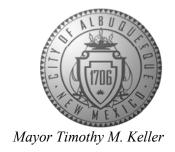
### CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



November 15, 2023

J. Graeme Means, P.E. High Mesa Consulting Group 6010 B Midway Park Blvd NE Albuquerque, NM 87109

RE: Jack Candelaria Community Center Addition

Grading and Drainage Plans Engineer's Stamp Date: 11/06/23

**Hydrology File: M14D007** 

Dear Mr. Means:

Based upon the information provided in your submittal received 11/30/2023, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along

with a copy of this letter.

Albuquerque PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

Non-Subarvision is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

NM 87103

www.cabq.gov

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

Renée C. Brissette

Find Hydrology forms and information at: <a href="mailto:cabq.gov/planning/development-review-services/hydrology-section">cabq.gov/planning/development-review-services/hydrology-section</a>

Page 1 of 1



## **City of Albuquerque**

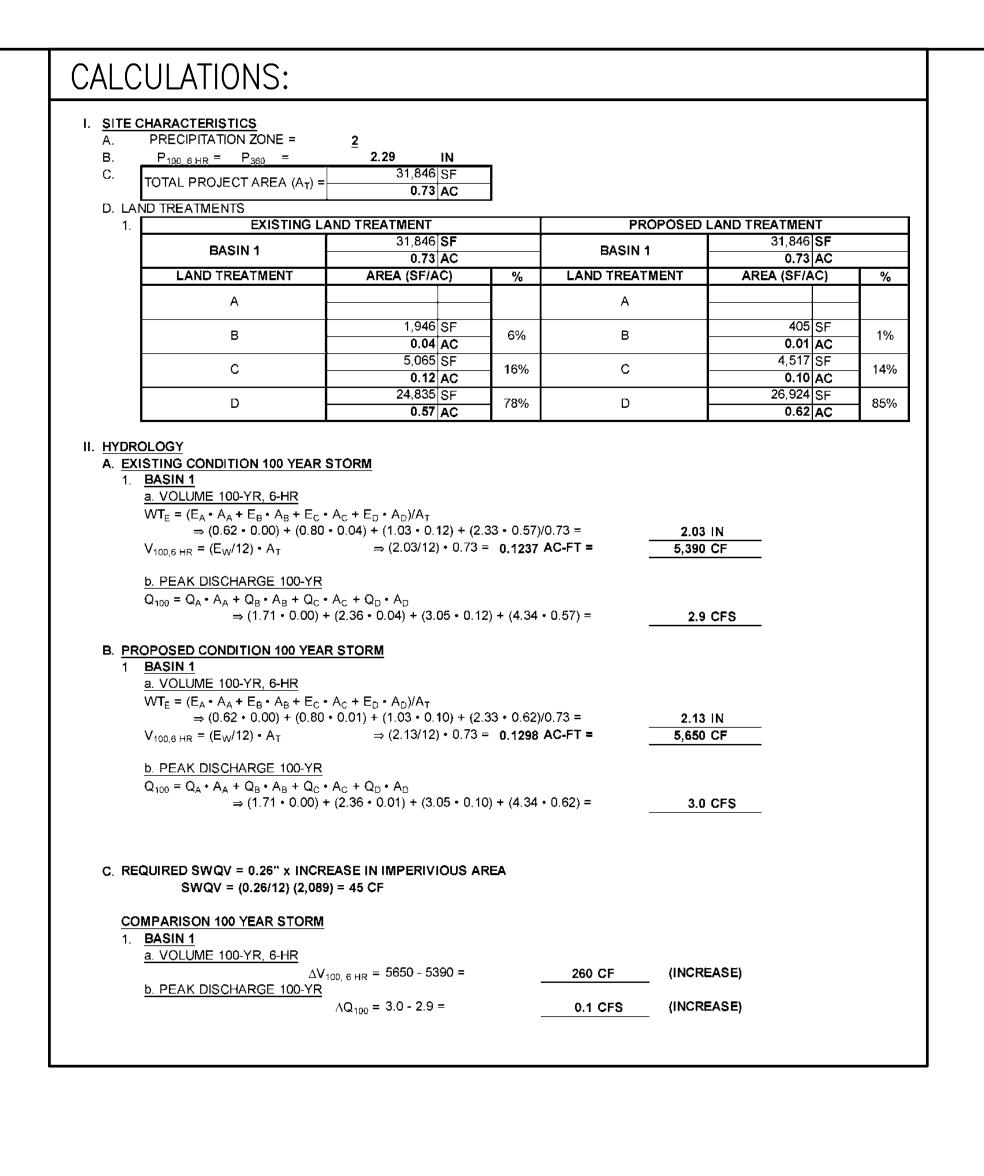
Planning Department
Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:		Hydrology File #	
Legal Description:			
City Address, UPC, OR Parcel	:		
Applicant/Agent:		Contact:	
Address:			
Email:			
