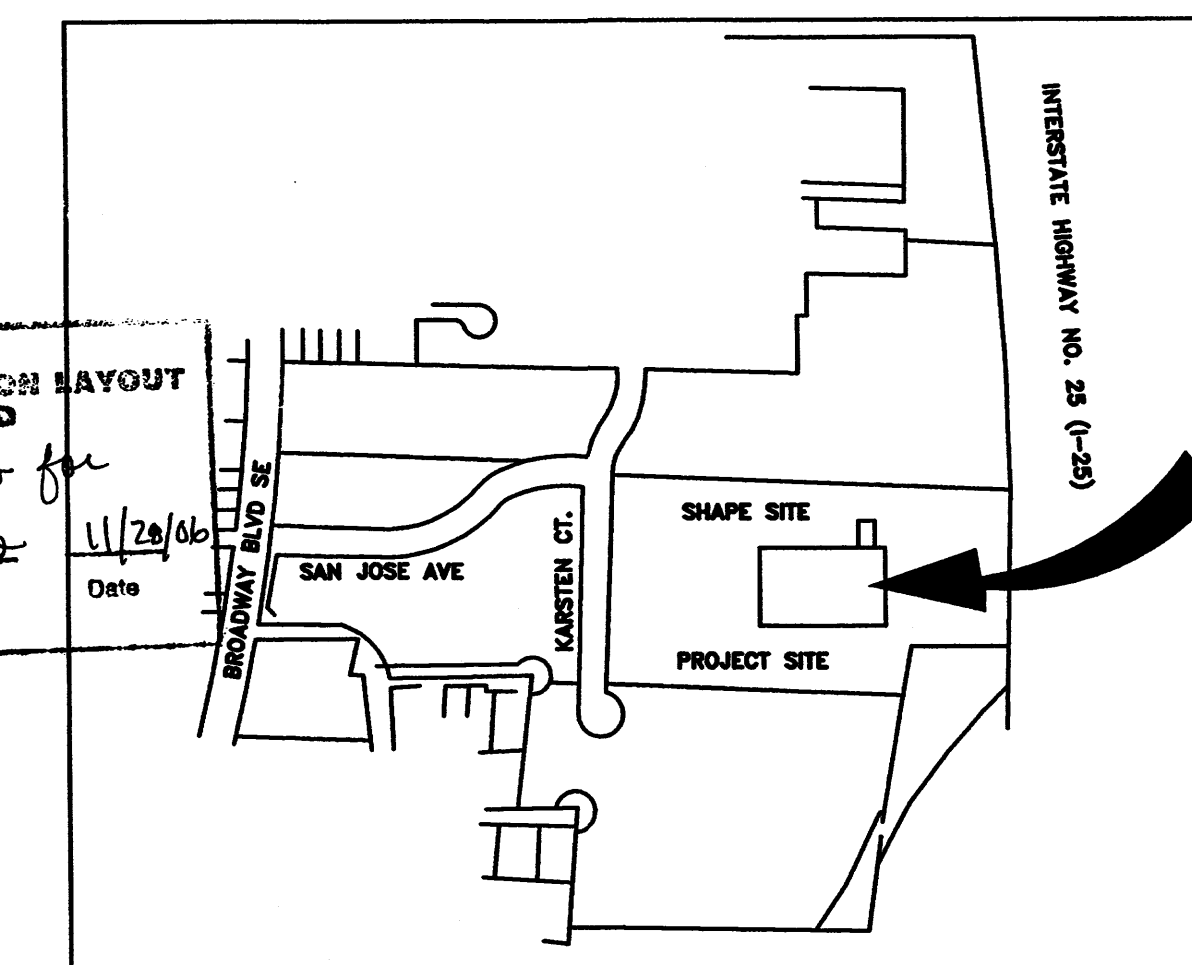
KEYED NOTES

- EXISTING MANUFACTURING FACILITY.
- EXISTING SIDEWALK AND LANDSCAPING.
- EXISTING ASPHALT PAVING.
- NOT USED.
- EXISTING CHAIN LINK FENCE.
- EXISTING RETENTION POND.
- EXISTING LIGHT POLE.
- EXISTING FIRE HYDRANT.
- EXISTING FIRE/WATER LINE.
- EDGE OF EXISTING ASPHALT.
- BUILDING ADDITION.
- 1 1/2" # STEEL PIPE FRAME.
- BARBED WIRE.
- CONCRETE PAD FOR COMPACTOR. INSTALL ANGLE STOP PER COMPACTOR MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS D1/AS-104, C1/AS-104 & B1/AS-104.
- EXISTING GUARDRAIL LENGTH OF POND.
- (1) 40' SLIDING GATE EACH SIDE, SEE DETAIL D1/AS-103.
- NOT USED.
- NOT USED.
- DASHED LINE INDICATES A 60'-0" YARD CLEARANCE FROM BUILDING, REQUIRED BY CODE FOR UNLIMITED ALLOWABLE AREA.
- DASHED LINES ARE REPRESENTATIONAL ONLY TO SHOW TRUCK TURNING RADIUS.
- NEW 12" WIDE CONCRETE RIBBON ACROSS OPENING.
- NEW CURB TO COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (25' RADIUS).
- NEW ASPHALT.
- STEEL V-TACK WHEEL.
- CHIDE FOR ANTE.
- BIKE RACK, SEE DETAILS D3/AS-103 A1/AS-104. 11 SPACES REQUIRED FOR BIKE RACK.
- MOTORCYCLE PARKING. SEE DETAIL D4/AS-103 AND A2/AS-104.
- EXISTING REFUSE ENCLOSURE.
- GENERAL CONTRACTOR SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- INSTALL NEW PAVEMENT IN AREA WHERE EXISTING CURB IS REMOVED FOR WIDENING ENTRANCE. COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

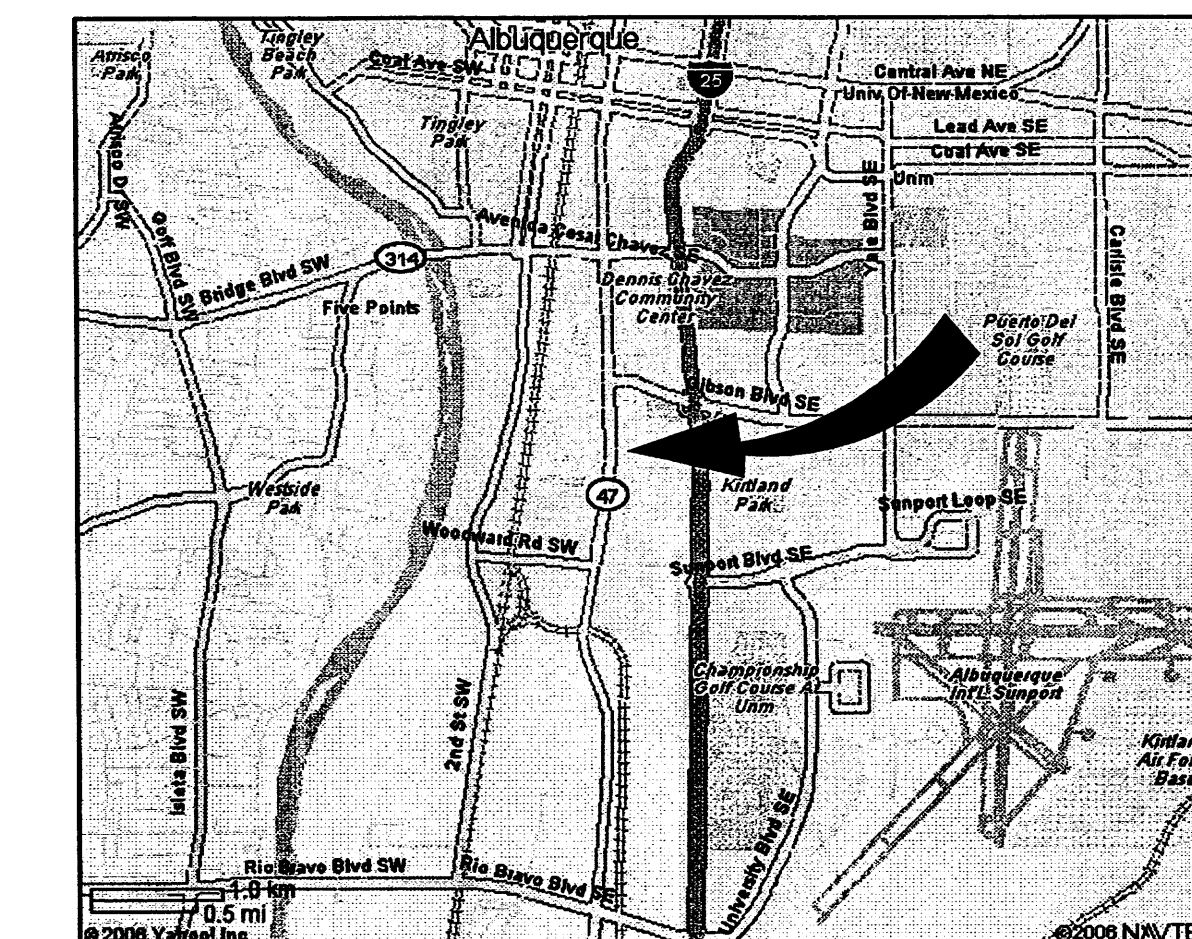
SUMMARY

- THE NEW CONCRETE PAD IS PROVIDED FOR THE COMPACTOR ONLY.
- ALL THE REFUSE FROM THE COMPACTOR AREA WILL BE GOING TO THE EXISTING REFUSE PAD.
- ALL PAVEMENT ON SITE IS EXISTING. THE ONLY AREA TO BE REPAVED IS THE CURB CUT WHERE THE ENTRANCE IS WIDENING.
- EXISTING CURB IS REMOVED TO WIDENING THE ENTRANCE. INSTALL NEW CURB ACCORDING TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- NEW GATE TO BE INSTALLED AT THE SITE ENTRANCE.
- NEW MOTORCYCLE PARKING IS PROVIDED (5 SPACES).
- NEW BICYCLE RACK IS PROVIDED (11 SPACES).

LOCATION MAP

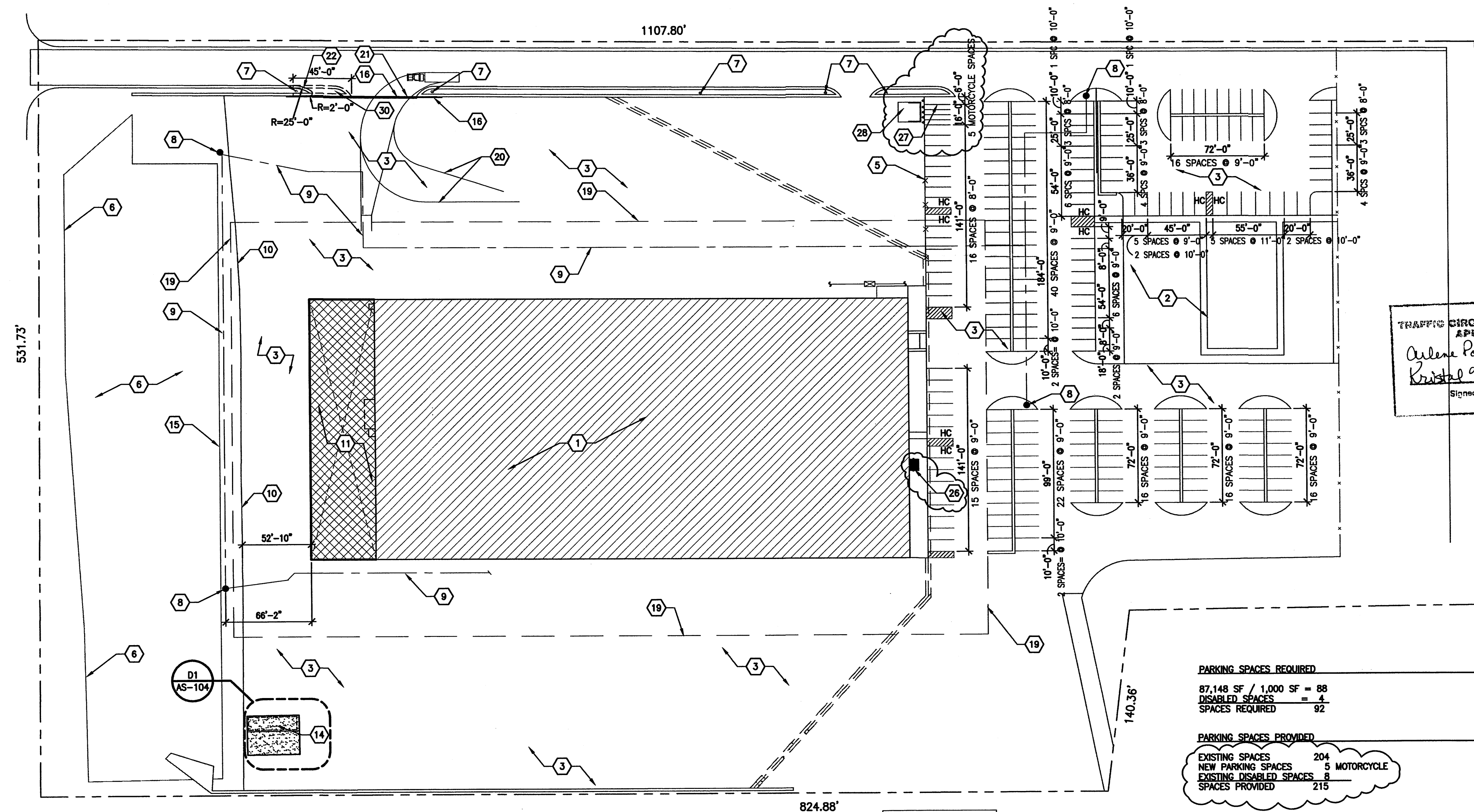


VICINITY MAP



PARKING SPACES REQUIRED
87,148 SF / 1,000 SF = 88
DISABLED SPACES = 4
SPACES REQUIRED = 92

PARKING SPACES PROVIDED
EXISTING SPACES 204
NEW PARKING SPACES 5 MOTORCYCLE
EXISTING DISABLED SPACES 8
SPACES PROVIDED 215



A1 SITE PLAN

SCALE: 1"= 50'-0"

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1308 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-265-8400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

