

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 15, 2023

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

**RE: Jack Candelaria Community Center Addition
Grading and Drainage Plans
Engineer's Stamp Date: 11/06/23
Hydrology File: M14D007**

Dear Mr. Means:

Based upon the information provided in your submittal received 11/30/2023, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

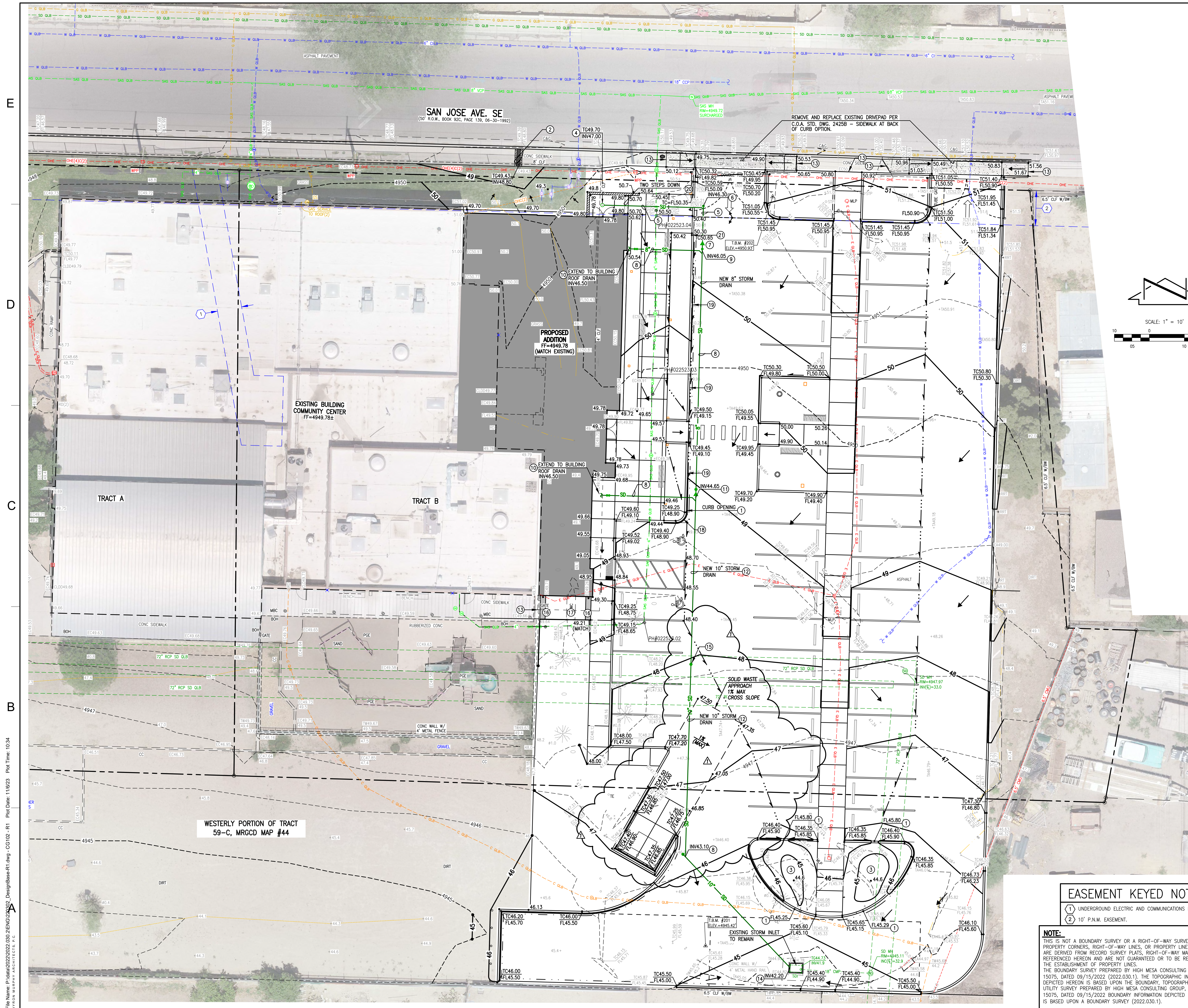
1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