Applicant/Owner:		Contact:	
Address:		Phone:	
Email:			
(Please note that a DFT SITE is or	ne that needs Site Plan A	pproval & ADMIN SITE is one that does not need it.)	
TYPE OF DEVELOPMENT:	PLAT (#of lots)	RESIDENCE	
	DFT SITE	ADMIN SITE	
RE-SUBMITTAL: YES	NO		
DED A DEMENT. TO A NI	SDODT A TION	HVDDOLOGV/DD A DIA CE	
<b>DEPARTMENT:</b> TRANS	SPORTATION	HYDROLOGY/DRAINAGE	
Check all that apply under Both	the Type of Submittal	and the Type of Approval Sought:	
TYPE OF SUBMITTAL:		TYPE OF APPROVAL SOUGHT:	
ENGINEER/ARCHITECT CERTIFICATION		BUILDING PERMIT APPROVAL	
PAD CERTIFICATION		CERTIFICATE OF OCCUPANCY	
CONCEPTUAL G&D PLAN		CONCEPTUAL TCL DFT APPROVAL	
GRADING & DRAINAGE PLAN		PRELIMINARY PLAT APPROVAL	
DRAINAGE REPORT		FINAL PLAT APPROVAL	
DRAINAGE MASTER PLAN		SITE PLAN FOR BLDG PERMIT DFT	
CLOMR/LOMR		APPROVAL	
TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE		SIA/RELEASE OF FINANCIAL GUARANTEE	
		FOUNDATION PERMIT APPROVAL	
TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL		GRADING PERMIT APPROVAL	
TRAFFIC IMPACT STUDY (TIS)		SO-19 APPROVAL	
STREET LIGHT LAYOUT		PAVING PERMIT APPROVAL	
OTHER (SPECIFY)		GRADING PAD CERTIFICATION	
- 111211 (C1 2011 1)		WORK ORDER APPROVAL	
		CLOMR/LOMR	
		OTHER (SPECIFY)	
DATE SUBMITTED:			