STATE OF NEW MEXICO
ROBERT CALVANI
NO. 1059
CONSULTANT

PROJECT TITLE

**KARSTEN
MANUFACTURING
EXPANSION**

**CHASSIS PLANT
EXPANSION**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

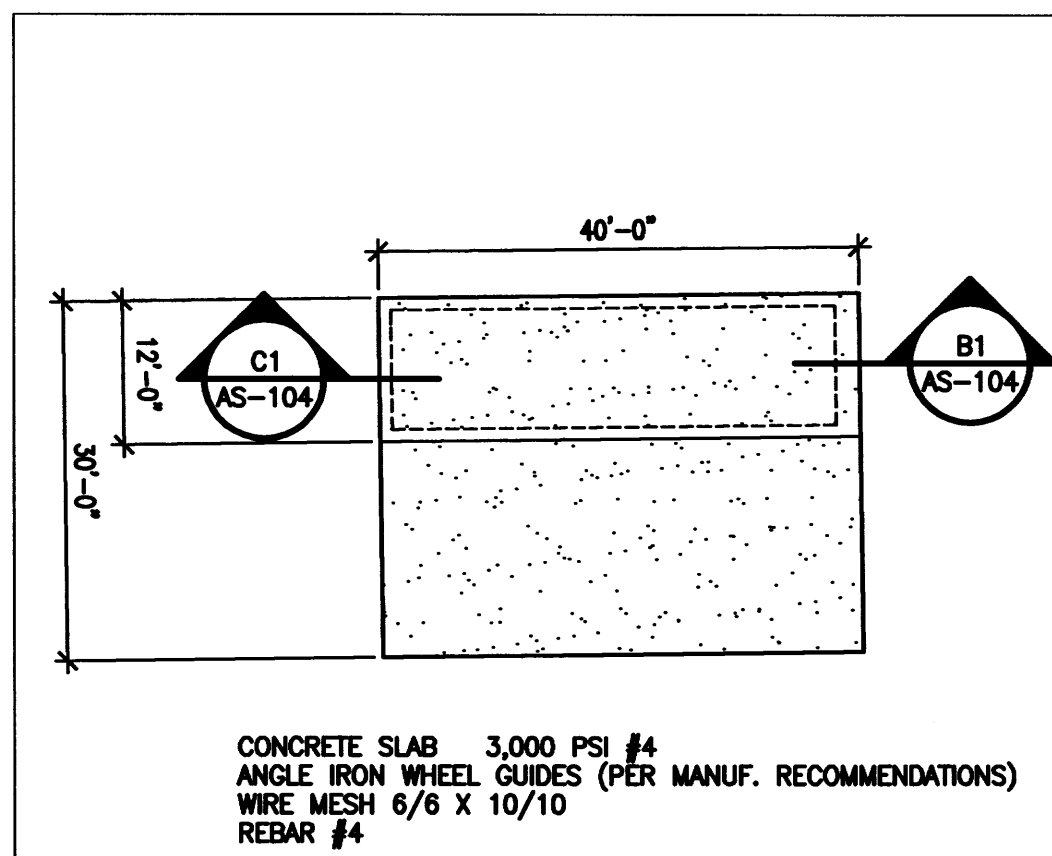
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DATE: 10-09-06		
SHEET TITLE:		

**TRAFFIC
CONTROL PLAN**

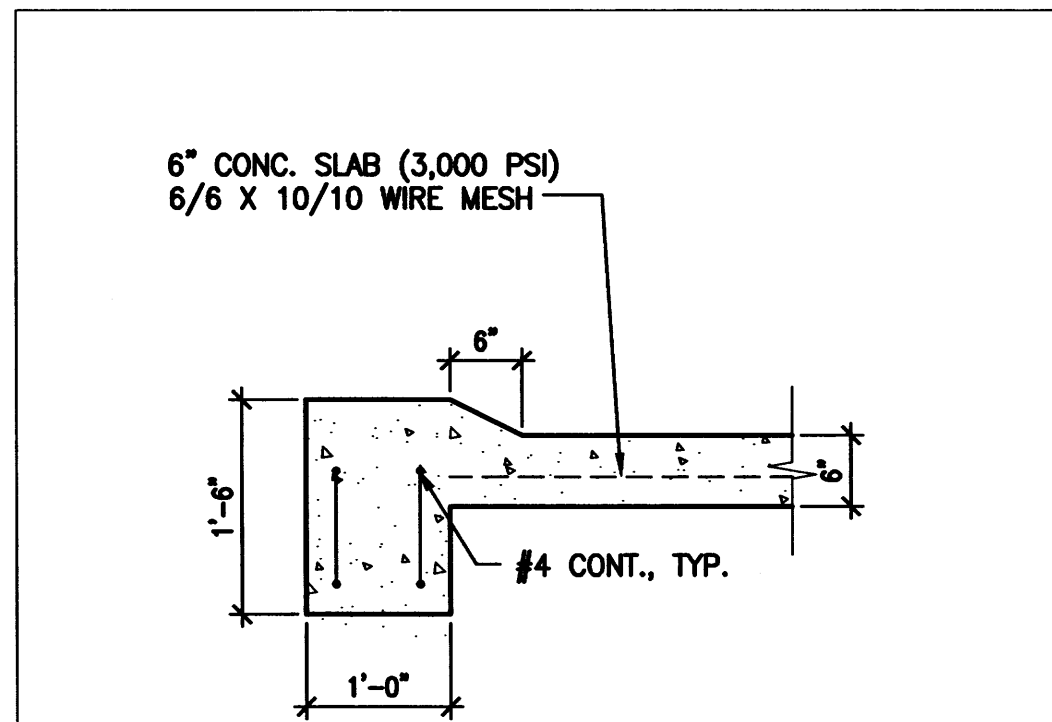
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AS-103

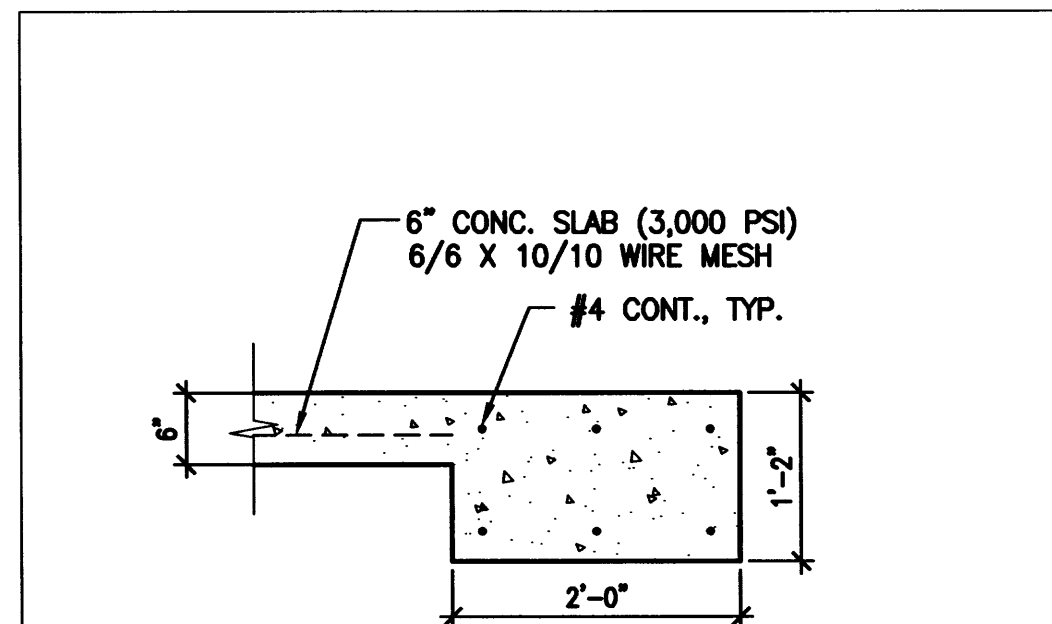
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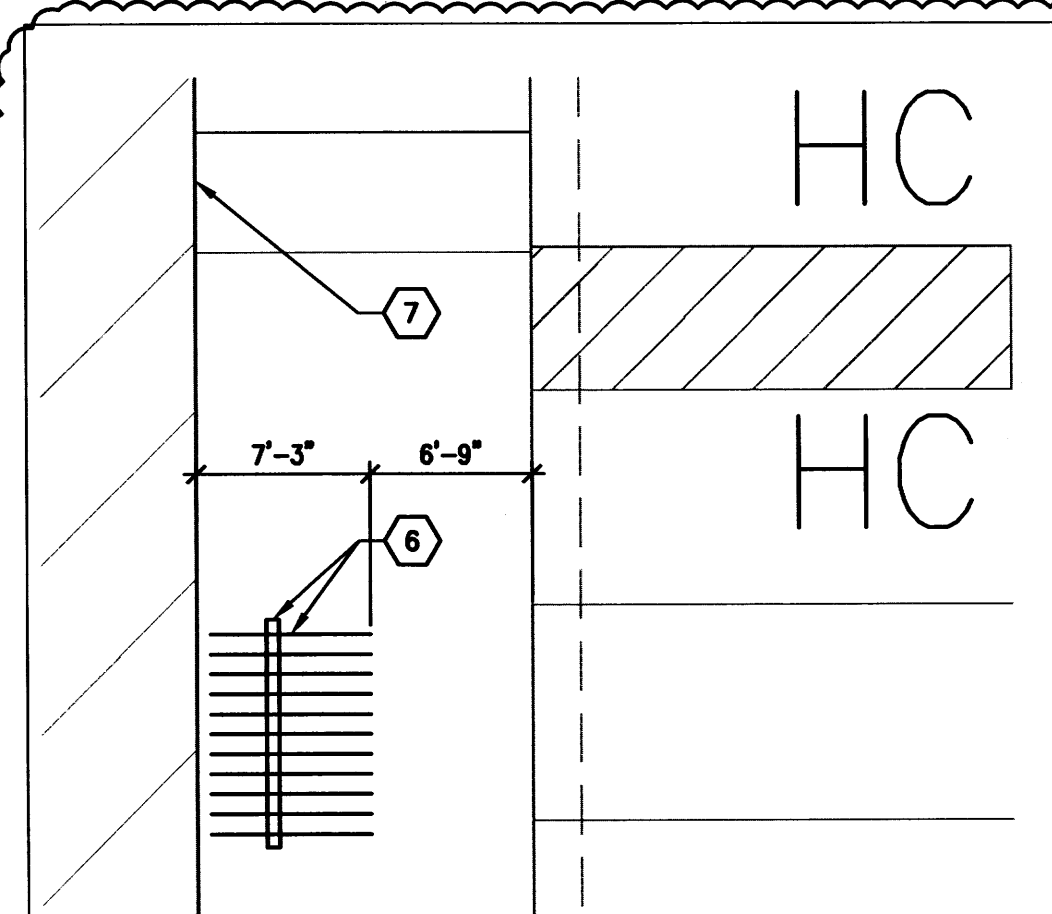
D1 COMPACTOR SLAB 1/16"=1'-0"



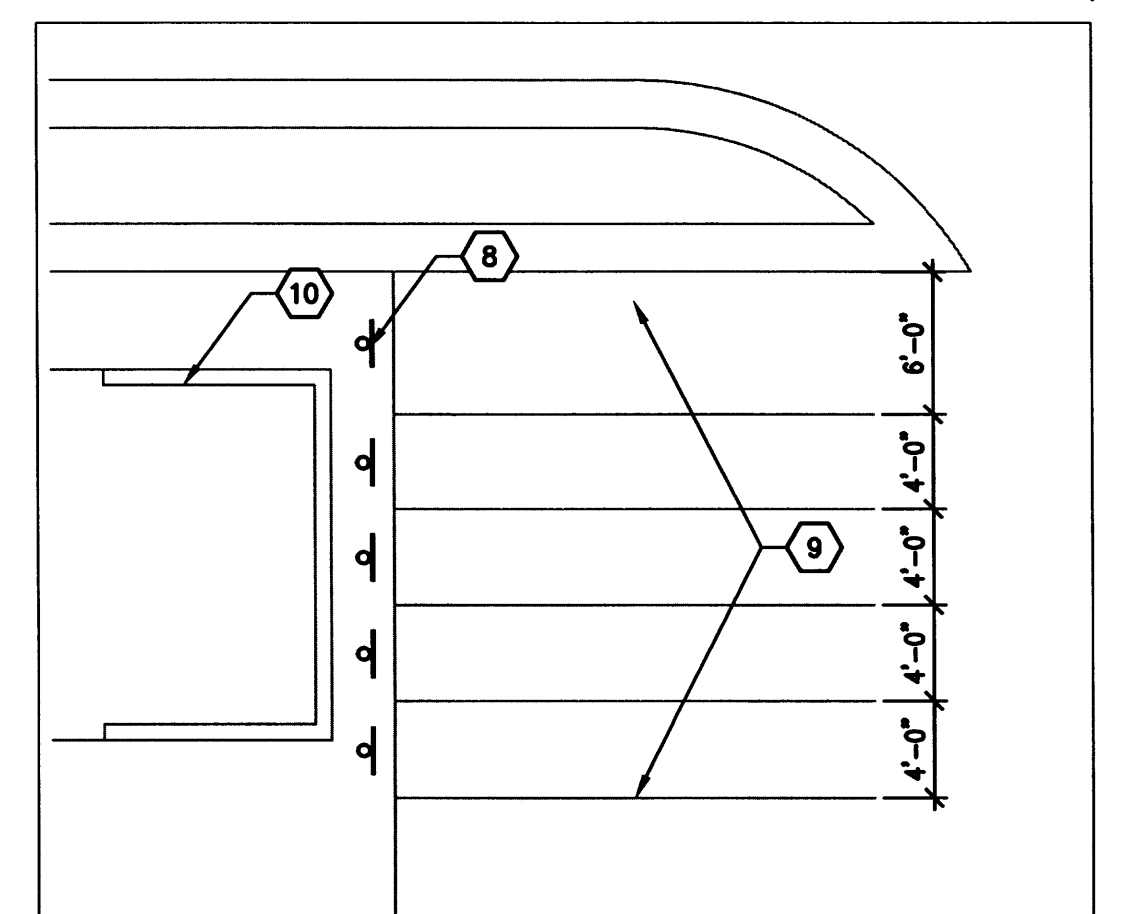
C1 COMPACTOR FOOTING 3/4"=1'-0"



B1 COMPACTOR FOOTING 3/4"=1'-0"



