CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



June 11, 2025

Graeme Means, PE High Mesa, a Bowman Company 6200 Jefferson St. NE, Suite 110 Albuquerque, NM 87109

RE: Jack Candelaria Community Center

400 San Jose Ave. SE

Permanent C.O. - Accepted

Engineer's Certification Date: 06/10/2025

Engineer's Stamp Date: 10/30/2023

Hydrology File: M14D007 Case # HYDR-2025-00209

PO Box 1293 Dear Mr. Means:

Based on the Certification received 06/11/2025 and site visit on 06/11/2025, this letter serves as an approval from Hydrology Section for a Permanent Certificate of Occupancy to be issued by

Albuquerque the Building and Safety Division.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E. Senior Engineer, Hydrology

anth Mar

Planning Department, Development Review Services



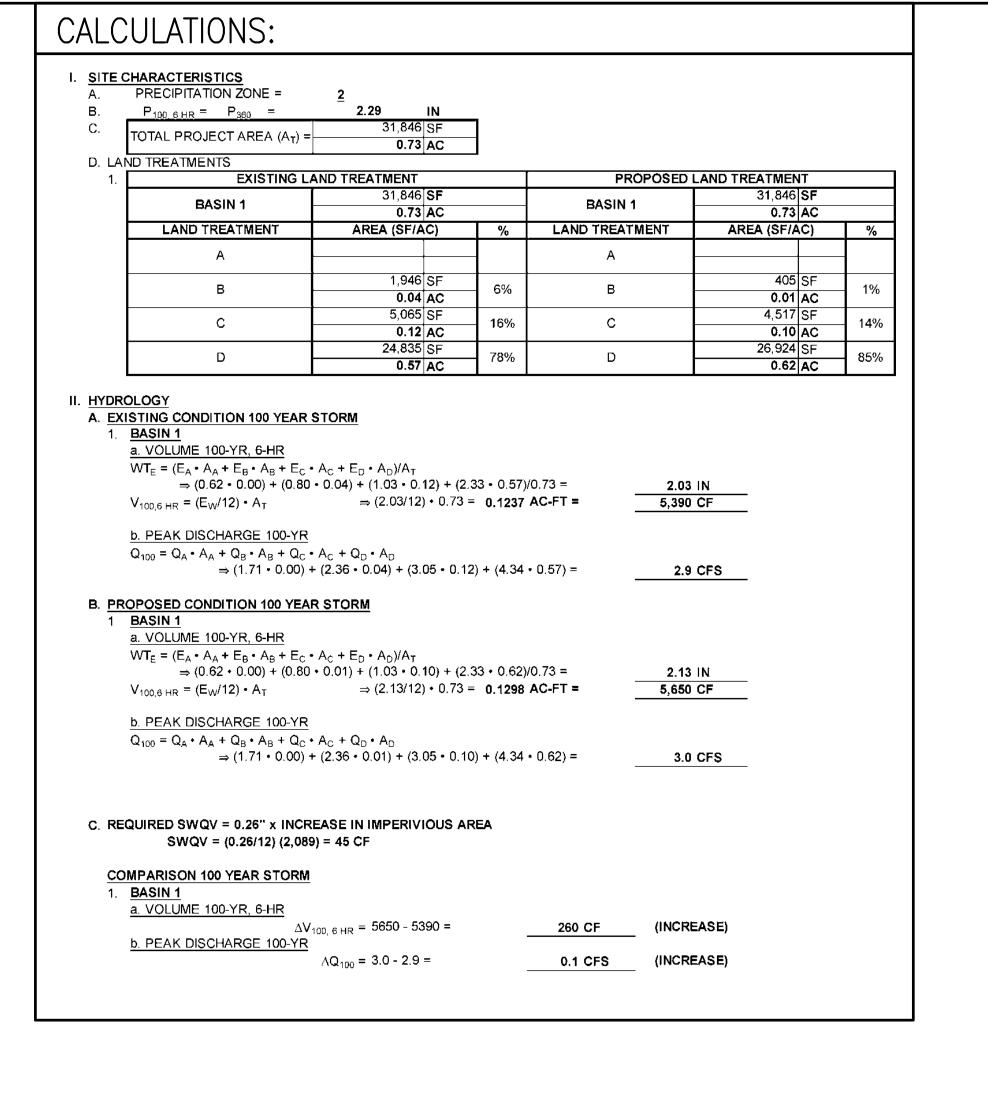
City of Albuquerque

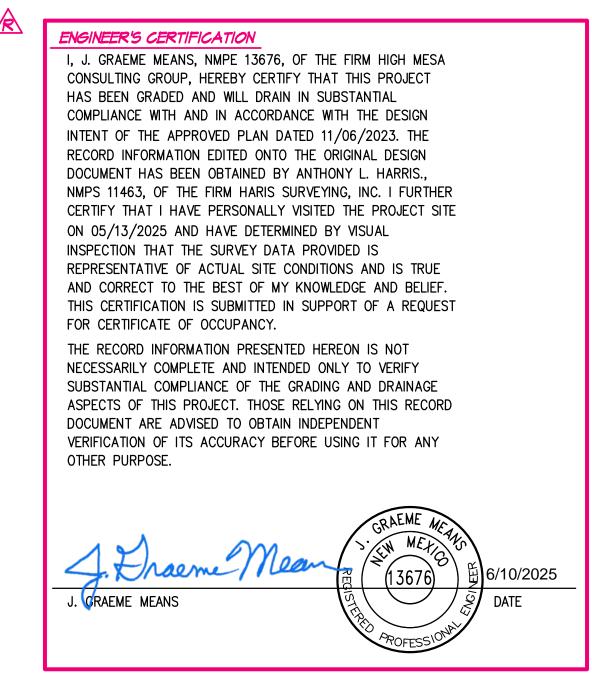
Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

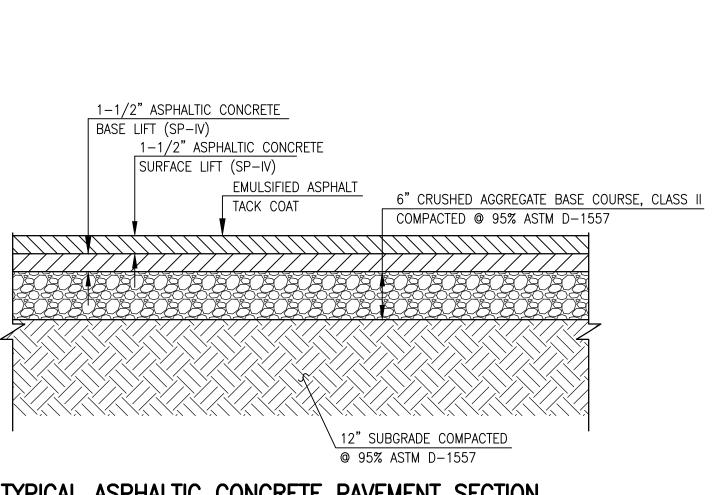
Project Title: Jack Candelaria Community Cer	nter Addition Hydrology File # M14/D007		
Legal Description: TRACTS A AND B, CORRECTION PLAT OF TRACTS A, B AND C, MUNICIPAL ADDITION NO. 19 FILED 3/08/1994 (94C-70 City Address, UPC, OR Parcel: 400 San Jose Ave SE			
		Applicant/Agent: High Mesa, a Bowman Comp	pany Contact: J. Graeme Means
Address: 6200 Jefferson St. NE, Suite 110			
