



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 24, 2001

James Millington, P.E.
Chavez Grieves Consulting Engineers, Inc.
5639 Jefferson NE
Albuquerque, NM 87109

RE: **Grading and Drainage Certification**
Jack Candelaria Community Center
~~(H-14/D018)~~ (400 San Jose Ave SE)
Engineer's Stamp dated 9/4/1998
Engineering Certification dated 1/23/2001

M-14/D007

Dear Mr. Millington:

Based upon the information provided in your Engineers Certification submittal dated 1/23/2001, the above referenced site is approved for Certificate of Occupancy.

Since the original engineer (Joseph L. DeFronzo, P.E.) who stamped the grading & drainage plan approved for building permit is no longer with your company, we accept your engineers certification.

If I can be of further assistance, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Senior Civil Engineer, PWD

C: Vickie Chavez, COA
Teresa Martin, COA

✓ file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 21, 2000

James F. Millington, P.E.
CHAVEZ-GRIEVES
5639 Jefferson St. NE
Albuquerque, NM 87109

RE: CERTIFICATE OF OCCUPANCY FOR JACK CANDELARIA COMM. CTR.
(M-14/D018) - (**DISAPPROVED**)
ENGINEER'S STAMP DATED SEPTEMBER 4, 1998

Dear Mr. Millington:

Based upon the information provided in your submittal dated December 19, 2000, the Engineering Certification for Certificate of Occupancy for the project referred to above has been disapproved.

Your engineers certification which was submitted on December 19, 2000 for the above project was not on the original grading and drainage plan which was approved for building permit (engineers stamp by Joseph L. DeFronzo, P.E. dated Sept. 4, 1998). The engineers certification must be submitted on *this* original grading and drainage plan which was approved for building permit on October 5, 1998.

When the previously approved grading and drainage plan, engineers stamp dated 9/4/1998 (which should include the engineers certification), is resubmitted to the City's Hydrology Division for approval, we will take every measure to expedite this submittal, so that a permanent certificate of occupancy can be issued.

Thank you for your attention to this matter. If you have any questions, please call me at 924-3986.

Sincerely,

Bradley Bingham, P.E.
Hydrology Division

xc: Teresa Martin
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN REVIEW COMMITTEE MEETING

09/17/92

1:30 P.M.

PROJECT: South San Jose Park

PROJECT NO. 4349.90

CONSULTANT: Morrow & Co.

PRESENT: Roger Green, DRC Chairman
- Richard Dourte, Transportation
~~John Curtin, Hydrology~~
Dan Martinez, CIP
- Bob Kane, Water/Wastewater
- Sandy Zuschlag, Parks & Recreation
Susan Alvarez, Leedshill-Herkenhoff
- Jane Thurber, Consultant

Roger

COMMENTS:

1. Marked up plan set provided by Richard Dourte.
2. Hydrology will comment later in response to separate drainage plan submittal.
3. Written comments provided by Sandy Zuschlag.

Schedule a DRC signature session after Code Administration has reviewed backflow prevention and plans are 100% complete. Return all marked up plan sets.

RG:v1(WP+125233)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 27, 1992

Susan Alvarez, P.E.
Leedshill-Herkenhoff, Inc.
500 Copper Ave NW
Albuquerque, N.M. 87103

RE: DRAINAGE REPORT FOR S. SAN JOSE PARK RENOVATION (M-14/D18)
RECEIVED SEPTEMBER 17, 1992 FOR GRADING & PAVING PERMIT APPROVAL

Dear Ms. Alvarez:

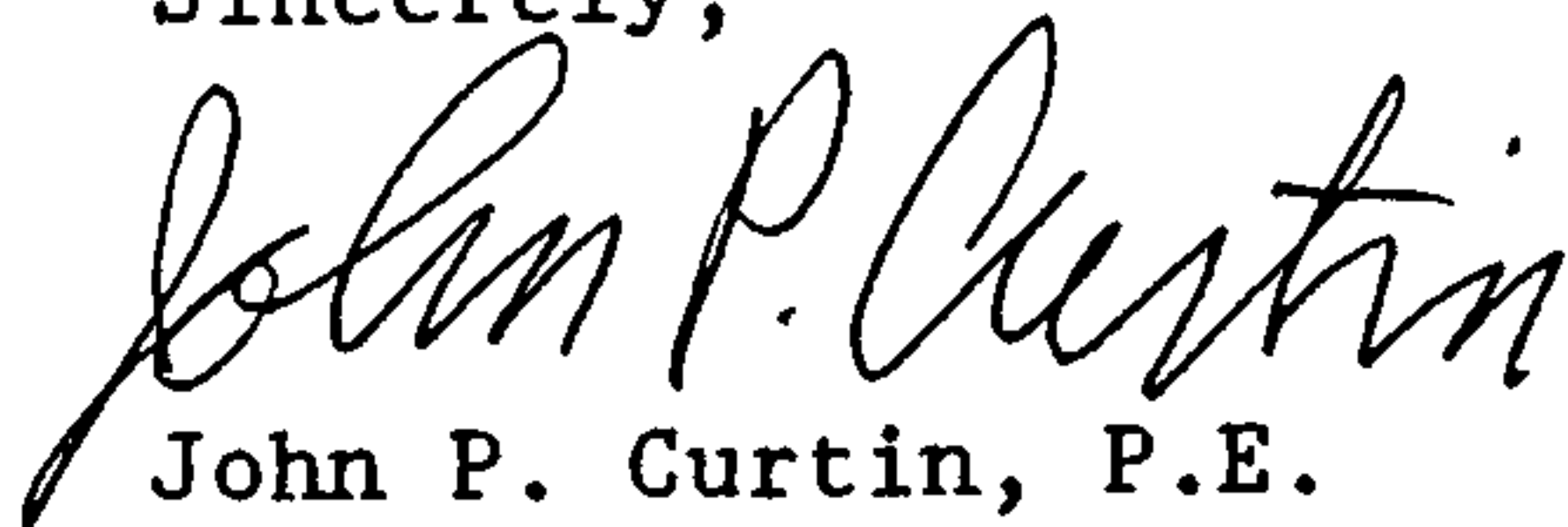
Based on the information included in the submittal referenced above, the following comments must be addressed before City Hydrology can approve the Grading & Paving Permits for this project:

1. The Report & the Plan must be stamped & dated.
2. Show the boundary between Basin 2 and Basin 3 south of the Community Center building.
3. Include Detail sheet in next submittal. Complete cross referencing.

The Drainage & Grading plan must be included in the set of construction document that you submit for Building Permit.

If I can be of further assistance, you may contact me at 768-2727.

Sincerely,


John P. Curtin, P.E.
PWD/Hydrology

xc: Roger Green

WPHYD+3736

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 6, 1993

Susan Alvarez, P.E.
Leedshill-Herkenhoff, Inc.
500 Copper Ave NW
Albuquerque, N.M. 87103

RE: DRAINAGE REPORT FOR S. SAN JOSE PARK RENOVATION [(M-14/D18)]
RECEIVED DECEMBER 17, 1992 FOR GRADING & PAVING PERMIT APPROVAL

Dear Ms. Alvarez:

Based on the information included in the submittal referenced above, City Hydrology approves the Grading & Paving Permits for this project.

The Drainage & Grading plan must be included in the set of construction document that you submit for Building Permit.

If I can be of further assistance, you may contact me at 768-2727.

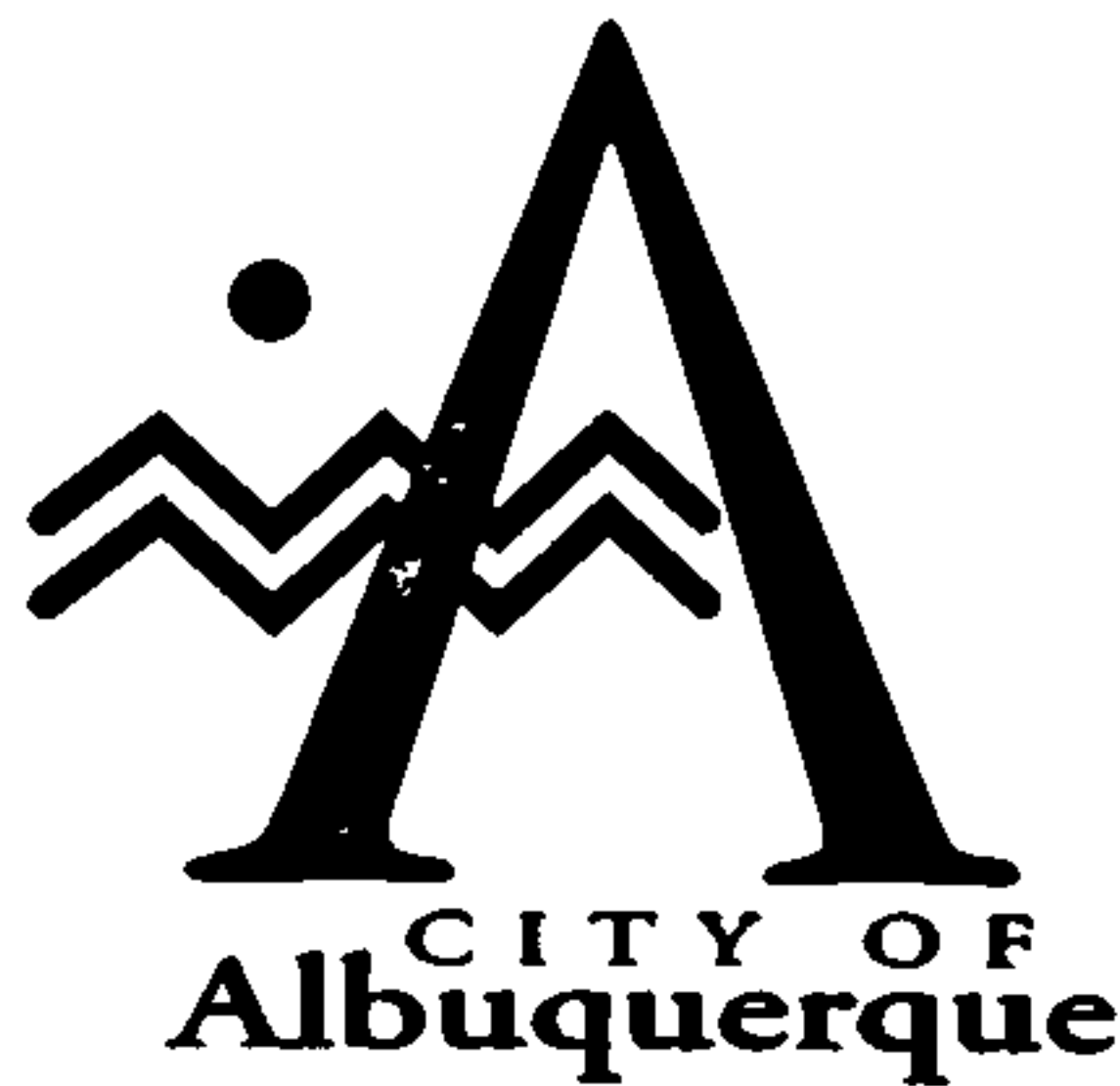
Sincerely,

John P. Curtin
John P. Curtin, P.E.
PWD/Hydrology

xc: Roger Green
Alan Martinez

WPHYD+3736

PUBLIC WORKS DEPARTMENT



October 9, 1996

Martin J. Chávez, Mayor
Joe Kelley
Chavez-Grieves
5639 Jefferson NE
Albuquerque, NM 87109

2067
**RE: SOUTH SAN JOSE MULTI-PURPOSE CENTER (M14-D18). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S
CERTIFICATION DATED SEPTEMBER 18, 1996.**

Dear Mr. Kelley:

Based on the information provided on your September 18, 1996 submittal, please address the following comments:

1. I approved a drawing with an Engineer's stamp date of September 11, 1996. There is not a stamp date on this drawing. How am I to know if it is the exact same drawing I originally approved.
2. The Engineer's Certification must include your stamp (dated and signed).
3. I need an as-built elevation for the new finish floor.
4. Why are you certifying a plan sheet published by Leedshill-Herkenhoff? Do you have permission to do this? I thought this drawing was supplementary information for your project. You can't use another firm/engineer's drawings for your project without their consent.
5. Who did the as-built survey on this project?

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

Lisa Ann Manwill
Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
[File]

Good for You. Albuquerque!