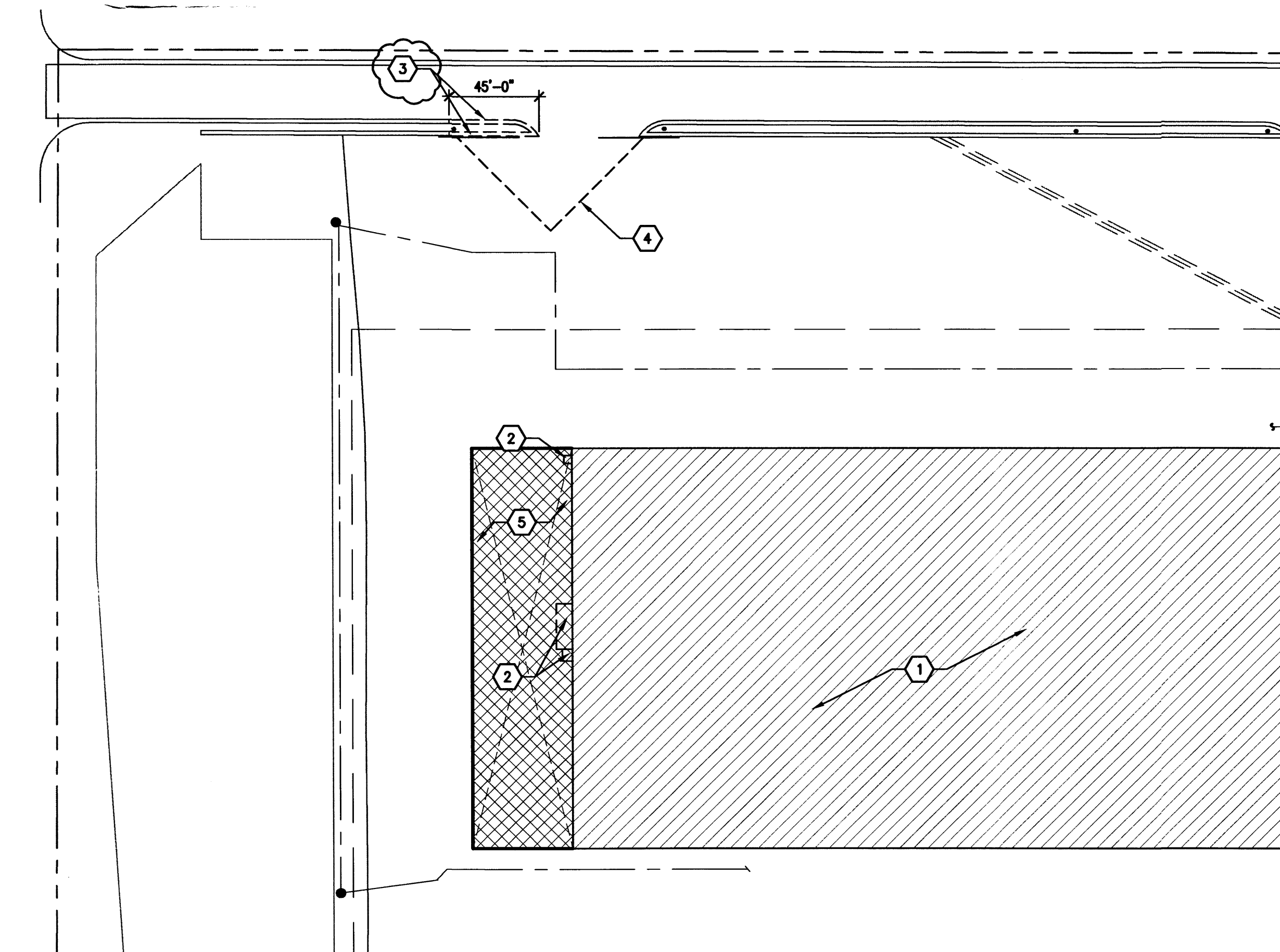
A1 BICYCLE RACK PLAN 1/8"=1'-0"



A2 MOTORCYCLE SPACES PLAN 1/8"=1'-0"

KEYED NOTES

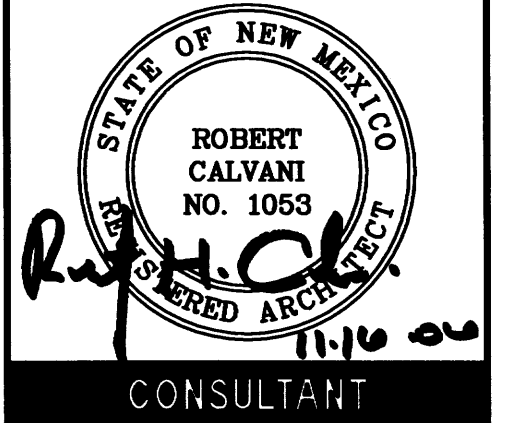
1. EXISTING MANUFACTURING FACILITY.
2. EXISTING CONCRETE PAD TO BE REMOVED.
3. REMOVE PORTION OF EXISTING CURB AS REQUIRED TO ALLOW FOR 80'-0" WIDE ENTRANCE AS SHOWN.
4. EXISTING FENCE TO BE REMOVED.
5. NEW ADDITION.
6. BIKE RACK (11 SPACES).
7. EXISTING BUILDING ENTRANCE.
8. MOTORCYCLE SIGNAGE, SEE DETAIL D4/AS-103.
9. MOTORCYCLE PARKING (5 SPACES). STRIPE AS REQUIRED.
10. EXISTING REFUSE ENCLOSURE.
11. EXISTING CURB TO REMAIN.



A3 SITE DEMOLITION PLAN SCALE: 1"= 50'-0"

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ALBUQUERQUE, NM 87104
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CONSULTANT

PROJECT TITLE

**KARSTEN
MANUFACTURING
EXPANSION**

**CHASSIS PLANT
EXPANSION**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

TS JL

PROJECT NUMBER:

A06.06

DATE:

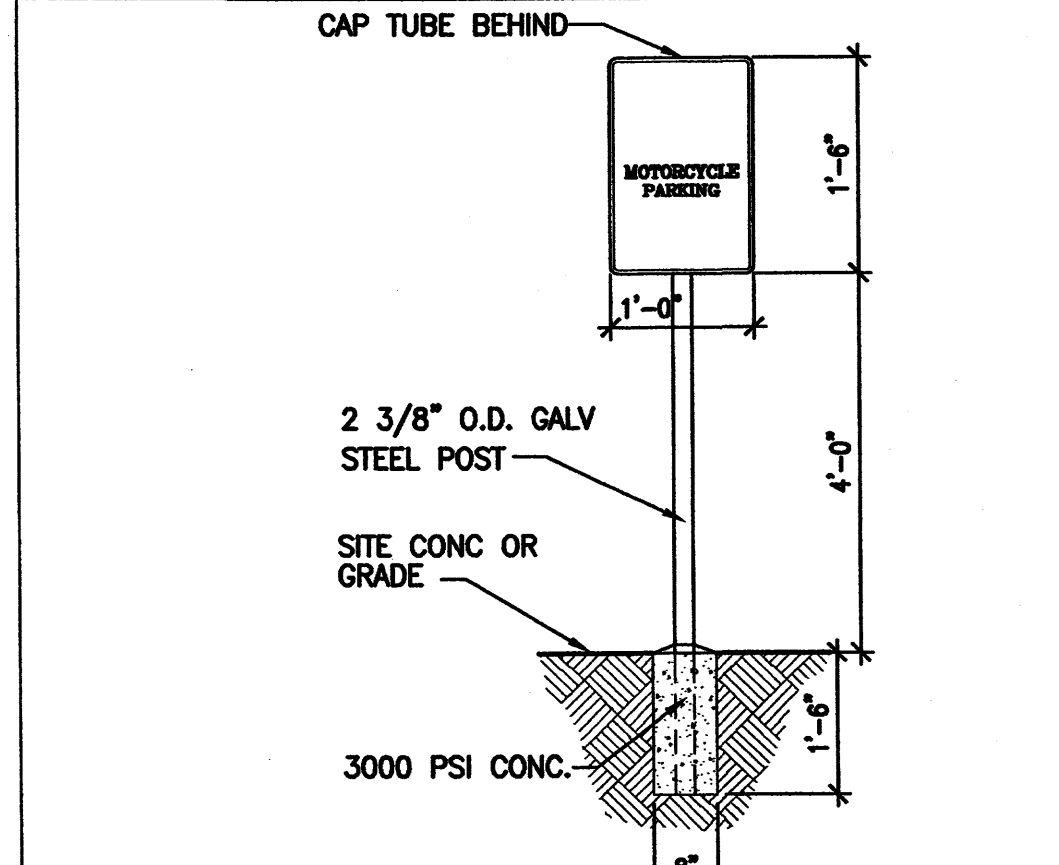
10-09-06

SHEET TITLE:

**TRAFFIC
CONTROL PLAN**

SHEET NO:

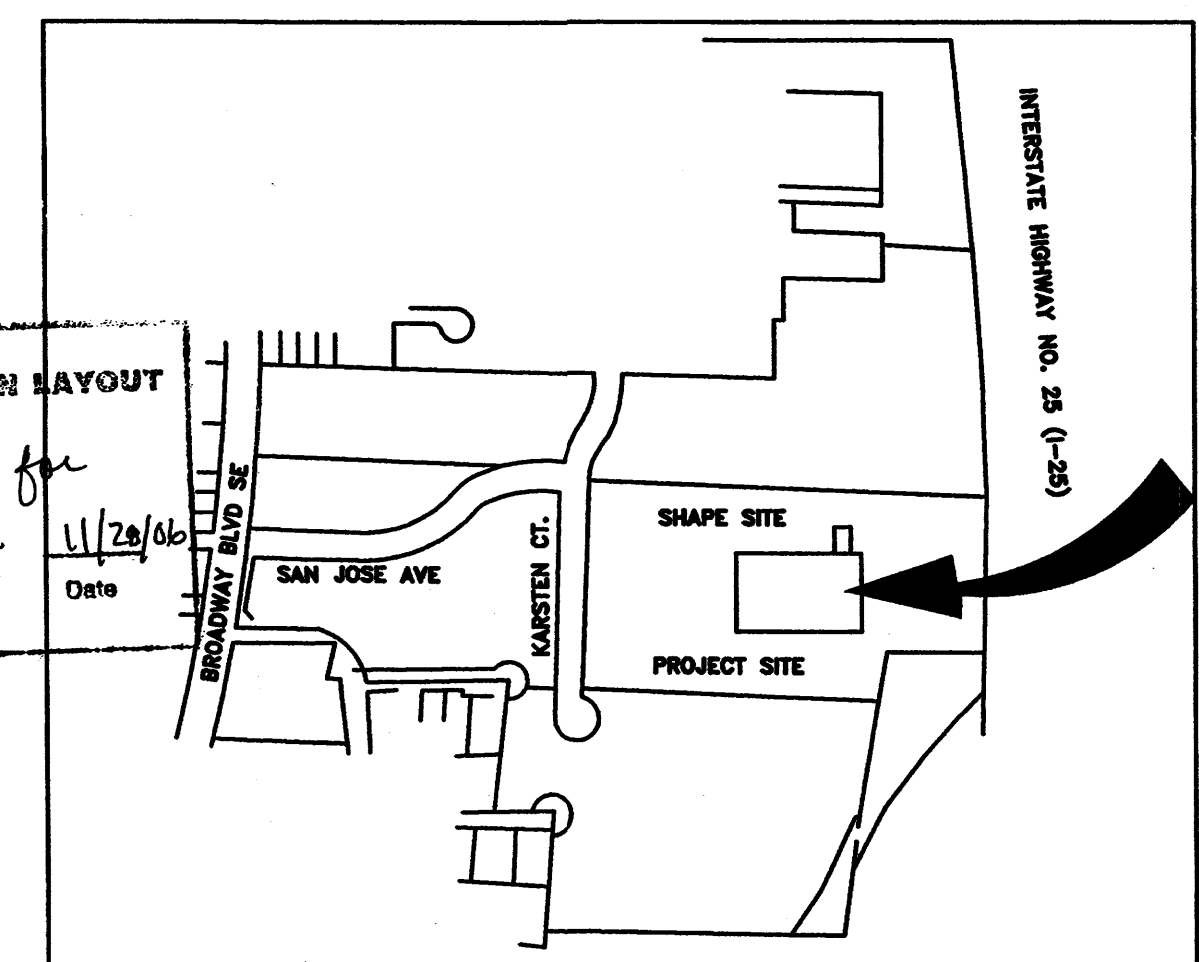
AS-104



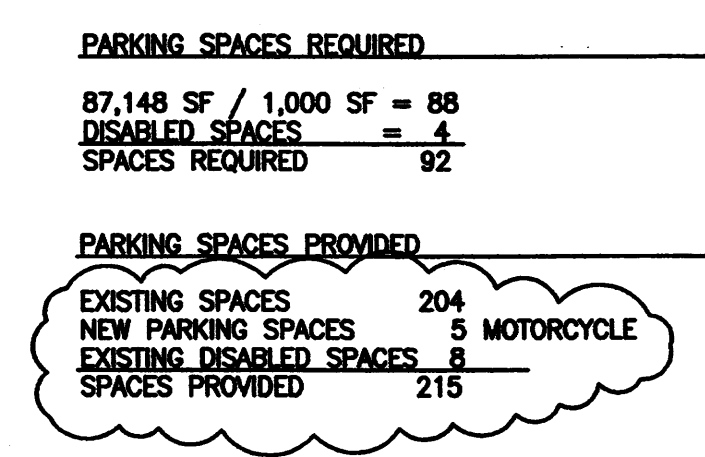
D4 MOTORCYCLE SIGN

1. EXISTING MANUFACTURING FACILITY.
2. EXISTING SIDEWALK AND LANDSCAPING.
3. EXISTING ASPHALT PAVING.
4. NOT USED.
5. EXISTING CHAIN LINK FENCE.
6. EXISTING RETENTION POND.
7. EXISTING LIGHT POLE.
8. EXISTING FIRE HYDRANT.
9. EXISTING FIRE/WATER LINE.
10. EDGE OF EXISTING ASPHALT.
11. BUILDING ADDITION.
12. 1 1/2" # STEEL PIPE FRAME.
13. BARBED WIRE.
14. CONCRETE PAD FOR COMPACTOR. INSTALL ANGLE STOP PER COMPACTOR MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS D1/AS-104, C1/AS-104 & B1/AS-104.
15. EXISTING GUARDRAIL LENGTH OF POND.
 - (1) SLIDING GATE EACH SIDE, SEE DETAIL D1/AS-103.
16. NOT USED.
17. NOT USED.
18. DASHED LINE INDICATES A 60'-0" YARD CLEARANCE FROM BUILDING, REQUIRED BY CODE FOR UNLIMITED ALLOWABLE AREA.
19. DASHED LINES ARE REPRESENTATIONAL ONLY TO SHOW TRUCK TURNING RADIIUS.
20. NEW 12" WIDE CONCRETE RIBBON ACROSS OPENING.
21. NEW CURB TO COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (25' RADIUS).
22. NOT USED.
23. STEEL V-TACK WHEEL.
24. PUBLIC GATE.
25. BIKE RACK, SEE DETAILS D3/AS-103 A1/AS-104. 11 SPACES REQUIRED FOR BIKE RACK.
26. MOTORCYCLE PARKING. SEE DETAIL D4/AS-103 AND A2/AS-104.
27. EXISTING REFUSE ENCLOSURE.
28. GENERAL CONTRACTOR SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
29. INSTALL NEW PAVEMENT IN AREA WHERE EXISTING CURB IS REMOVED FOR WIDENING ENTRANCE. COMPLY WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

1. THE NEW CONCRETE PAD IS PROVIDED FOR THE COMPACTOR ONLY.
2. ALL THE REFUSE FROM THE COMPACTOR AREA WILL BE GOING TO THE EXISTING REFUSE PAD.
3. ALL PAVEMENT OASITE IS EXISTING. THE ONLY AREA TO BE REPAVED IS THE CURB CUT WHERE THE ENTRANCE IS WIDENING.
4. EXISTING CURB IS REMOVED TO WIDENING THE ENTRANCE. INSTALL NEW CURB ACCORDING THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. NEW GATE TO BE INSTALLED AT THE SITE ENTRANCE.
6. NEW MOTORCYCLE PARKING IS PROVIDED (5 SPACES).
7. NEW BICYCLE RACK IS PROVIDED (11 SPACES).