### DRAINAGE PLAN . INTRODUCTION AND EXECUTIVE SUMMARY THIS SITE IS LOCATED IN ALBUQUERQUE'S SAN JOSE NEIGHBORHOOD ON THE SOUTH SIDE OF SAN JOSE AVENUE SE BETWEEN BROADWAY BLVD SE AND WILLIAMS STREET E. THE SITE IS A PUBLIC CITY OF ALBUQUERQUE COMMUNITY CENTER. THIS PLAN HAS BEEN PREPARED AND SUBMITTED FOR BUILDING PERMIT AND SO#19 APPROVALS APPROVAL TO SUPPORT A PROPOSED 3,740 SQUARE FOOT BUILDING ADDITION WITH ASSOCIATED SITE PAVING AND DRAINAGE IMPROVEMENTS. I. PROJECT DESCRIPTION THE EXISTING LEGAL DESCRIPTION IS TRACTS A AND B, CORRECTION PLAT OF TRACTS A, B AND C, MUNICIPAL ADDITION NO. 19 FILED 3/08/1994 (94C-70). AS INDICATED BY PANEL 342 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW EXICO, REVISED 09/26/2008, A PORTION OF THE SITE IS LOCATED WITHIN ZONE X PROTCTED FROM THE 1% ANNUAL CHANCE FLOOD HAZARD BY LEVEE, DIKE, OR OTHER TRUCTURE. I. BACKGROUND DOCUMENTS & RESEARCH THE PREPARATION OF THIS PLAN RELIED UPON REVIEW OF CITY OF HYDROLOGY FILE M-14/D007 THAT INCLUDES THE FOLLOWING: • SOUTH SAN JOSE MULTI-PURPOSE CENTER GRADING AND DRAINGE PLAN DATED 12/08/1983. THIS PLAN ADDRESSED THE ORIGINAL BUILDING CONSTRUCTION ON THE PRE-EXISTING PARK SITE. • SOUTH SAN JOSE PARK RENOVATION GRADING AND DRAINAGE PLAN DATED 11/23/1992. THIS PLAN ADDRESSED SITE IMPROVEMENTS INCLUDING THE EXPANSION OF THE SOUTH PARKING LOT. SOUTH SAN JOSE MULTI-PURPOSE CENTER GRADING AND DRAINAGE PLAN DATED 9/11/1995. THIS PLAN ADDRESSED AN ADDITION TO THE WEST SIDE OF THE PRE-EXISTING BUILDING. JACK CANDELARIA COMMUNITY CENTER MULTIPURPOSE ADDITION AND ALTERATIONS GRADING AND DRAINAGE PLAN DATED 9/04/1998. THIS PLAN ADDRESSED AN ADDITION TO THE SOUTHWEST CORNER OF THE PRE-EXISTING BUILDING. ALL OF THE AFOREMENTIONED PLANS ARE CONSISTENT IN THAT THE DRAINAGE OUTFALL FROM THE SITE IS TO EXISTING PUBLIC CITY OF ALBUQUERQUE 72" STORM DRAIN VITH AN OUTFALL 300 FEET SOUTH TO THE SAN JOSE DRAIN AND THAT THE INCREASES IN RUNOFF WERE JUSTIFIED WITHOUT RETENTION DUE TO THE CLOSE PROXIMITY TO THE BOTTOM OF THE SYSTEM WITH NO IMPACT ON THE PEAK. V. EXISTING CONDITIONS THE SITE IS BOUNDED ON THE EAST BY A FORMER ABCWUA RESERVOIR SITE, SINGLE-FAMILY RESIDENCES TO THE SOUTH AND WEST, AND SINGLE-FAMILY RESIDENCES ACROSS THE STREET TO THE NORTH. SAN JOSE AVENUE NE IS A FULLY DEVELOPED PUBLIC STREET WITH CURB AND GUTTER AND A PUBLIC 54 INCH RCP STORM DRAIN. THERE ARE TWO PARALLEL 72" PUBLIC CHITY OF ALBUQUERQUE STROM DRAINS CROSSING THE SOUTHERN PORTION OF