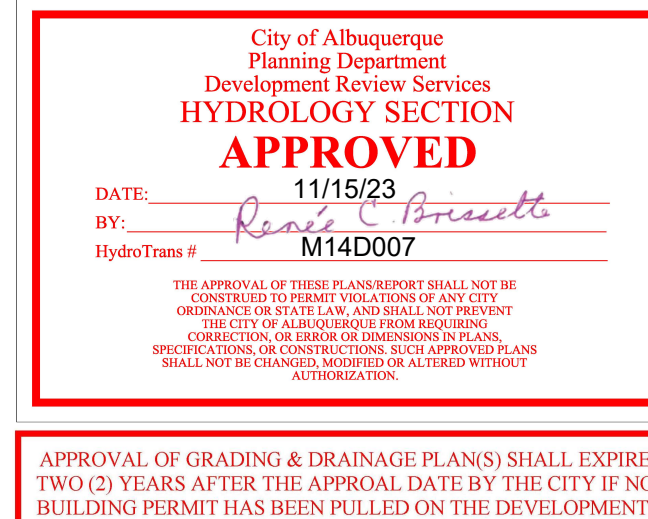


GRADING AND DRAINAGE
KEYED NOTES:

1. CONSTRUCT 2 FT CURB OPENING.
2. CONSTRUCT 24" SIDEWALK CULVERT PER COA STANDARD, DRAWING 2236 -- SEE SHEET CG101 FOR 50-19 NOTES AND REQUIREMENTS.
3. STORM WATER QUALITY RETENTION AREA. VOLUME = 500F EACH.
4. INSTALL AREA DRAIN WITH HEEL=PROOF GRATE, ZURN FDI OR APPROVED SUBSTITUTE.
5. INSTALL 4" PVC DRAIN LINE.
6. INSTALL 4" COMBINATION WYE/BEND WITH SINGLE CLEANOUT TO GRADE WITH CONCRETE COLLAR.
7. INSTALL 4"x8" ECCENTRIC REDUCER.
8. INSTALL 8" HDPE DRAIN LINE.
9. INSTALL 8" WYE AND SINGLE CLEANOUT TO GRADE WITH CONCRETE PAD.
10. INSTALL DOUBLE CLEANOUT TO GRADE WITH CONCRETE PAD. SEE PLUMBING PLANS FOR CONTINUATION.
11. INSTALL ONE 8"x10" ECCENTRIC REDUCER (NORTH) AND SINGLE CLEANOUT TO GRADE WITH CONCRETE PAD AND ONE 10"x10"x8" WYE WITH 8" BRANCH TO THE WEST.
12. INSTALL 10" HDPE DRAIN LINE.
13. MATCH EXISTING GRADE.
14. CONNECT TO EXISTING STORM INLET. CORE DRILL OPENING FOR NEW CONNECTION AND GROUT AROUND CONNECTION.
15. INSTALL SINGLE CLEANOUT TO GRADE WITH CONCRETE PAD.
16. CONSTRUCT 12" SIDEWALK CULVERT PER COA STD DWG 2236. EXTEND ROOF DRAINAGE DOWNSPUT THROUGH PLATE (2 LOCATIONS).
17. REMOVE AND DISPOSE OF EXISTING SIDEWALK CULVERT AND REPLACE WITH NEW CONCRETE SIDEWALK PAVEMENT.
18. TRANSITION FROM 4" TO 6" CURB HEIGHT.
19. 4" CURB AND GUTTER ALONG WEST SIDE OF DRIVE AISLE.
20. TRANSITION FROM 6" CURB TO FLUSH CURB AT SIDEWALK OPENING.
21. TRANSITION FROM FLUSH CURB AT SIDEWALK OPENING TO 4" CURB.

SUBSURFACE UTILITY
LOCATION TABLE:

SEE SHEET 'CU-101'



NO.	DATE	BY	REVISIONS
1	11/23	G.M.	TRASH ENCLOSURE

2022.030.2

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DYRON MURPHY ARCHITECTS, P.C.
4505 Montbel Place NE, Albuquerque, New Mexico 87107

**JACK CANDELARIA
COMMUNITY CENTER
ADDITION**
400 SAN JOSE AVE, SE
ALBUQUERQUE, NEW MEXICO 87102
100% CONSTRUCTION DOCUMENTS
OCTOBER 13, 2023

PROJECT NUMBER	DRAWN BY	PROJ MGR
2022.030.2	J.Y.R.	G.M.
GRADING PLAN		
Sheet Title	of	
Sheet Number	CG102	

EASEMENT KEYED NOTES:

1. UNDERGROUND ELECTRIC AND COMMUNICATIONS EASEMENT
2. 10' P.N.M. EASEMENT.

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 15075, DATED 09/15/2022 (2022.030.1), THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 09/15/2022. BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY (2022.030.1).