Map of the study area in Yuba City, Texas. The map shows the proposed Yuba City Airport (indicated by a large black arrow) and surrounding infrastructure. Key roads include Highway 101, Highway 170, and Highway 171. Landmarks such as the Yuba City Police Department and Yuba City High School are marked. The map includes a scale bar (1.3 and 7.5 miles) and a copyright notice for 2008 NIN/TEO.

**AS-103**

N:\A0606\Korsten Construction Drawings\A0606 AS-104.dwg, 11/16/2006 4:18:18 PM, Inc. NCA ARCHITECTS

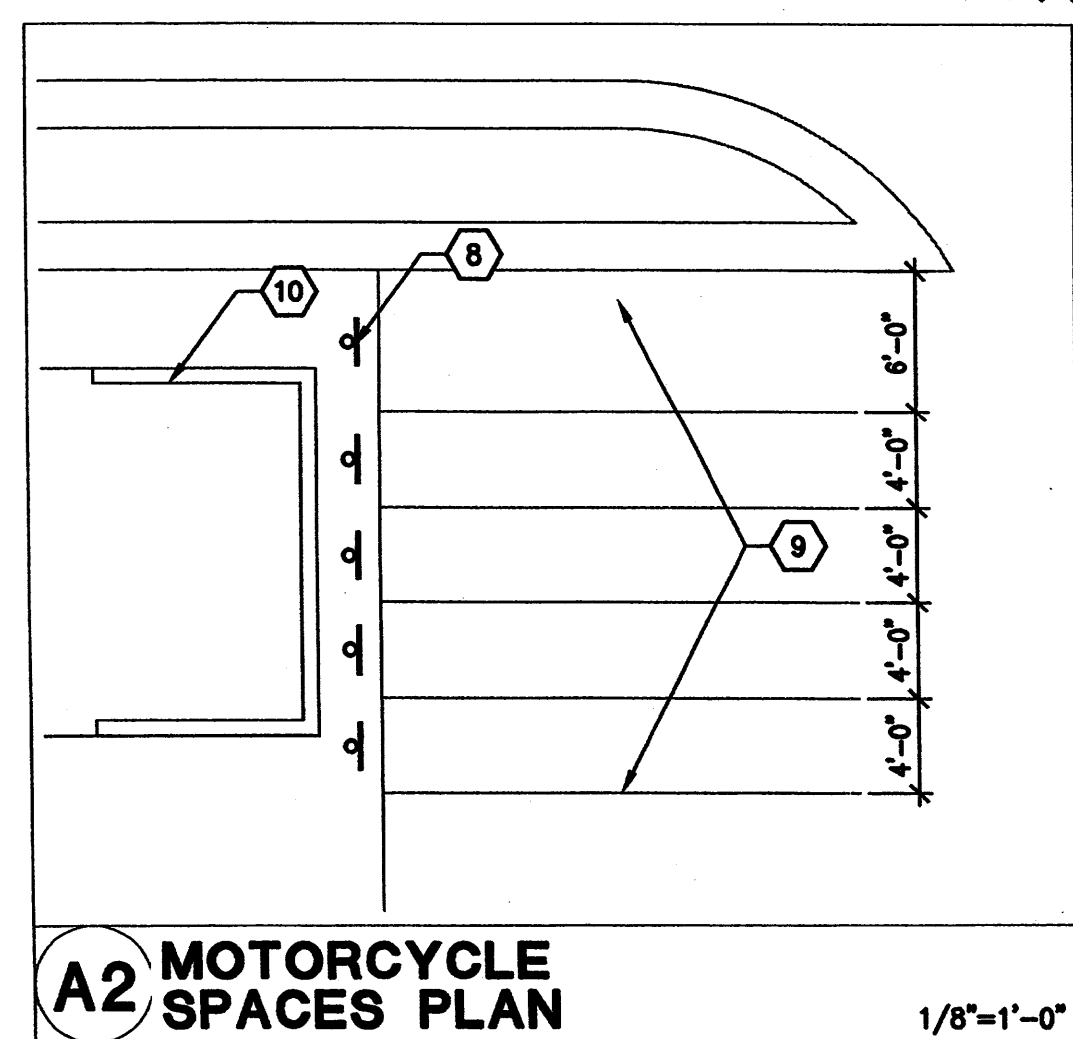
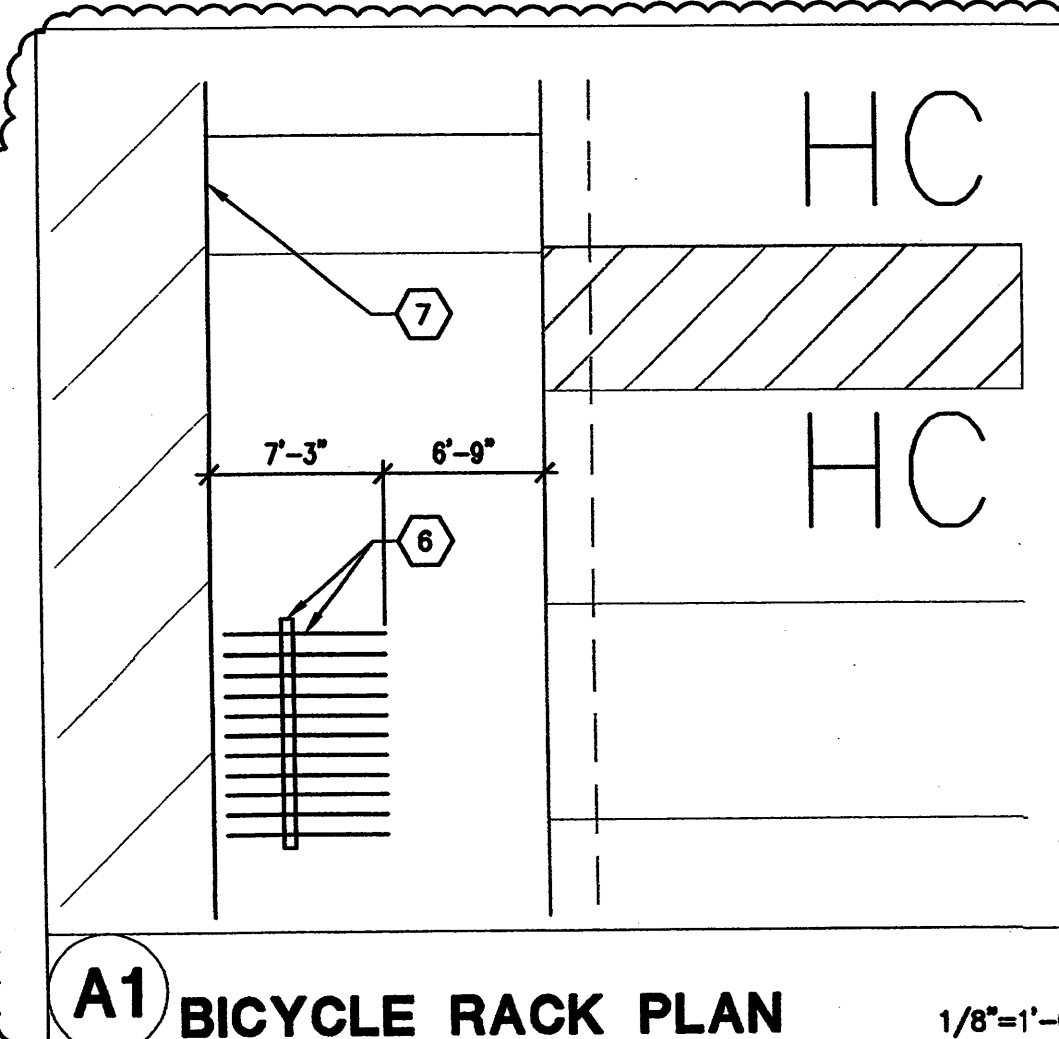
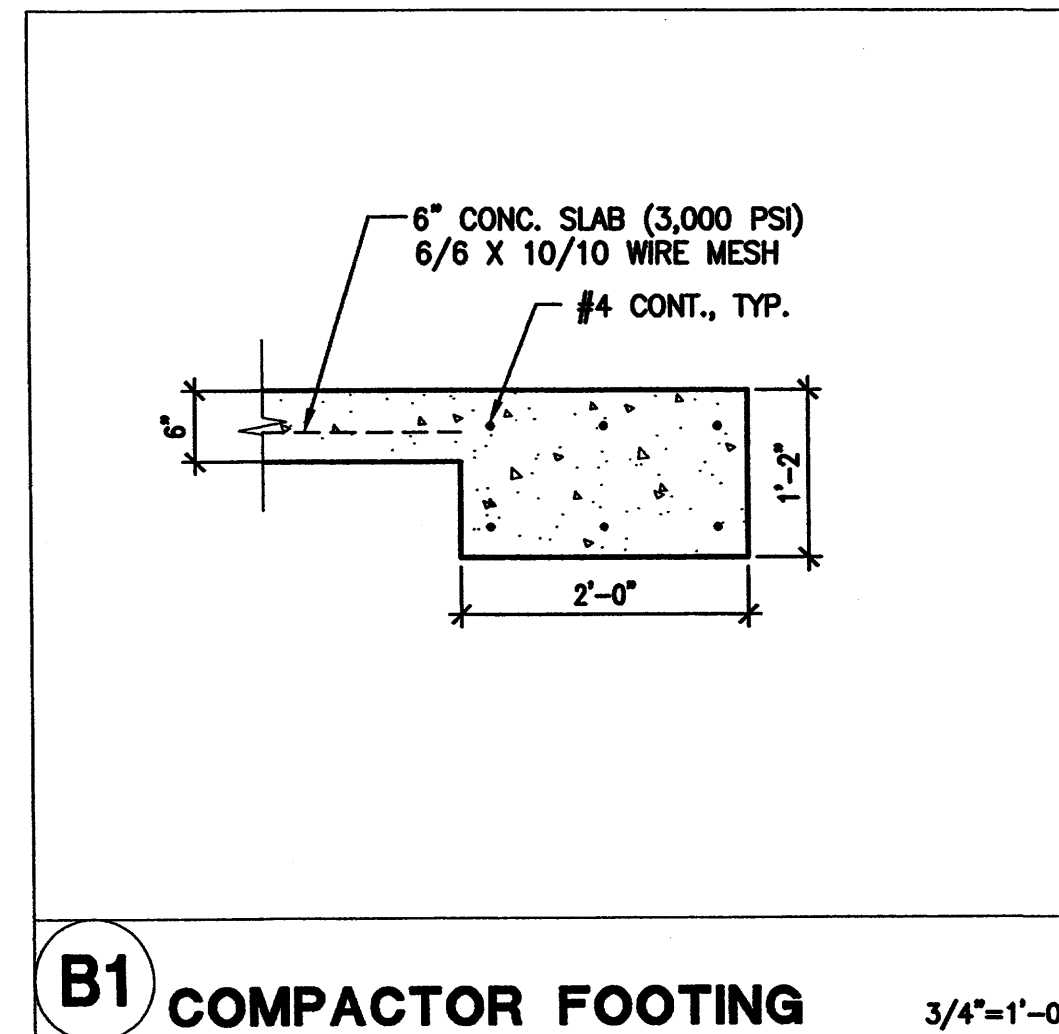
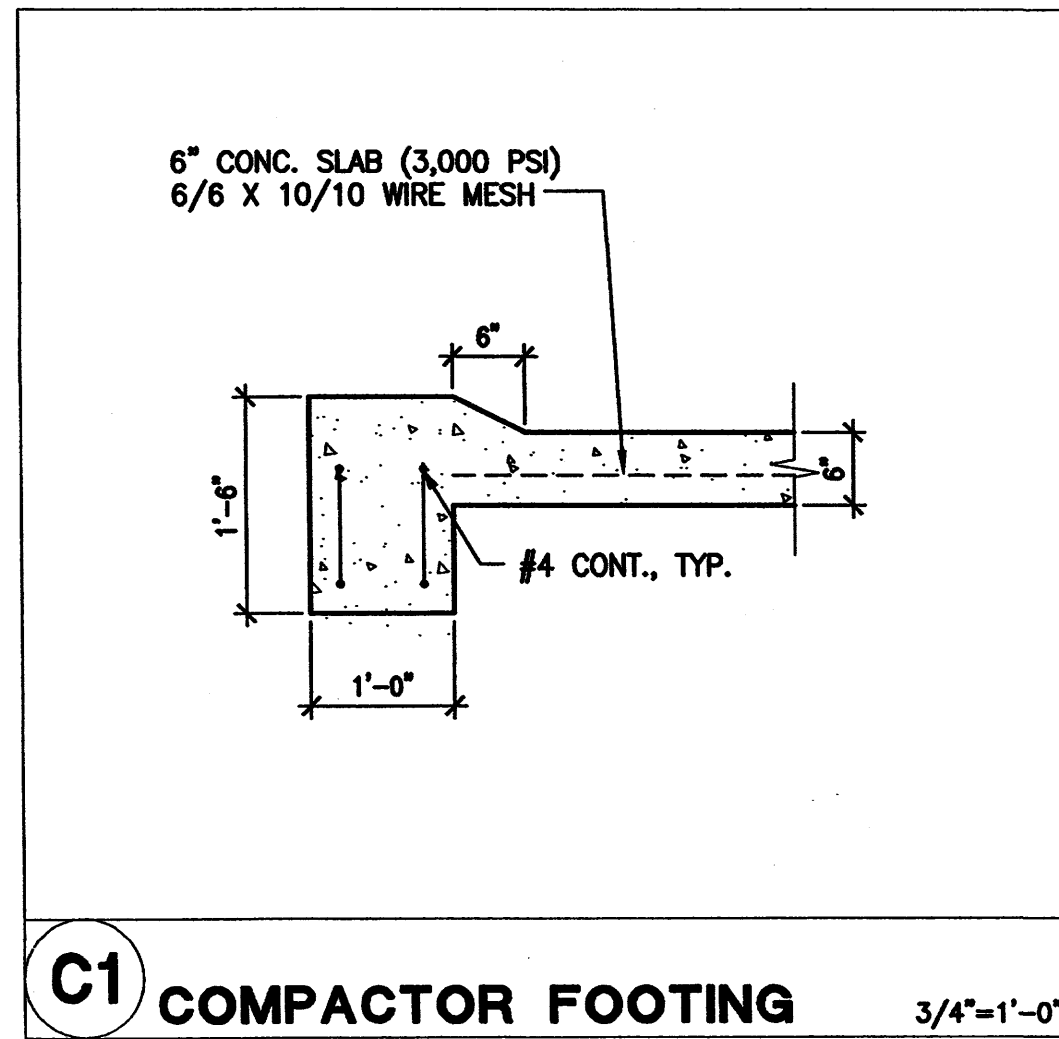
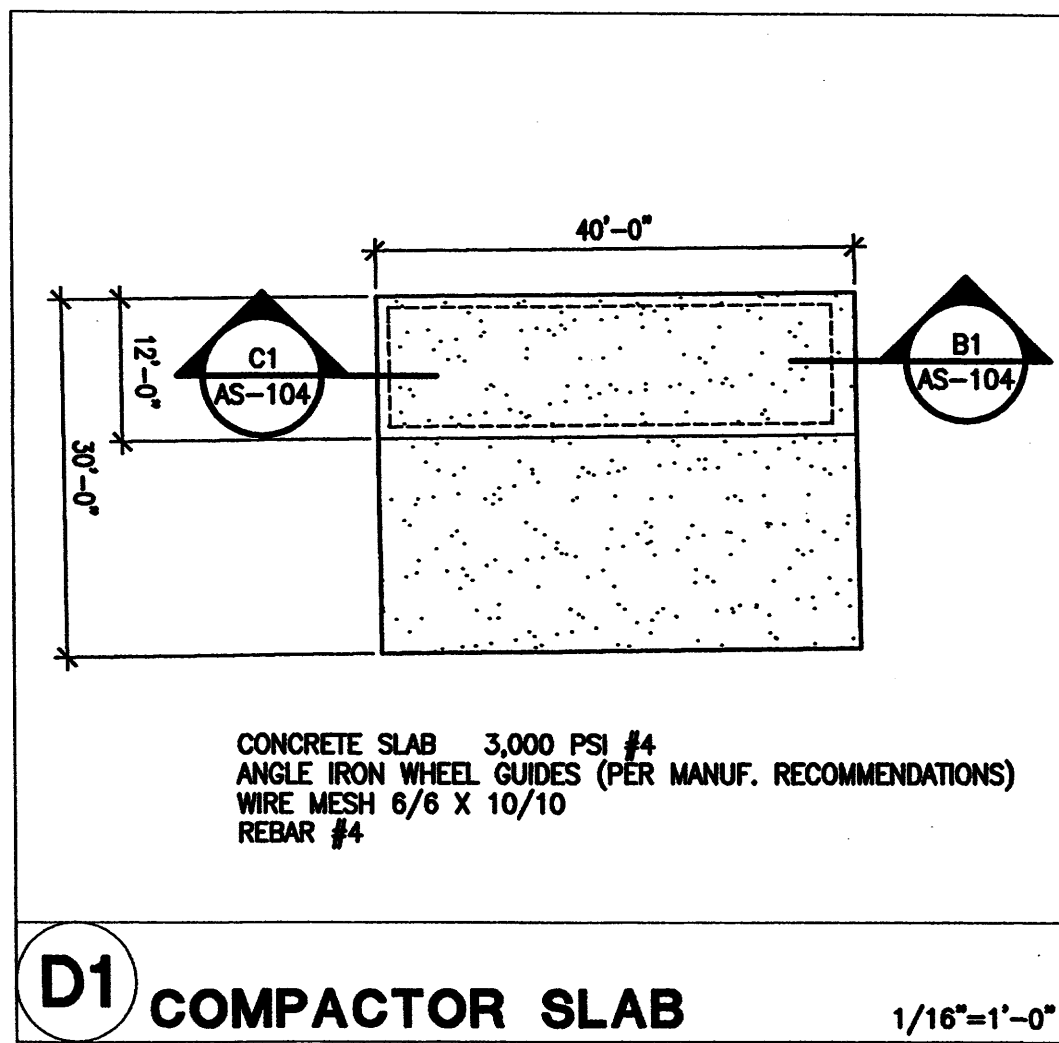
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D