THE SITE FROM WEST TO EAST THAT COMBINE TO A SINGLE 72" STORM DRAIN WITHIN THE EXISTING SOUTH PARKING LOT THAT TURNS SOUTH AND RUNS TO THE SAN JOSE DRAIN. THE SITE IS DEVELOPED AND SITE RUNOFF PRIMARILY DRAINS AS SURFACE FLOW TO THE SOUTH AND EAST TO AND EXISTING SINGLE "D" INLET IN THE PARKING THAT THAT S CONNECTED TO THE AFOREMENTIONED 72" STORM DRAIN. V. DEVELOPED CONDITIONS IE PROJECT PRIMARILY CONSISTS OF A 3,740 SF BUILDING ADIDTION AS SHOWN ON SHEET CG102. SITE WORK FOR THIS ADDITION WILL REQUIRE RE-GRADING A PORTION OF THE EXISTING ASPHALTIC CONCRETE PARKING LOT THAT WILL BE REPLACED ENTIRELY DUE TO AGE AND CRACKING, AND TO REPLACE THE CURRENT ANGLED PARKING ITH PERPENDICULAR PARKING AND ALSO PROVIDE IMPROVED EMERGENCY ACCESS AND CIRCULATION. NEW ROOF DRAIN LINES WILL BE EXTENDED FROM THE BUILDING AND WILL CONNECT TO THE EXISTING TYPE "D" INLET IN THE PARKING LOT. A SMALL GRASS AREA ON THE NORTH SIDE WILL CONTINUE TO DRAIN TO SAN JOSE AND A NEW SIDEWALK CULVERT WILL BE CONSTRUCTED UNDER SO#19 PERMIT TO ALLOW THE FLOWS TO PASS UNDER THE PUBLIC SIDEWALK, IMPROVIG THE CURRENT CONDITION WHERE THE RUNOFF FLOWS OVER THE EXISTING SIDEWALK. NEW LANDSCAPED PARKLING LOT AREAS WILL BE ADDED, AND THE MAJORITY OF THE PAVED PARKING LOT AREA WILL FLOW INTO AND THROUGH TWO NEW WATER QUALITY PONDING AREAS IN THE SOUTHERN LANDSCAPED AREAS. VI. CALCULATIONS CALCULATIONS ANALYZING THE EXISTING DEVELOPED CONDITIONS FOR THE 100 YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THE 31,486 SF PORTION OF THE SITE BEING RECONSTRUCTED. THE DPM PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN DPM 6-2(A) HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. ADDITIONALLY, STORMWATER QUALITY CALCULATIONS HAVE BEEN PREPARED TO REFLECT THE INCREASE IN MPERVIOUS AREA ATTRIBUTABLE TO THIS PROJECT. AS DEMONSTRATED BY THE CALCULATIONS, THE PROPOSED PROJECT WILL RESULT IN A NET INCREASE OF 260 CF AND 0.1 CFS FOR THE 100-YEAR, 6-HOUR EVENT. THE NQV FOR THE ADDED IMPERVIOUS AREA IS 45 CF THAT WILL BE OFFSET AND MANAGED BY TWO PONDING AREAS THAT TOTAL 100 CF. II. CONCLUSIONS THIS DRAINAGE PLAN ADDRESSES A BUILDING ADDITION AND RELATED SITE PAVING IMPROVEMENTS THAT WILL RESULT IN A MINIMAL INCREASE IN THE 100-YEAR, 6-HOUR PEAK RATE AND VOLUME OF DISCHARGE. STORMWATER QUALITY VOLUME WILL BE ADDRESSED ON-SITE. THIS PROJECT REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA WITH FREE DISCHARGE ESTABLISHED AND JUSTIFIED BY SEVERAL PREVIOUS