Email: gmeans@highmesacg.com			
Applicant/Owner: COA c/o Dyron Murphy Archi	tects _{Contact} : Oscar Tovar		
Address: 4505 Montbel Place NE, Abq, NM 87107 Phone: 505-830-0203			
Email: otovar@dm-architects.com			
(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)			
TYPE OF DEVELOPMENT: PLAT (#of lots)	RESIDENCE		
DFT SITE	ADMIN SITE		
	<u> </u>		
RE-SUBMITTAL: YES NO DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE Check all that apply under Both the Type of Submittal and the Type of Approval Sought:			
		TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
		✓ ENGINEER/ARCHITECT CERTIFICATION	BUILDING PERMIT APPROVAL
		PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DFT APPROVAL		
GRADING & DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL		
DRAINAGE REPORT	FINAL PLAT APPROVAL		
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT DFT		
CLOMR/LOMR	APPROVAL		
TRAFFIC CIRCULATION LAYOUT (TCL)	SIA/RELEASE OF FINANCIAL GUARANTEE		
ADMINISTRATIVE	FOUNDATION PERMIT APPROVAL		
TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL	GRADING PERMIT APPROVAL		
TRAFFIC IMPACT STUDY (TIS)	SO-19 APPROVAL		
STREET LIGHT LAYOUT	PAVING PERMIT APPROVAL		
OTHER (SPECIFY)	GRADING PAD CERTIFICATION		
o mex (or bon 1)	WORK ORDER APPROVAL		
	CLOMR/LOMR		
	OTHER (SPECIFY)		
DATE SUBMITTED: <u>6/10/2025</u>			