C

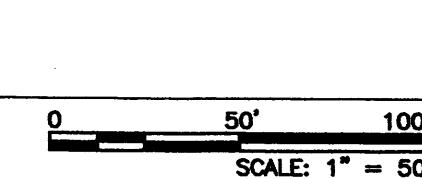
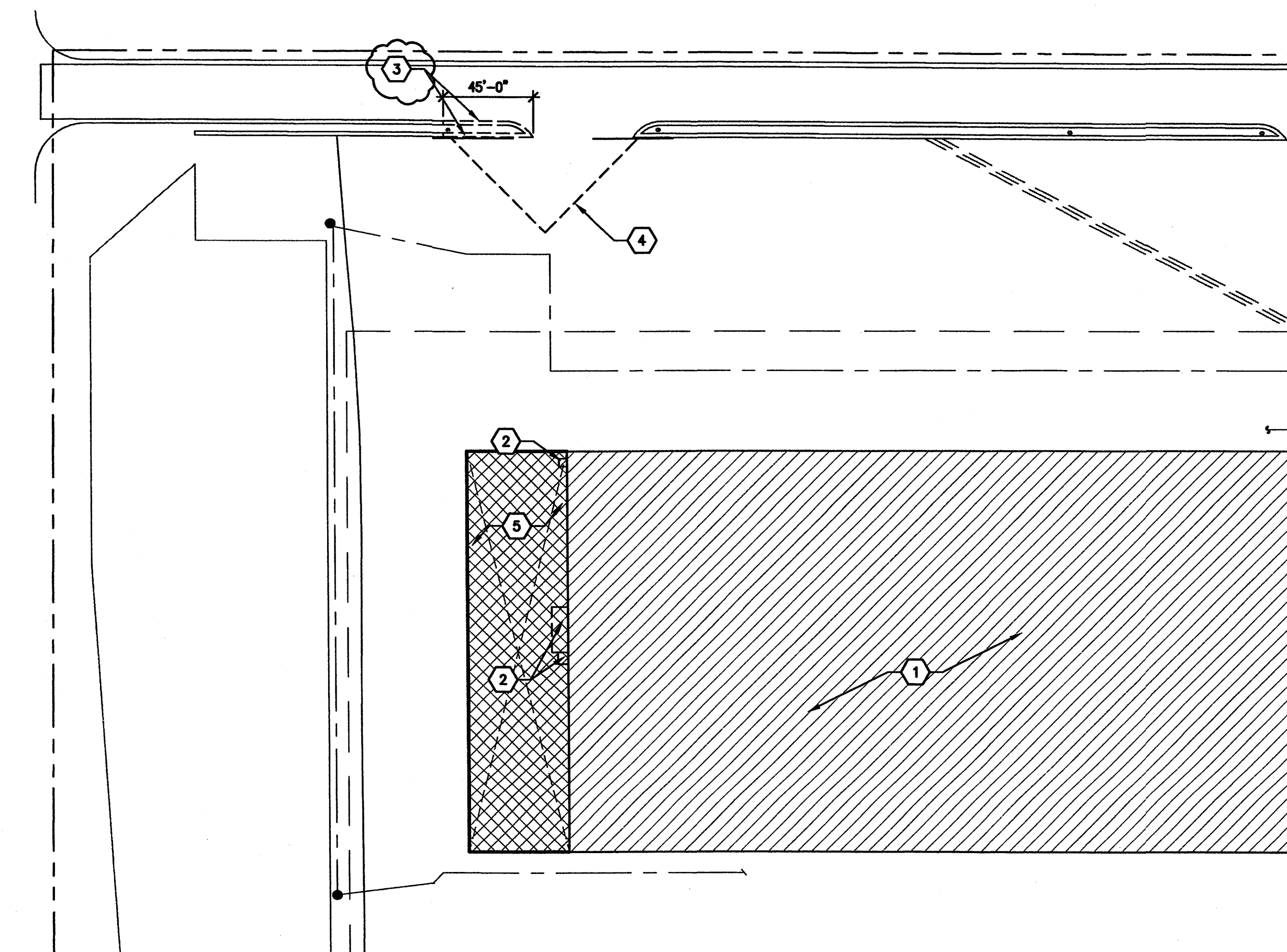
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A



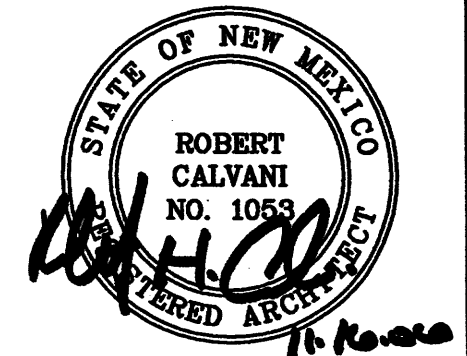
KEYED NOTES

- EXISTING MANUFACTURING FACILITY.
- EXISTING CONCRETE PAD TO BE REMOVED.
- REMOVE PORTION OF EXISTING CURB AS REQUIRED TO ALLOW FOR 80'-0"
- WIDE ENTRANCE AS SHOWN.
- EXISTING FENCE TO BE REMOVED.
- NEW ADDITION
- BIKE RACK (11 SPACES).
- EXISTING BUILDING ENTRANCE.
- MOTORCYCLE SIGNAGE, SEE DETAIL D4/AS-103.
- MOTORCYCLE PARKING (5 SPACES). STRIPE AS REQUIRED.
- EXISTING REFUSE ENCLOSURE.
- EXISTING CURB TO REMAIN.



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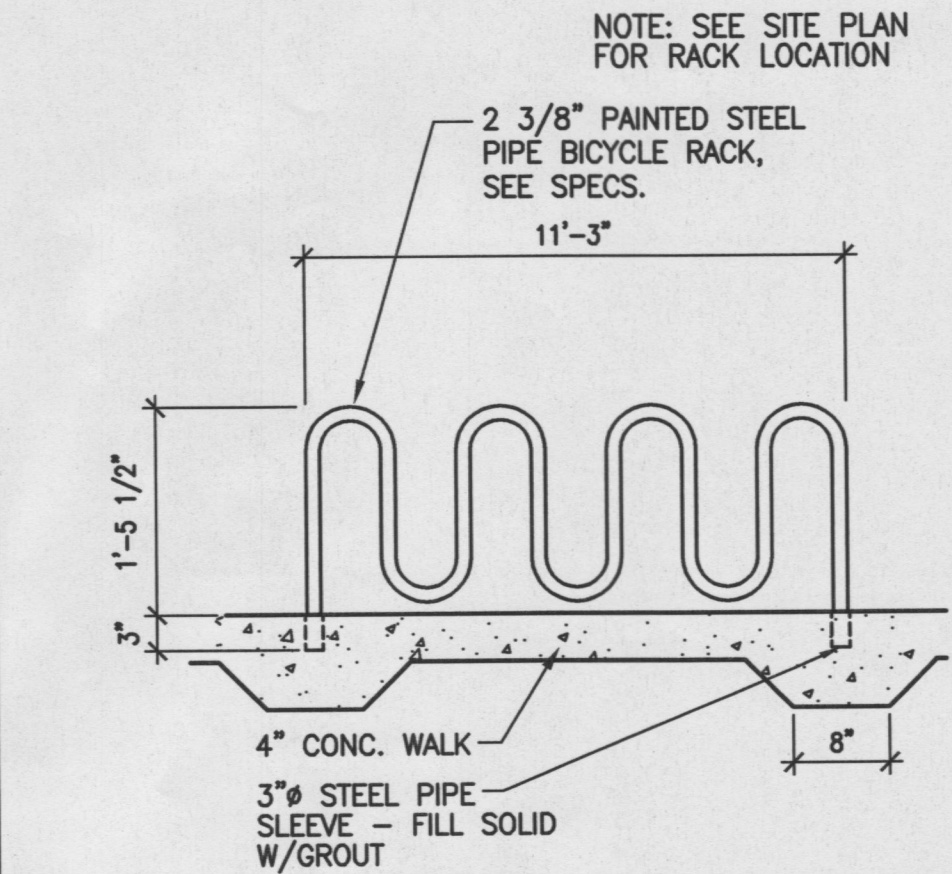
**TRAFFIC
CONTROL PLAN**

SHEET NO:

AS-104

KEYED NOTES

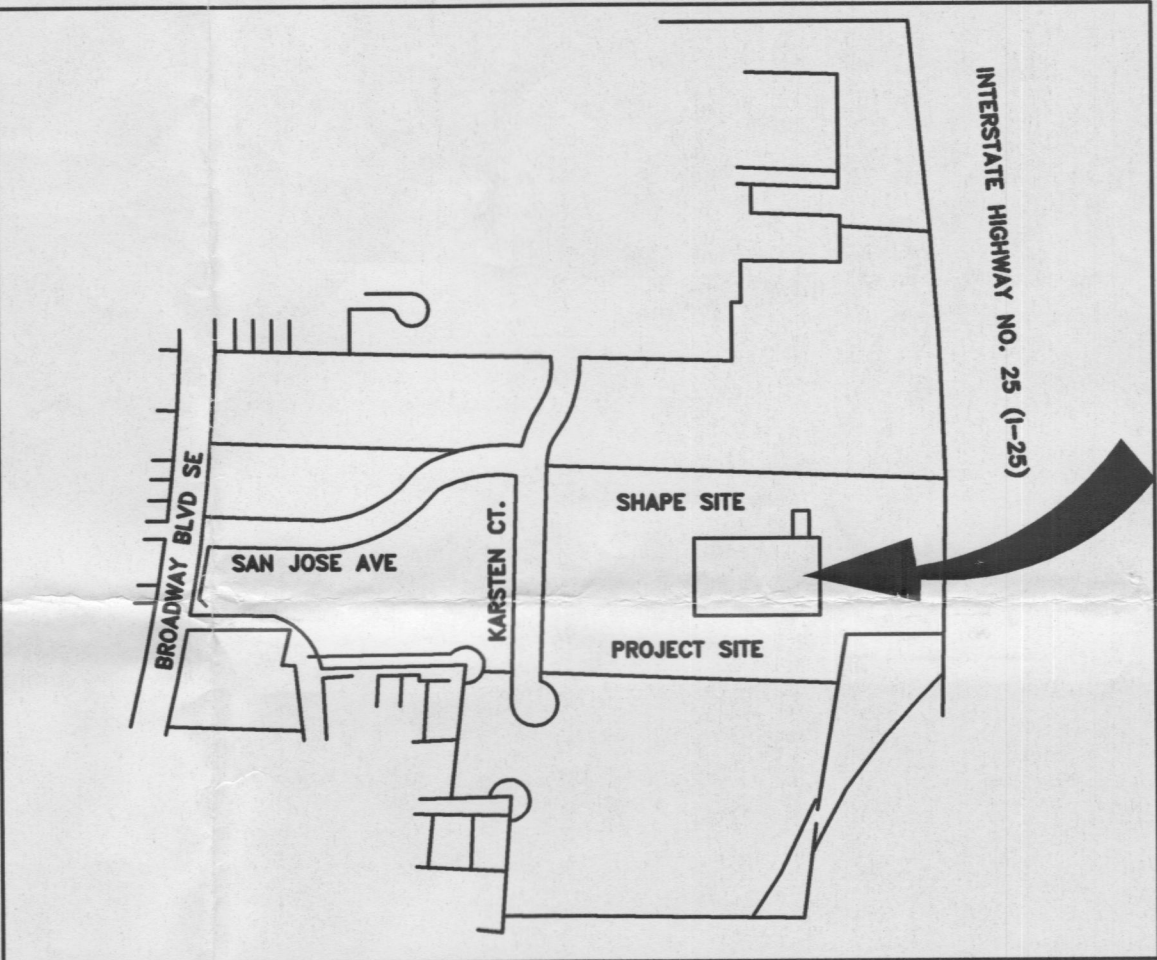
- 1. EXISTING MANUFACTURING FACILITY.
- 2. EXISTING SIDEWALK AND LANDSCAPING.
- 3. EXISTING ASPHALT PAVING.
- 4. EXISTING CONCRETE LANDING RIBBON.
- 5. EXISTING CHAIN LINK FENCE.
- 6. EXISTING RETENTION POND.
- 7. EXISTING LIGHT POLE.
- 8. EXISTING FIRE HYDRANT.
- 9. EXISTING FIRE/WATER LINE.
- 10. EDGE OF EXISTING ASPHALT.
- 11. BUILDING ADDITION.
- 12. 1 1/2" # STEEL PIPE FRAME.
- 13. BARBED WIRE.
- 14. CONCRETE PAD FOR COMPACTOR/DUMPSTER.
- 15. EXISTING GUARDRAIL LENGTH OF POND.
- 16. (1) 40' SLIDING GATE EACH SIDE, SEE DETAIL D4/AS-101.
- 17. EXISTING CONCRETE PAD TO BE REMOVED.
- 18. REMOVE PORTION OF EXISTING CURB AS REQUIRED TO PERMIT AN 80'-0" WIDE ENTRANCE AS SHOWN.
- 19. DASHED LINE INDICATES A 60'-0" YARD CLEARANCE FROM BUILDING, REQUIRED BY CODE FOR UNLIMITED ALLOWABLE AREA.
- 20. DASHED LINES ARE REPRESENTATIONAL ONLY TO SHOW TRUCK TURNING RADIUS.
- 21. NEW 12" WIDE CONCRETE RIBBON ACROSS OPENING.
- 22. NEW CURB TO MATCH EXISTING.
- 23. EXISTING FENCE TO BE REMOVED.
- 24. STEEL V-TACK WHEEL.
- 25. GUIDE FOR GATE.
- 26. BIKE RACK, SEE DETAIL E4/AS-103.
- 27. MOTORCYCLE PARKING.



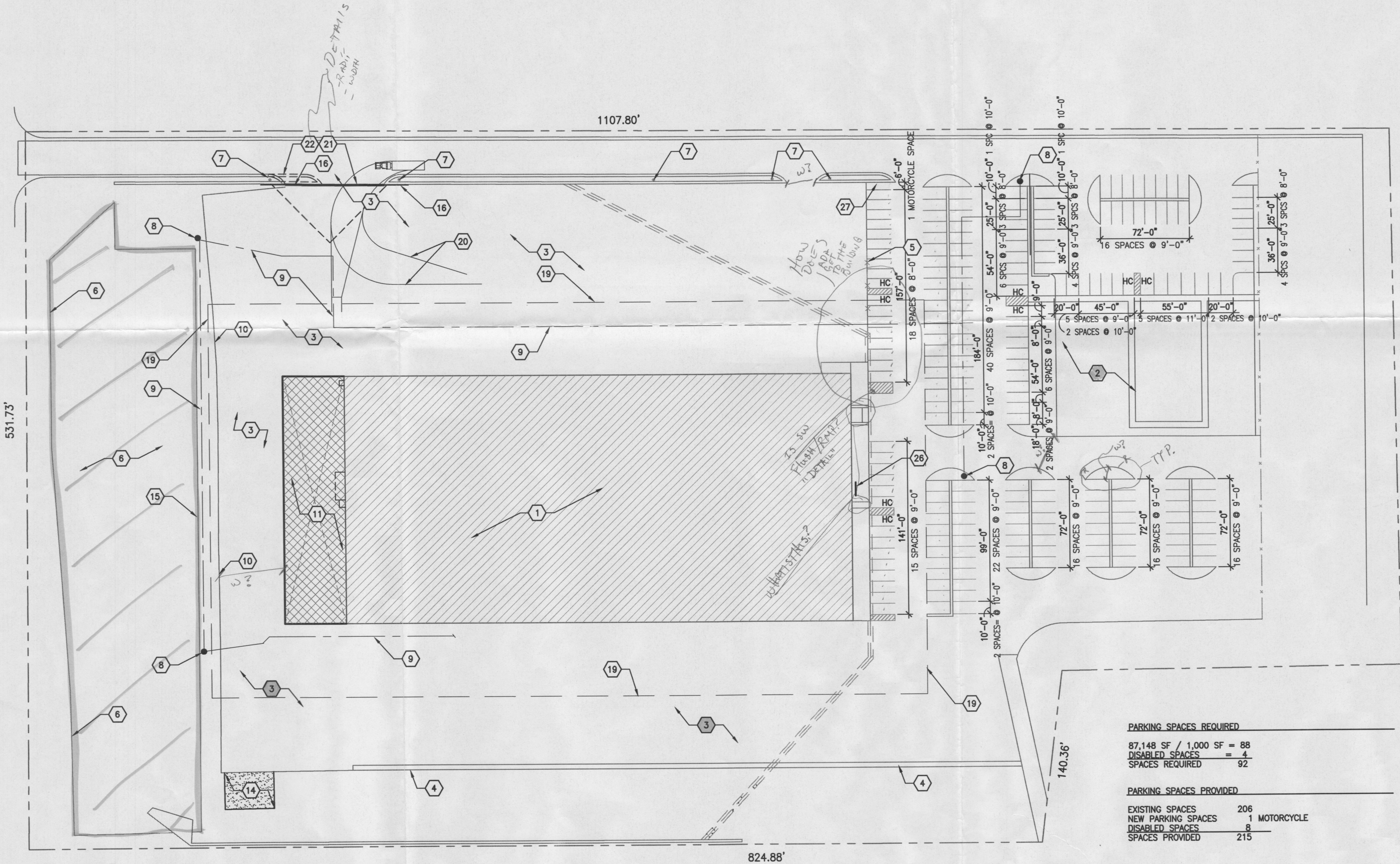
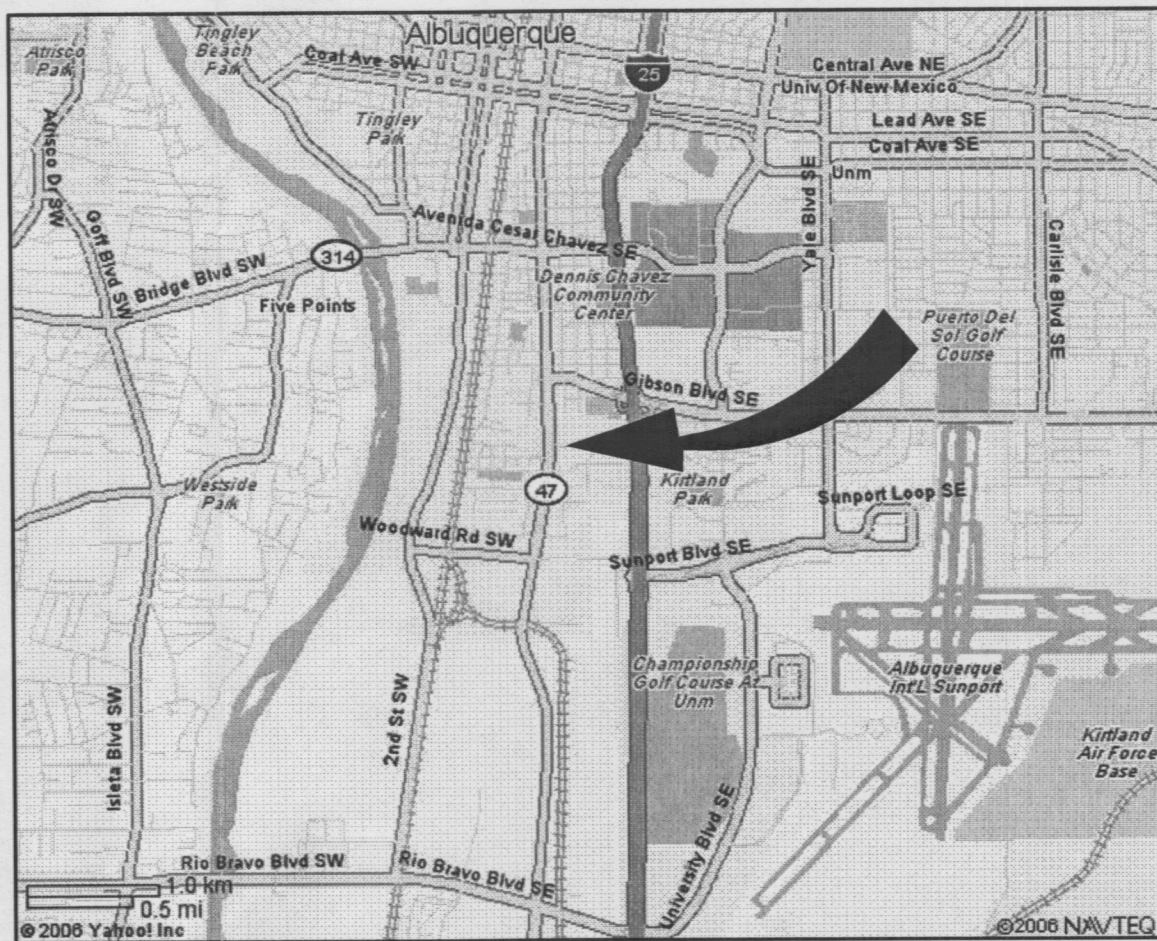
E4 BIKE RACK

3/4"=1'-0"

LOCATION MAP



VICINITY MAP M-14



A1 SITE PLAN
SCALE: 1"= 50'-0"

PARKING SPACES REQUIRED

87,148 SF / 1,000 SF = 88
DISABLED SPACES = 4
SPACES REQUIRED = 92

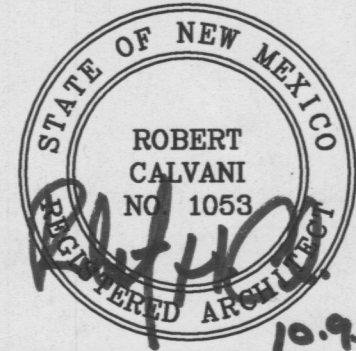
PARKING SPACES PROVIDED

EXISTING SPACES	206
NEW PARKING SPACES	1 MOTORCYCLE
DISABLED SPACES	8
SPACES PROVIDED	215

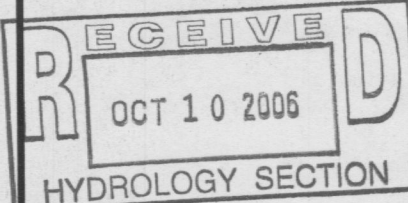


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ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
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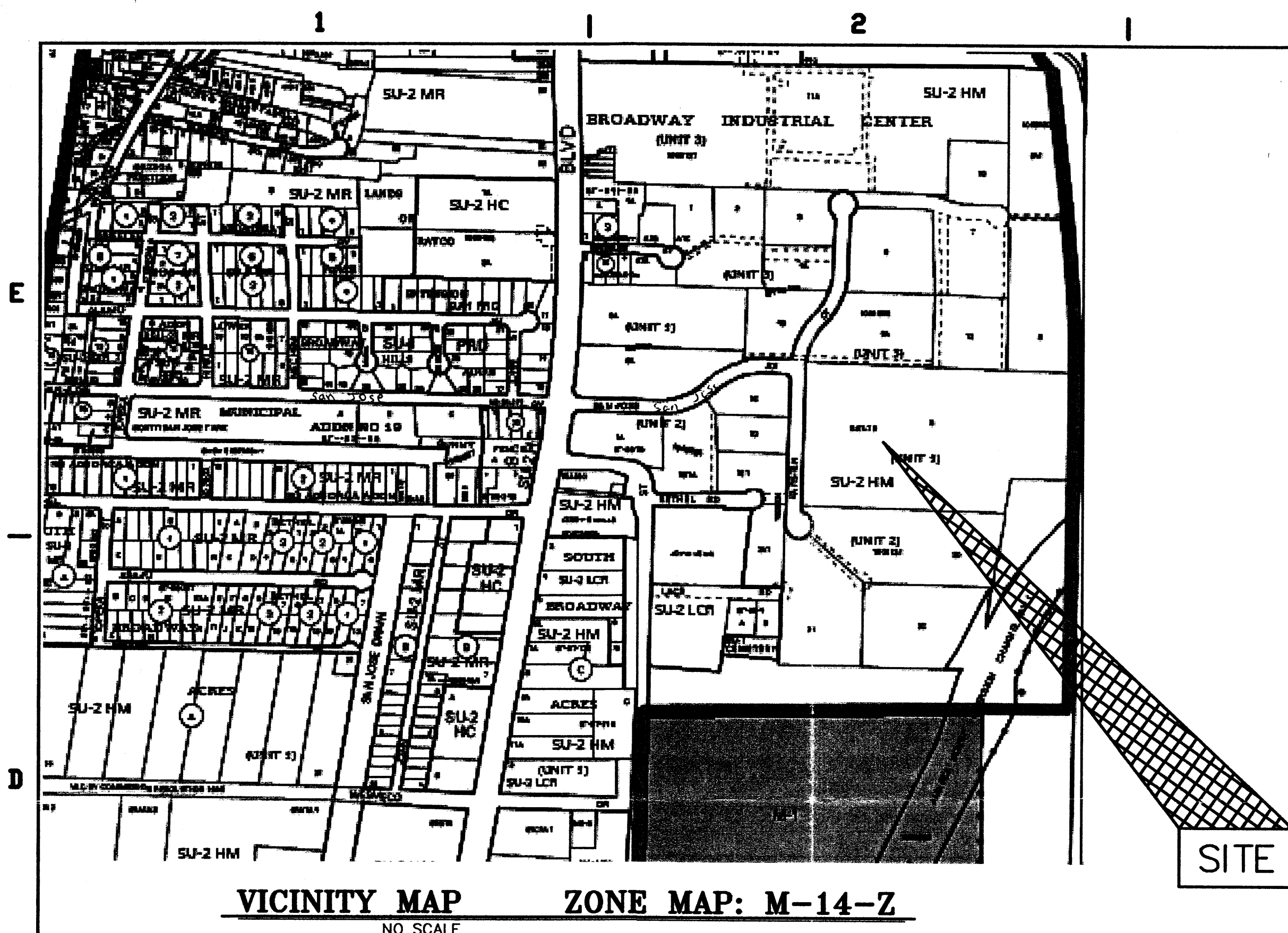
SHEET TITLE:

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CONTROL PLAN**

SHEET NO:

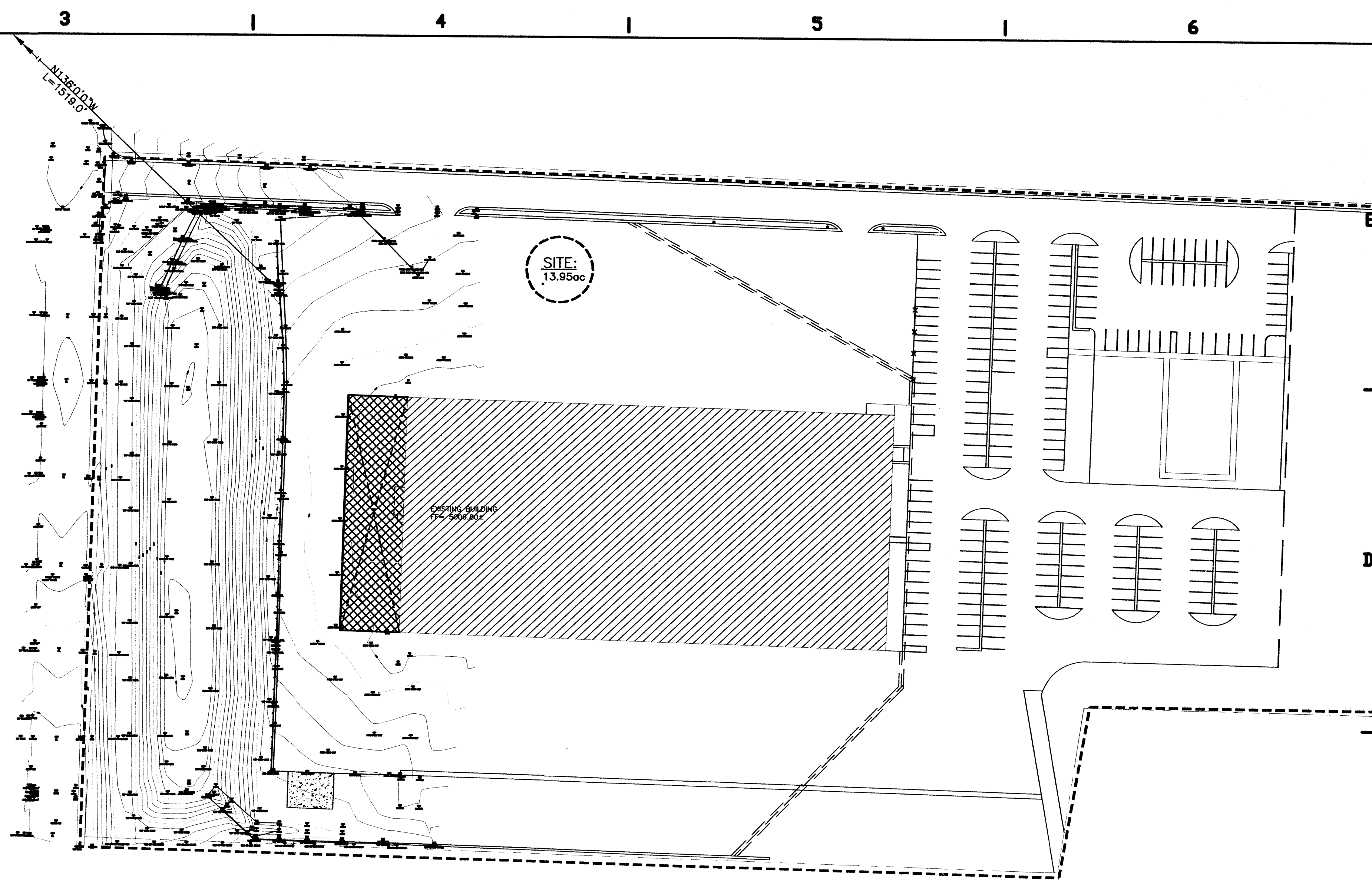
AS-103

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VICINITY MAP
NO SCALE

ZONE MAP: M-14-Z



Drainage Basin Map
SCALE: 1"=60'

EXISTING ON-SITE CONDITIONS

THE PROJECT SITE IS CURRENTLY DEVELOPED. THE SITE CONSISTS OF A 67,600 S.F. BUILDING WITH A 218 SPACE ASPHALT PAVEMENT PARKING AREA LOCATED ON THE EAST SIDE OF THE BUILDING. THE NORTH, SOUTH, AND WEST SIDES OF THE BUILDING CONSISTS OF ASPHALT PAVEMENT WITH CONCRETE CURB AND GUTTER AND CONCRETE VALLEY GUTTER RUNNING ALONG THE NORTH AND SOUTH SIDE OF THE PROPERTY. THE SITE CURRENTLY DRAINS FROM EAST TO WEST AT APPROXIMATELY 1.00% DISCHARGING INTO A 7.21 ACRE-FT RETENTION POND LOCATED AT THE WEST END OF THE PROPERTY. THE TOTAL AREA OF THE SITE IS 13.95 ACRES. THE EXISTING LAND TREATMENTS ARE CATEGORIZED AS: 0% A, 0% B, 10% C AND 90% D. AS SHOWN THE D. MARK GOODWIN & ASSOCIATES, 1997, GRADING AND DRAINAGE PLAN.

CURRENTLY, THE EAST SLOPE OF THE EXISTING RETENTION POND IS EXPERIENCING SUBSTANTIAL EROSION DUE TO RUNOFF FROM THE SITE.

PROPOSED DEVELOPMENT

THE PROPOSED IMPROVEMENTS WILL CONSIST OF A NEW 10,067 S.F. EXPANSION ON THE WEST SIDE OF THE EXISTING BUILDING (LOCATED ON AN AREA CURRENTLY CONSISTING OF ASPHALT PAVEMENT) AND A 40'X30' CONCRETE DUMPSTER PAD LOCATED AT THE SOUTHWEST CORNER OF THE PROPERTY.

554 L.F. OF NEW 8" CURB & GUTTER WILL BE INSTALLED ALONG THE EDGE OF THE EXISTING ASPHALT ON THE WEST SIDE OF THE PROPERTY TO COLLECT RUNOFF FROM THE EXISTING PAVED AREA (ON WHICH THE PROPOSED EXPANSION WILL BE LOCATED) AND ALLOW FOR POSITIVE DRAINAGE TO EXISTING CONCRETE RUNDOWNS LOCATED ON THE NORTH AND SOUTH ENDS OF THE RETENTION POND. DIVERTING RUNOFF TO THE THE CONCRETE RUNDOWNS WILL HELP ALLEVIATE THE EROSION PROBLEM OCCURRING ALONG THE EAST SLOPE OF THE RETENTION POND.

STORM WATER ROUTING

ONSITE RUNOFF SURFACE DRAINS FROM EAST TO WEST VIA A CONCRETE VALLEY GUTTER ON THE NORTH SIDE AND STANDARD CURB AND GUTTER ON THE SOUTH SIDE OF THE PROPERTY. NEW CURB AND GUTTER WILL BE BUILT ALONG THE WEST SIDE OF THE PROPERTY COLLECTING AND ROUTING RUNOFF FROM THE WEST SIDE OF THE PROPERTY TO THE NORTH AND SOUTH ENDS OF THE EXISTING RETENTION POND. THE NEW 8" CURB & GUTTER WILL TRANSITION INTO A CONCRETE VALLEY GUTTER ON BOTH THE NORTH AND SOUTH END. THE CONCRETE VALLEY WILL THEN TIE INTO THE EXISTING CONCRETE RUNDOWN AT THE SOUTH END AND A EXISTING SAW TOOTH CURB RUNDOWN AT THE NORTH END.

OFFSITE FLOWS

THE PROJECT SITE CURRENTLY RECEIVES OFFSITE FLOWS FROM TWO BASINS LOCATED EAST ALONG INTERSTATE 25 AS OUTLINED IN THE D. MARK GOODWIN & ASSOCIATES GRADING AND DRAINAGE PLAN DATED NOVEMBER 1997. THE DRAINAGE PLAN STATES THAT BASIN 101 CONTRIBUTES 6.60 CFS AND BASIN 108 CONTRIBUTES 4.45 CFS FOR THE 100-yr STORM EVENT. THE DESIGN OF THE EXISTING RETENTION POND ACCOUNTS FOR BOTH ONSITE AND OFFSITE FLOWS.

CONCLUSION

CURRENTLY THE 13.95 ACRE SITE DISCHARGE RELEASE RATE FOR THE 100-YEAR STORM EVENT IS 73.120cfs, INCLUDING OFFSITE FLOWS BASINS 101 AND 108. CURRENTLY THE REQUIRED CAPACITY OF THE EXISTING RETENTION POND FOR THE 100-yr, 10-DAY STORM EVENT IS APPROXIMATELY 4.2 ACRE-FT AND ACCORDING TO THE D. MARK GOODWIN & ASSOCIATES GRADING AND DRAINAGE PLAN "AS-BUILT" DRAWINGS, THE CAPACITY OF THE EXISTING POND IS 7.21 ACRE-FT.

THE NEW 10,067 S.F. EXPANSION OF THE EXISTING KARSTEN MANUFACTURING BUILDING WILL BE LOCATED IN AN AREA CURRENTLY COMPRISING OF ASPHALT PAVEMENT. THEREFORE, THE LAND TREATMENTS AND THE DISCHARGE RELEASE RATE FOR THE SITE BASIN SHOULD NOT INCREASE FROM THAT OF EXISTING CONDITIONS.

ACCORDING TO THE D. MARK GOODWIN & ASSOCIATES DRAINAGE MASTER PLAN THE 7.21 ACRE-FT RETENTION POND IS A TEMPORARY POND AND IS INTENDED TO BE CONVERTED INTO A DETENTION POND WITH A 48" RISER OUTFALL ONCE THE FUTURE 72" MASTERPLAN STORM DRAIN LINE IS CONSTRUCTED IN BROADWAY BLVD. IN ACCORDANCE WITH THE SOUTH BROADWAY SECTOR DEVELOPMENT PLAN. ACCORDING TO THE GOODWIN REPORT, A HYDRAULIC EVALUATION OF THE DETENTION POND & RISER OUTFALL SHOULD BE CONDUCTED TO ENSURE THAT THE ALLOWABLE RELEASE RATE TO THE FUTURE 72" STORM DRAIN IS NOT EXCEEDED.

GENERAL NOTES:

1. BEARINGS ARE GROUND BASED ON COA WGS 1984 COORDINATE SYSTEM.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON NMSHD "BC NM-361-2" AND "BC G-10", BRASS LOCATED NORTHWEST OF THIS PROPERTY, HAVING AN ELEVATION OF 4971.127 AND 4980.820 FEET.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
5. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
7. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
8. BACKFILL AND COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
10. ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
11. ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY BRANDPARTNERS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
12. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
13. THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS OUTSIDE THE 0.2% CHANGE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 35001C0342E DATED 11/19/03.

DRAINAGE DATA

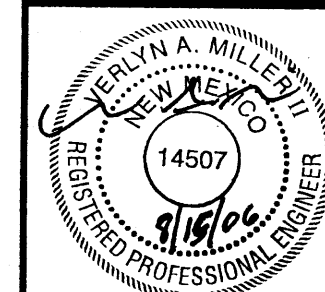
DUE TO THE UNCHANGED CONDITION OF THE EXISTING LAND TREATMENTS, REFER TO THE HYDROLOGY CALCULATIONS AS SHOWN ON THE ATTACHED "AS-BUILT" DRAWING FROM THE D. MARK GOODWIN & ASSOCIATES GRADING AND DRAINAGE PLAN DATED NOVEMBER 1997.