A NEW SIDEWALK CULVERT WILL BE CONSTRUCTED VIA SO#19 PERMIT TO IMPROVE THE EXISTING NORTHERN DISCHARGE TO SAN JOSE AVENUE SE.



1-1/2" ASPHALTIC CONCRETE

1-1/2" ASPHALTIC CONCRETE

EMULSIFIED ASPHALT

COMPACTED @ 95% ASTM D-1557

12" SUBGRADE COMPACTED

@ 95% ASTM D-1557

TACK COAT

TYPICAL ASPHALTIC CONCRETE PAVEMENT SECTION

TYPICAL SINGLE CLEANOUT SECTION

\_\_\_ 24"x6"x6" CONCRETE PAD

- FINISHED GRADE

(fc = 4000 PSI)

SURFACE LIFT (SP-IV)

BASE LIFT (SP-IV)

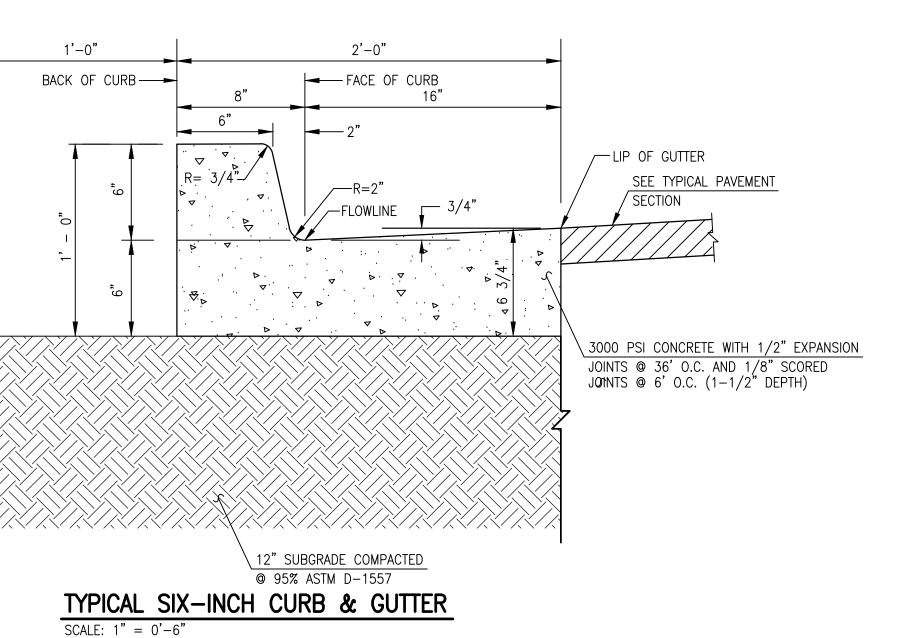
THREADED PLUG —

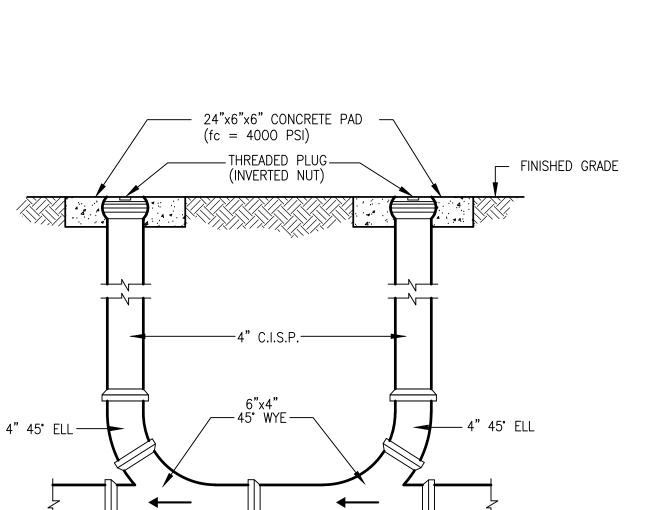
(INVERTED NUT)

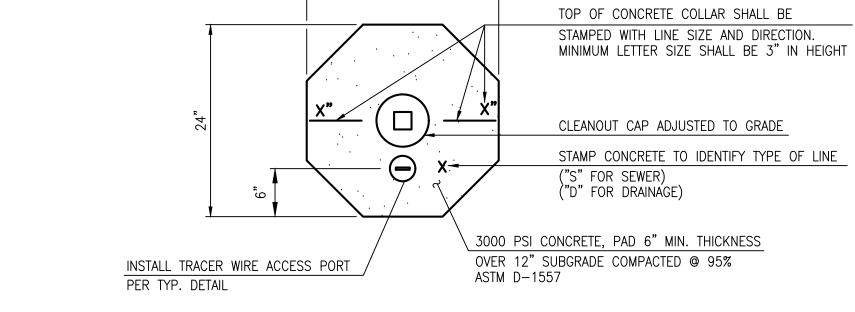
45° WYE -

NOT TO SCALE

1'-0" 2'-0" BACK OF CURB ---FACE OF CURB \_\_LIP\_OF\_GUTTER SEE TYPICAL PAVEMENT -FLOWLINE 6" CRUSHED AGGREGATE BASE COURSE, CLASS II 3000 PSI CONCRETE WITH 1/2" EXPANSION JOINTS @ 36' O.C. AND 1/8" SCORED JOINTS @ 6' O.C. (1-1/2" DEPTH) 12" SUBGRADE COMPACTED @ 95% ASTM D-1557 TYPICAL SIX-INCH CURB & GUTTER 24"x6"x6" CONCRETE PAD



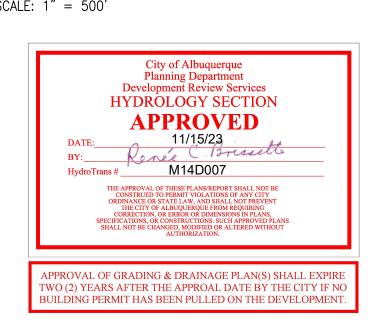




TYPICAL CLEANOUT COLLAR DETAIL SCALE: 1" = 1"

SAN JOSE AVE SE

PANEL 342 of 825 F.I.R.M.



2022.030.2

## HIGH MESA Consulting Group

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109 Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com



DYRON MURPHY ARCHITECTS, P.C.