DRAINAGE PLAN . INTRODUCTION AND EXECUTIVE SUMMARY THIS SITE IS LOCATED IN ALBUQUERQUE'S SAN JOSE NEIGHBORHOOD ON THE SOUTH SIDE OF SAN JOSE AVENUE SE BETWEEN BROADWAY BLVD SE AND WILLIAMS STREET E. THE SITE IS A PUBLIC CITY OF ALBUQUERQUE COMMUNITY CENTER. THIS PLAN HAS BEEN PREPARED AND SUBMITTED FOR BUILDING PERMIT AND SO#19 APPROVALS APPROVAL TO SUPPORT A PROPOSED 3,740 SQUARE FOOT BUILDING ADDITION WITH ASSOCIATED SITE PAVING AND DRAINAGE IMPROVEMENTS. I. PROJECT DESCRIPTION THE EXISTING LEGAL DESCRIPTION IS TRACTS A AND B, CORRECTION PLAT OF TRACTS A, B AND C, MUNICIPAL ADDITION NO. 19 FILED 3/08/1994 (94C-70). AS INDICATED BY PANEL 342 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW EXICO, REVISED 09/26/2008, A PORTION OF THE SITE IS LOCATED WITHIN ZONE X PROTCTED FROM THE 1% ANNUAL CHANCE FLOOD HAZARD BY LEVEE, DIKE, OR OTHER TRUCTURE. I. BACKGROUND DOCUMENTS & RESEARCH THE PREPARATION OF THIS PLAN RELIED UPON REVIEW OF CITY OF HYDROLOGY FILE M-14/D007 THAT INCLUDES THE FOLLOWING: • SOUTH SAN JOSE MULTI-PURPOSE CENTER GRADING AND DRAINGE PLAN DATED 12/08/1983. THIS PLAN ADDRESSED THE ORIGINAL BUILDING CONSTRUCTION ON THE PRE-EXISTING PARK SITE. • SOUTH SAN JOSE PARK RENOVATION GRADING AND DRAINAGE PLAN DATED 11/23/1992. THIS PLAN ADDRESSED SITE IMPROVEMENTS INCLUDING THE EXPANSION OF THE SOUTH PARKING LOT. • SOUTH SAN JOSE MULTI-PURPOSE CENTER GRADING AND DRAINAGE PLAN DATED 9/11/1995. THIS PLAN ADDRESSED AN ADDITION TO THE WEST SIDE OF THE PRE-EXISTING BUILDING. JACK CANDELARIA COMMUNITY CENTER MULTIPURPOSE ADDITION AND ALTERATIONS GRADING AND DRAINAGE PLAN DATED 9/04/1998. THIS PLAN ADDRESSED AN ADDITION TO THE SOUTHWEST CORNER OF THE PRE-EXISTING BUILDING. ALL OF THE AFOREMENTIONED PLANS ARE CONSISTENT IN THAT THE DRAINAGE OUTFALL FROM THE SITE IS TO EXISTING PUBLIC CITY OF ALBUQUERQUE 72" STORM DRAIN WITH AN OUTFALL 300 FEET SOUTH TO THE SAN JOSE DRAIN AND THAT THE INCREASES IN RUNOFF WERE JUSTIFIED WITHOUT RETENTION DUE TO THE CLOSE PROXIMITY TO THE BOTTOM OF THE SYSTEM WITH NO IMPACT ON THE PEAK. V. EXISTING CONDITIONS THE SITE IS BOUNDED ON THE EAST BY A FORMER ABCWUA RESERVOIR SITE, SINGLE-FAMILY RESIDENCES TO THE SOUTH AND WEST, AND SINGLE-FAMILY RESIDENCES ACROSS THE STREET TO THE NORTH. SAN JOSE AVENUE NE IS A FULLY DEVELOPED PUBLIC STREET WITH CURB AND GUTTER AND A PUBLIC 54 INCH RCP STORM DRAIN. THERE ARE TWO PARALLEL 72" PUBLIC CHITY OF ALBUQUERQUE STROM DRAINS CROSSING THE SOUTHERN PORTION OF THE SITE FROM WEST TO EAST THAT COMBINE TO A SINGLE 72" STORM DRAIN WITHIN