1308 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-8654 FAX
WWW.NCA-ARCHITECTS.COM

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KARSTEN
MANUFACTURING
EXPANSION

GRADING AND
DRAINAGE

ALBUQUERQUE
NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 8/16/06

CHECKED BY:

PROJECT NUMBER:

A06.06

DATE:

AUGUST 2006

SHEET TITLE:

SHEET NO:

C-1



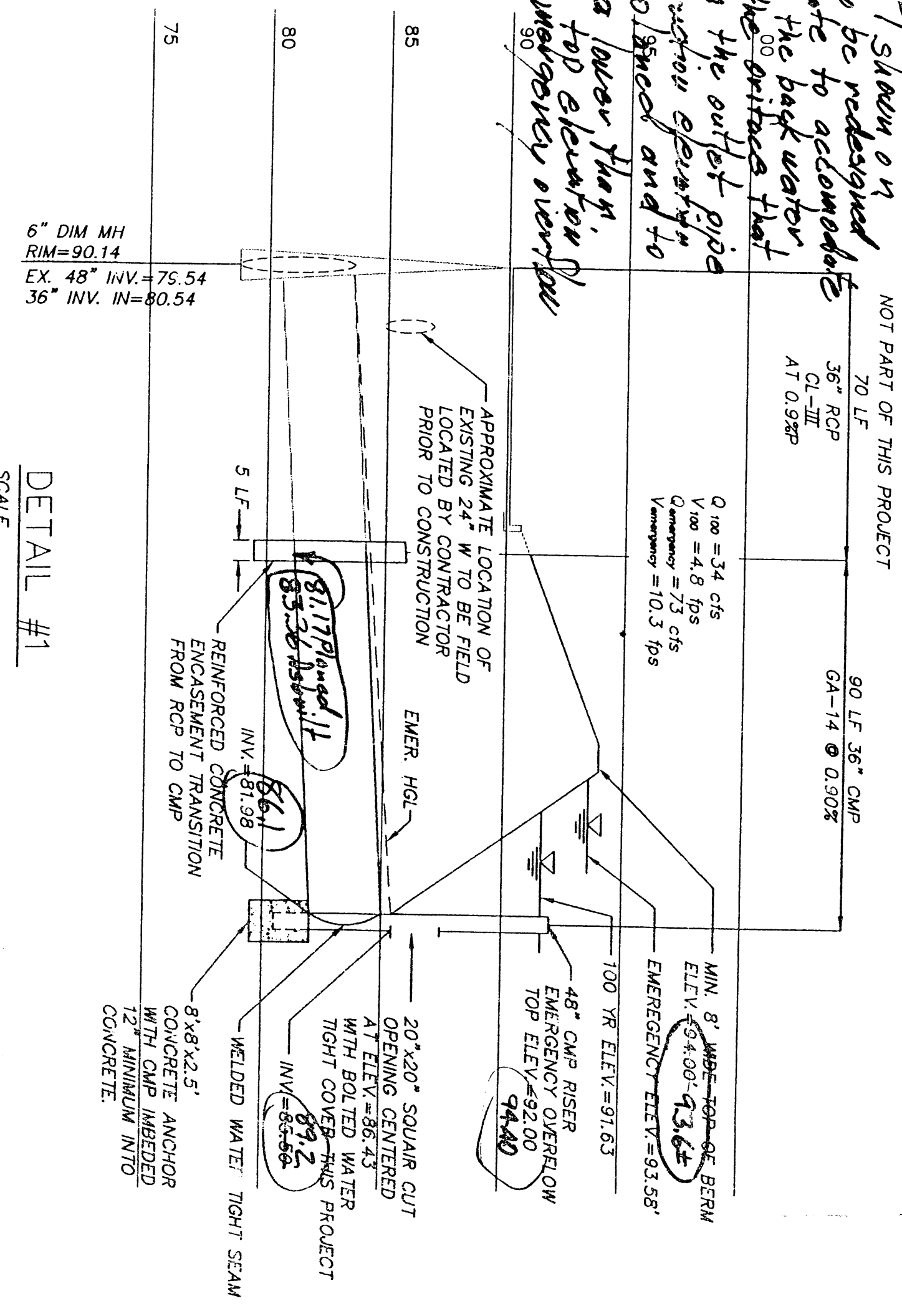
POND VOLUME CALCULATIONS

Pond # 3 Asbuilt OK 7-14-88					
Elevation (ft)	Planimeter Area (sq.in.)	Area (Acres)	Volume (acre-ft)	Volume Sum (acre-ft)	
82.0	12,360.00	0.00	0.00	0.00	
80.75	10,250.00	0.00	0.00	0.00	
80.00	9,160.00	0.00	0.00	0.00	
79.25	8,070.00	0.00	0.00	0.00	
78.50	6,980.00	0.00	0.00	0.00	
77.75	5,890.00	0.00	0.00	0.00	
77.00	4,800.00	0.00	0.00	0.00	
76.25	3,710.00	0.00	0.00	0.00	
75.50	2,620.00	0.00	0.00	0.00	
74.75	1,530.00	0.00	0.00	0.00	
74.00	44,280.00	1.00	0.00	0.00	
Pond # 2					
Elevation (ft)	Planimeter Area (sq.in.)	Area (Acres)	Volume (acre-ft)	Volume Sum (acre-ft)	
7.50	5,040.00	0.12	0.00	0.00	
16.50	1,360.00	0.03	0.67	1.94	
17.50	17,290.00	0.40	0.73	2.42	
Pond # 1 Future					
Elevation (ft)	Planimeter Area (sq.in.)	Area (Acres)	Volume (acre-ft)	Volume Sum (acre-ft)	
85.50	0.00	0.00	0.00	0.00	
87.70	1,390.00	0.03	0.02	0.05	
87.70	22,220.00	0.51	0.76	1.00	
Pond # 1 Future					
Elevation (ft)	Planimeter Area (sq.in.)	Area (Acres)	Volume (acre-ft)	Volume Sum (acre-ft)	
85.50	0.00	0.00	0.00	0.00	
87.70	1,390.00	0.03	0.02	0.05	
87.70	22,220.00	0.51	0.76	1.00	

Incremental volume computed by the Conic Method for Reservoir volumes.
Volume = $(1/3) * (E1 + E2) * (Area1 + Area2 + sq.\pi * (Area1 * Area2))$
where: E1, E2 = Closest two elevations with planimeter data
Area1, Area2 = Areas computed for E1, E2, respectively
Area = Interpolated area for E1
Incremental volume between E1 and E2

Asbuilt Note #1

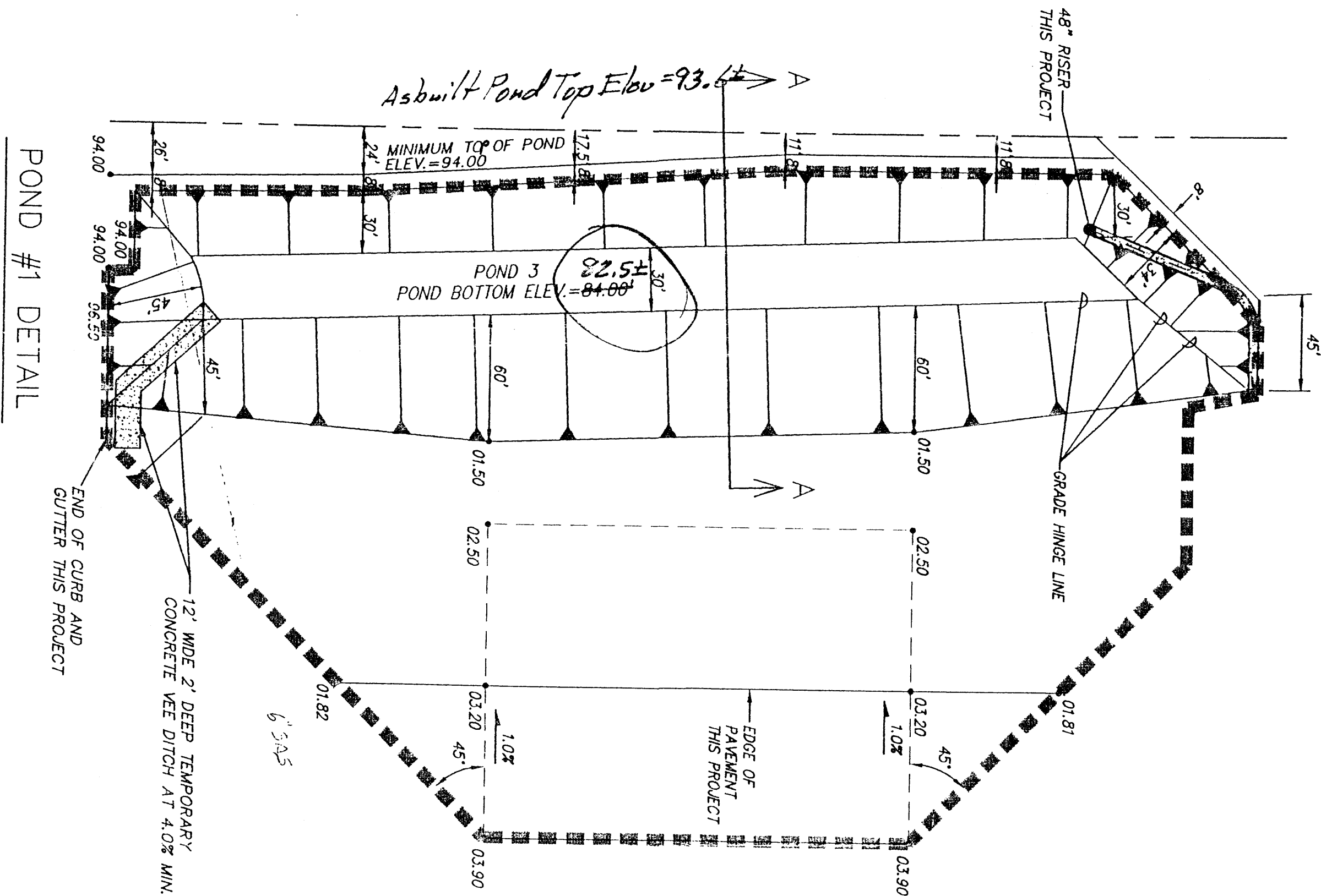
Future Pond #1 shown on Sheet #1 is to be redesigned at a later date to accommodate the change in the backwater pressure on the outlet pipe resulting from the outlet pipe Asbuilt construction opening higher than planned and to accommodate a lower than planned dam top elevation and lower emergency overflow.



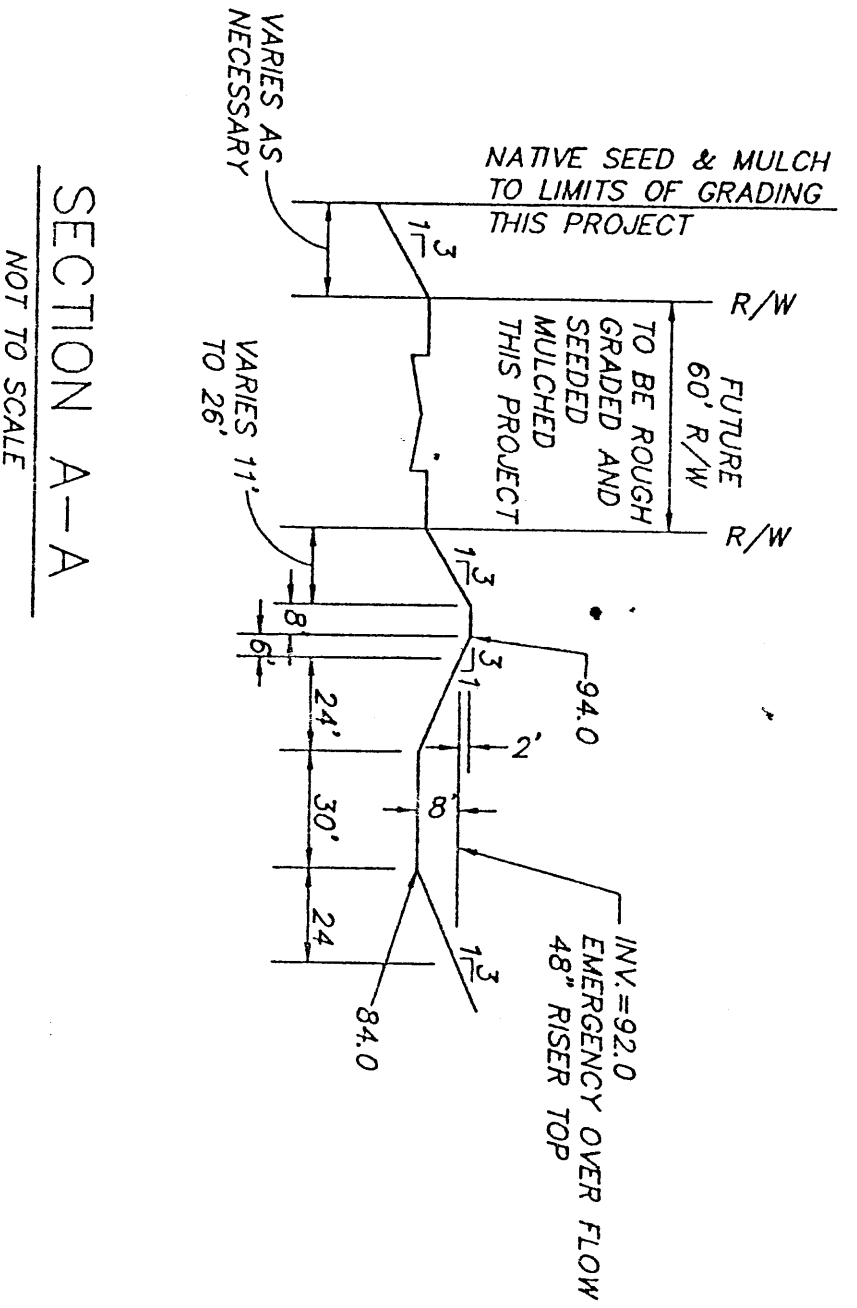
DETAIL #1
SCALE: 1"=30'
HORIZ: 1"=50'
VERT: 1"=5'

HYDROLOGY CALCULATIONS

100 YEAR PRECIPITATION									
(from Figures D, E and F and Eq. 28 of DPM 22.2)									
$P_{100} = 1.92"$, $P_{50} = 2.23"$, $P_{10} = 2.65"$, $P_{2} = 10.0$, $P_{0.2} = 24.9$, $P_{0.05} = 31.4$									
SUMMARY OF HYDROLOGY									
(from AHYMO and Equation 9 and Table 3 of DPM Sec. 22.2)									
Basin No.	Area (Ac)	Land Treatments (%)				100 Year			
		A	B	C	D	Q (cfs)	V_{100} (Ac-ft)	V_{50} (Ac-ft)	V_{10} (Ac-ft)
101	1.81	0.00233	0	40	0	6.60	0.231	0.353	
108	1.26	0.00197	0	0	70	3.0	0.145	0.188	
115	13.95	0.02180	0	0	10	90	62.0	2.277	3.689
TOTAL ON-SITE POND #3						73.120	2.653	4.220	
102	1.93	0.00392	0	40	0	6.0	0.246	0.376	
103	3.79	0.00592	0	0	90	12.16	0.373	0.416	
104	4.03	0.00630	0	0	90	10	12.94	0.397	0.442
107	2.53	0.00395	0	0	70	3.0	0.280	0.375	
116	7.17	0.01120	90	0	10	0	11.57	0.314	0.324
TOTAL OFF-SITE POND #2						52.530	1.630	1.934	



POND #1 DETAIL
SCALE: 1"=50'



SECTION A-A
NOT TO SCALE