4505 Montbel Place NE, Albuquerque, New Mexico 87107

# JACK CANDELARIA COMMUNITY CENTER **ADDITION**

400 SAN JOSE AVE, SE ALBUQUERQUE, NEW MEXICO 87102 100% CONSTRUCTION DOCUMENTS

OCTOBER 13, 2023 PROJECT NUMBER PROJ MGR

Sheet Number

2022.030.2 DRAINAGE PLAN,

CALCULATIONS, **SECTIONS AND DETAILS** 

CG101

6

NOT TO SCALE

TYPICAL DOUBLE CLEANOUT SECTION

— 6" SANITARY SEWER LINE

CONSTRUCTION NOTES

CONCERNING CONSTRUCTION SAFETY AND HEALTH.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT

CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD

SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).

THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER

PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXCAVATE AND VERIFY

IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM

INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH

ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN

APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS

ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND

UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC

AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 09/15/2022 AND

ABANDONED-IN-PLAĆE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE

CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE. OR

DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY

MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE,

DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL

CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE

STATUES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL

ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE

WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS

THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS

BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS,

THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS

OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

ALL KNOWN EXISTING UTILITIES ARE SHOWN HEREON FOR REFERENCE AND

ACCOUNTED FOR BY OTHER SHEETS AND OTHER DISCIPLINES, THEY ARE

SHOWN HEREON TO HELP PREVENT INADVERTENT DAMAGE AND INFORM THE

GENERAL CONTRACTOR OF UTILITIES THAT MAY NOT HAVE BEEN OTHERWISE

INFORMATION. ALTHOUGH REMOVALS OF CONFLICTING UTILITIES MAY BE

AN NMSHC BRASS DISK STAMPED "NM361-2". SET IN A CONCRETE POST.

IN THE CENTER OF THE MEDIAN ON BROADWAY BOULEVARD SE, IN FRONT

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE SOUTHEAST

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE NORTHEAST

A 60d NAIL, SET IN CONCRETE JOINT NEAR THE NORTHWEST CORNER OF

A MAG NAIL W/WASHER, SET IN CONCRETE CURB JOINT NEAR THE

OF THE BERNALILLO COUNTY ROAD DEPARTMENT SHOPS.

TEMPORARY BENCHMARK #201 (T.B.M.)

CORNER OF THE PROJECT SITE, AS SHOWN ON SHEET CG102.

TEMPORARY BENCHMARK #202 (T.B.M.)

CORNER OF THE PROJECT SITE, AS SHOWN ON SHEET CG102.

TEMPORARY BENCHMARK #203 (T.B.M.)

TEMPORARY BENCHMARK #204 (T.B.M.)

TRACT B, MUNICIPAL ADDITION 19 (94C-70) AND A PORTION OF THE

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO

2. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A

4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE

5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR

6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN

7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE

8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033

TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT

WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND

REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK

SOUTHWEST CORNER OF THE PROJECT SITE, NOT SHOWN.

WESTERLY PORTION OF TRACT 59-C, MRGCD MAP #44

SPECIAL ORDER 19 ~ "SO-19"

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.

BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

OWNER OF THE PROPERTY BEING SERVED.

AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE

PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE

REFER TO LANDSCAPING PLAN.

PROJECT BENCHMARK

ELEVATION = 4971.19 FEET (NAVD 1988)

ELEVATION = 4945.43 FEET (NAVD 1988)

ELEVATION = 4950.93 FEET (NAVD 1988)

ELEVATION = 4946.45 FEET (NAVD 1988)

ELEVATION = 4943.74 FEET (NAVD 1988)

THE PROJECT SITE, NOT SHOWN.

LEGAL DESCRIPTION:

MEETING PRIOR TO FORMING.

WITHIN CITY RIGHT-OF-WAY.

THE LOCATION OF EXISTING UTILITIES.

ACCOUNTED FOR.

ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED

ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING

MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO

RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER,

AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND

TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT

DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY

REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN

AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL

SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE

CLEANOUT CAP ADJUSTED TO GRADE STAMP CONCRETE TO IDENTIFY TYPE OF LINE ("S" FOR SEWER) ("D" FOR DRAINAGE) 3000 PSI CONCRETE, PAD 6" MIN. THICKNESS OVER 12" SUBGRADE COMPACTED @ 95% ASTM D-1557

(505) 924-3416.