THE EXISTING SOUTH PARKING LOT THAT TURNS SOUTH AND RUNS TO THE SAN JOSE DRAIN. THE SITE IS DEVELOPED AND SITE RUNOFF PRIMARILY DRAINS AS SURFACE FLOW TO THE SOUTH AND EAST TO AND EXISTING SINGLE "D" INLET IN THE PARKING THAT THAT S CONNECTED TO THE AFOREMENTIONED 72" STORM DRAIN. V. DEVELOPED CONDITIONS IE PROJECT PRIMARILY CONSISTS OF A 3,740 SF BUILDING ADIDTION AS SHOWN ON SHEET CG102. SITE WORK FOR THIS ADDITION WILL REQUIRE RE-GRADING A PORTION OF THE EXISTING ASPHALTIC CONCRETE PARKING LOT THAT WILL BE REPLACED ENTIRELY DUE TO AGE AND CRACKING, AND TO REPLACE THE CURRENT ANGLED PARKING ITH PERPENDICULAR PARKING AND ALSO PROVIDE IMPROVED EMERGENCY ACCESS AND CIRCULATION. NEW ROOF DRAIN LINES WILL BE EXTENDED FROM THE BUILDING AND WILL CONNECT TO THE EXISTING TYPE "D" INLET IN THE PARKING LOT. A SMALL GRASS AREA ON THE NORTH SIDE WILL CONTINUE TO DRAIN TO SAN JOSE AND A NEW SIDEWALK CULVERT WILL BE CONSTRUCTED UNDER SO#19 PERMIT TO ALLOW THE FLOWS TO PASS UNDER THE PUBLIC SIDEWALK, IMPROVIG THE CURRENT CONDITION WHERE THE RUNOFF FLOWS OVER THE EXISTING SIDEWALK. NEW LANDSCAPED PARKLING LOT AREAS WILL BE ADDED, AND THE MAJORITY OF THE PAVED PARKING LOT AREA WILL FLOW INTO AND THROUGH TWO NEW WATER QUALITY PONDING AREAS IN THE SOUTHERN LANDSCAPED AREAS. VI. CALCULATIONS CALCULATIONS ANALYZING THE EXISTING DEVELOPED CONDITIONS FOR THE 100 YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THE 31,486 SF PORTION OF THE SITE BEING RECONSTRUCTED. THE DPM PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN DPM 6-2(A) HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. ADDITIONALLY. STORMWATER QUALITY CALCULATIONS HAVE BEEN PREPARED TO REFLECT THE INCREASE IN MPERVIOUS AREA ATTRIBUTABLE TO THIS PROJECT. AS DEMONSTRATED BY THE CALCULATIONS, THE PROPOSED PROJECT WILL RESULT IN A NET INCREASE OF 260 CF AND 0.1 CFS FOR THE 100-YEAR, 6-HOUR EVENT. THE NQV FOR THE ADDED IMPERVIOUS AREA IS 45 CF THAT WILL BE OFFSET AND MANAGED BY TWO PONDING AREAS THAT TOTAL 100 CF. II. CONCLUSIONS THIS DRAINAGE PLAN ADDRESSES A BUILDING ADDITION AND RELATED SITE PAVING IMPROVEMENTS THAT WILL RESULT IN A MINIMAL INCREASE IN THE 100-YEAR, 6-HOUR PEAK RATE AND VOLUME OF DISCHARGE. STORMWATER QUALITY VOLUME WILL BE ADDRESSED ON-SITE. THIS PROJECT REPRESENTS A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA WITH FREE DISCHARGE ESTABLISHED AND JUSTIFIED BY SEVERAL PREVIOUS A NEW SIDEWALK CULVERT WILL BE CONSTRUCTED VIA SO#19 PERMIT TO IMPROVE THE EXISTING NORTHERN DISCHARGE TO SAN JOSE AVENUE SE.