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 21, 1995

Joe Kelley
Chavez-Grieves
5639 Jefferson NE
Albuquerque, NM 87109

**RE: SOUTH SAN JOSE MULTI-PURPOSE CENTER (M14-D18) DRAINAGE
REPORT AND GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT ,
GRADING PERMIT AND PAVING PERMIT APPROVAL. ENGINEER'S STAMP
DATED 9-11-95.**

Dear Mr. Kelley:

Based on the information provided on your September 13, 1995
submittal, the above referenced project is approved for Building
Permit, Grading Permit, and Paving Permit.

Prior to Certificate of Occupancy approval, an Engineer's
Certification for the entire approved site will be required.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



CITY OF
Albuquerque

October 30, 1996

Martin J. Chávez, Mayor

Joe Kelley
Chavez-Grieves
5639 Jefferson NE
Albuquerque, NM 87109


RE: *007* SOUTH SAN JOSE MULTI-PURPOSE CENTER (M14-D18). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.
ENGINEER'S CERTIFICATION DATED SEPTEMBER 18, 1996.

Dear Mr. Kelley:

Based on the information provided on your September 24, 1996
submittal, the above referenced addition is approved for
Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



Author: Greg R. Olson at CABQ-DOWNTOWN
Date: 12/2/98 7:42 PM
Priority: Normal
Receipt Requested
TO: Pete S. Pena
CC: Greg R. Olson, John P. Murray, Keith A. Reed
Subject: Jack Candelaria Community Center - DRC

12/3/98
gmo

Pete,

This project is scheduled for DRC Signature session on Thursday, 12/3. Keith's pervious review set had comments on Sheets C-1 & P-1, and also asked for Irrigation Plans to review and Fire Marshal's statement that Fire Protection to the site is adequate to cover the addition. The submittal package I received only has Sheets C-1 thru C-3. The remaining items will need to be addressed before we can sign.

Thanks,
Greg

PS - The following item may have already been addressed in coordination with Storm Drainage review, but it seemed significant enough to warrant me asking....

The previous building plans show the structure addition encroaching on the trench prism for 3 72" diameter storm drain lines running west to east on the south side of the site. Is there any dedicated easement for those lines, for which an encroachment must be approved? The detail on sheet S-1 shows over-excavation and 4'-6" engineered fill for all perimeter footings. Does this depth and width get close to the existing storm sewer pipes? It just seems unusual to place a building so close to a buried utility.

two(2) not(3)