TYPICAL ASPHALTIC CONCRETE PAVEMENT SECTION

___ 24"x6"x6" CONCRETE PAD

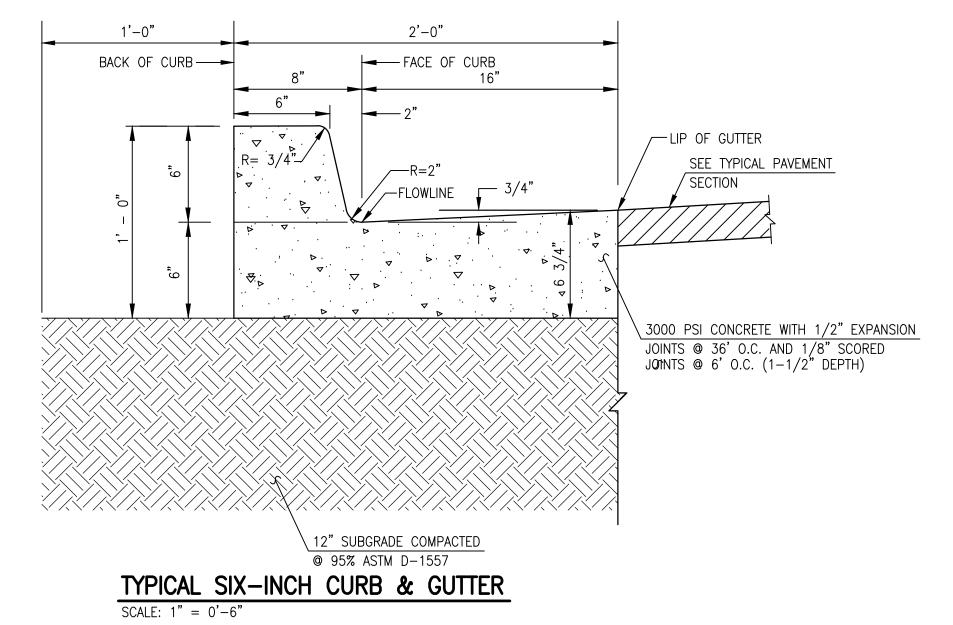
- FINISHED GRADE

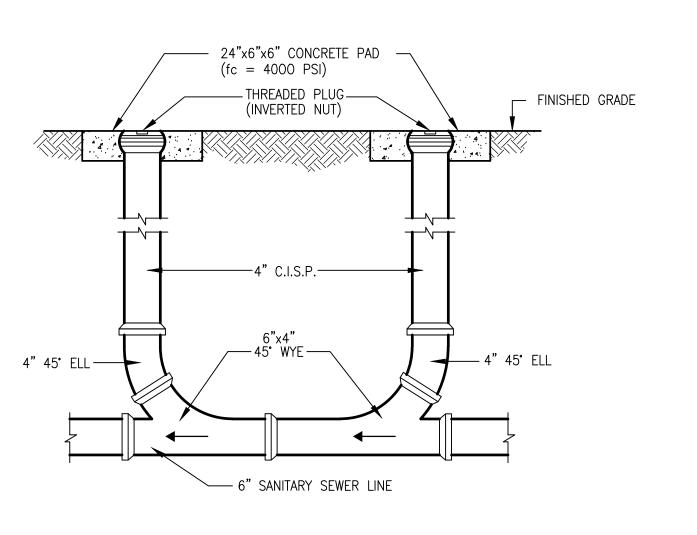
(fc = 4000 PSI)

THREADED PLUG —

(INVERTED NUT)

45° WYE -





TYPICAL SINGLE CLEANOUT SECTION NOT TO SCALE



TYPICAL CLEANOUT COLLAR DETAIL SCALE: 1" = 1"

PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 09/15/2022 AND UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLAĆE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE. OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED

CONSTRUCTION NOTES

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT

CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD

SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).

SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE

WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING. ALL KNOWN EXISTING UTILITIES ARE SHOWN HEREON FOR REFERENCE AND INFORMATION. ALTHOUGH REMOVALS OF CONFLICTING UTILITIES MAY BE ACCOUNTED FOR BY OTHER SHEETS AND OTHER DISCIPLINES, THEY ARE SHOWN HEREON TO HELP PREVENT INADVERTENT DAMAGE AND INFORM THE GENERAL CONTRACTOR OF UTILITIES THAT MAY NOT HAVE BEEN OTHERWISE ACCOUNTED FOR.

PROJECT BENCHMARK

AN NMSHC BRASS DISK STAMPED "NM361-2". SET IN A CONCRETE POST. IN THE CENTER OF THE MEDIAN ON BROADWAY BOULEVARD SE. IN FRONT OF THE BERNALILLO COUNTY ROAD DEPARTMENT SHOPS. ELEVATION = 4971.19 FEET (NAVD 1988)

TEMPORARY BENCHMARK #201 (T.B.M.) A MAG NAIL W/WASHER. SET IN ASPHALT PAVEMENT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON SHEET CG102. ELEVATION = 4945.43 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.) A MAG NAIL W/WASHER. SET IN ASPHALT PAVEMENT NEAR THE NORTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON SHEET CG102. ELEVATION = 4950.93 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.) A 60d NAIL, SET IN CONCRETE JOINT NEAR THE NORTHWEST CORNER OF THE PROJECT SITE, NOT SHOWN. ELEVATION = 4946.45 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.) A MAG NAIL W/WASHER, SET IN CONCRETE CURB JOINT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, NOT SHOWN.

LEGAL DESCRIPTION:

ELEVATION = 4943.74 FEET (NAVD 1988)

TRACT B, MUNICIPAL ADDITION 19 (94C-70) AND A PORTION OF THE WESTERLY PORTION OF TRACT 59-C, MRGCD MAP #44

SPECIAL ORDER 19 ~ "SO-19"

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.

2. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING. 3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK

WITHIN CITY RIGHT-OF-WAY. 4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE

WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.

6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN

BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. 7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED. 8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND

BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT

TOP OF CONCRETE COLLAR SHALL BE

CLEANOUT CAP ADJUSTED TO GRADE

("S" FOR SEWER) ("D" FOR DRAINAGE)

3000 PSI CONCRETE, PAD 6" MIN. THICKNESS

OVER 12" SUBGRADE COMPACTED @ 95% ASTM D-1557

STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT

STAMP CONCRETE TO IDENTIFY TYPE OF LINE

(505) 924-3416.

INSTALL TRACER WIRE ACCESS PORT PER TYP. DETAIL

4505 Montbel Place NE, Albuquerque, New Mexico 87107

COMMUNITY CENTER

ALBUQUERQUE, NEW MEXICO 87102 100% CONSTRUCTION DOCUMENTS

PROJECT NUMBER

2022.030.2

CALCULATIONS, **SECTIONS AND**

Sheet Number

Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com DYRON MURPHY ARCHITECTS, P.C.

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109

R 6/25 G.M. ENGINEER'S CERTIFICATION FOR C.C

MESA Consulting Group

SAN JOSE AVE SE

F.I.R.M.

ND. DATE BY

HIGH

M - 14

PANEL 342 of 825

2022.030.2

JACK CANDELARIA

ADDITION

400 SAN JOSE AVE, SE

JULY 24, 2024 PROJ MGR

DRAINAGE PLAN,

DETAILS

CG101

