

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 11, 2025

Graeme Means, PE
High Mesa, a Bowman Company
6200 Jefferson St. NE, Suite 110
Albuquerque, NM 87109

RE: Jack Candelaria Community Center
400 San Jose Ave. SE
Permanent C.O. - Accepted
Engineer's Certification Date: 06/10/2025
Engineer's Stamp Date: 10/30/2023
Hydrology File: M14D007
Case # HYDR-2025-00209

PO Box 1293

Dear Mr. Means:

Albuquerque

Based on the Certification received 06/11/2025 and site visit on 06/11/2025, this letter serves as an approval from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

NM 87103

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Jack Candelaria Community Center Addition Hydrology File # M14/D007

Legal Description: TRACTS A AND B, CORRECTION PLAT OF TRACTS A, B AND C, MUNICIPAL ADDITION NO. 19 FILED 3/08/1994 (94C-70)

City Address, UPC, OR Parcel: 400 San Jose Ave SE

Applicant/Agent: High Mesa, a Bowman Company Contact: J. Graeme Means

Address: 6200 Jefferson St. NE, Suite 110 Phone: 505-328-9064

Email: gmeans@highmesacg.com

Applicant/Owner: COA c/o Dyron Murphy Architects Contact: Oscar Tovar

Address: 4505 Montbel Place NE, Abq, NM 87107 Phone: 505-830-0203

Email: otovar@dm-architects.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☐ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

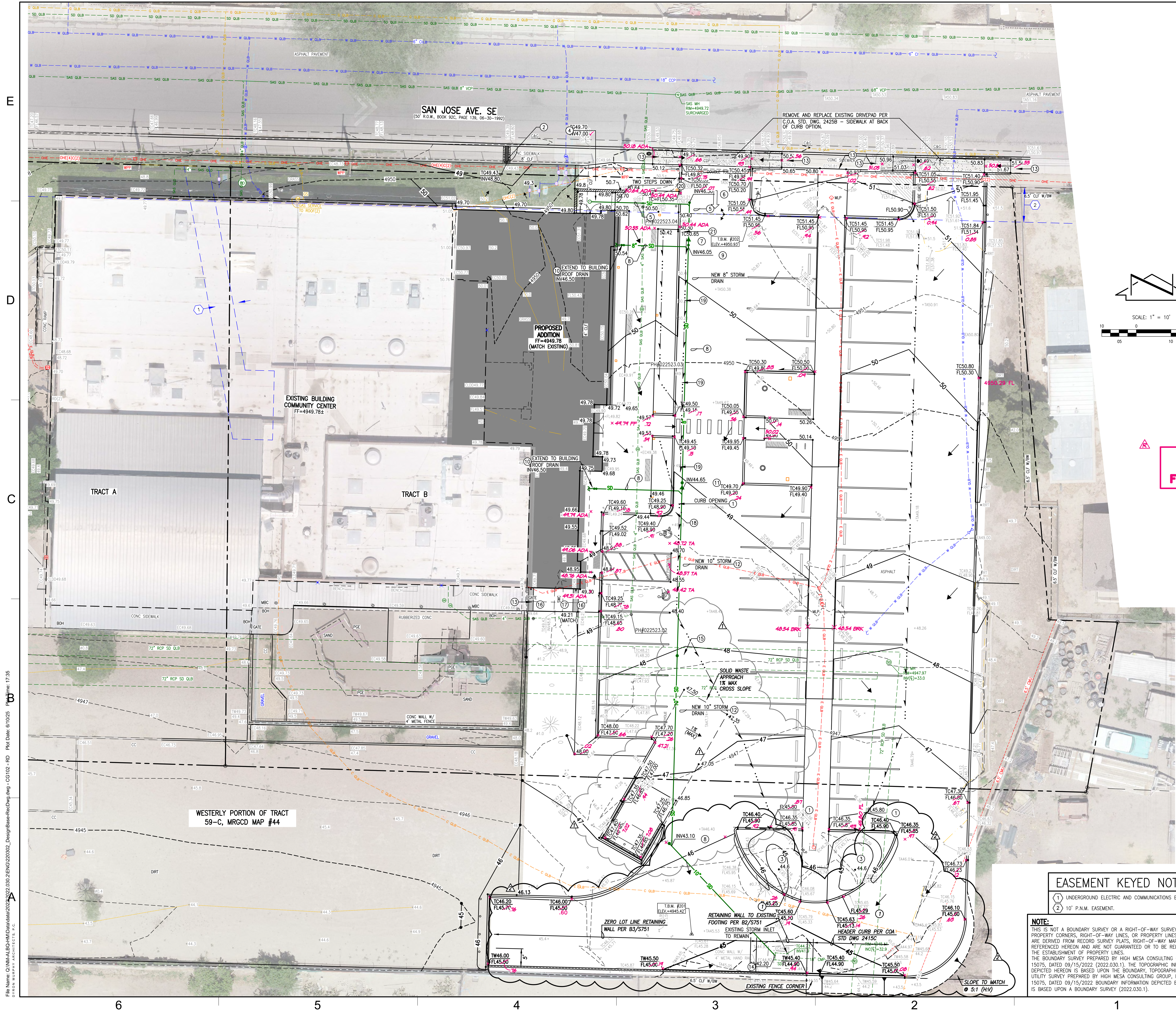
TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 6/10/2025



GRADING AND DRAINAGE KEYED NOTES:

1. CONSTRUCT 2 FT CURB OPENING.
2. CONSTRUCT 24" SIDEWALK CULVERT PER C.O.A. STANDARD, DRAWING 2236 - SEE SHEET CG101 FOR 50-19 NOTES AND REQUIREMENTS.
3. STORM WATER QUALITY RETENTION AREA. VOLUME = 500CF EACH.
4. INSTALL AREA DRAIN WITH HEEL=PROOF GRATE, ZURN F01 OR APPROVED SUBSTITUTE.
5. INSTALL 4" PVC DRAIN LINE.
6. INSTALL 4" COMBINATION WYE/BEND WITH SINGLE CLEANOUT TO GRADE WITH CONCRETE COLLAR.
7. INSTALL 4"x8" ECCENTRIC REDUCER.
8. INSTALL 8" HDPE DRAIN LINE.
9. INSTALL 8" WYE AND SINGLE CLEANOUT TO GRADE WITH CONCRETE PAD.
10. INSTALL DOUBLE CLEANOUT TO GRADE WITH CONCRETE PAD. SEE PLUMBING PLANS FOR CONTINUATION.
11. INSTALL ONE 8"x10" ECCENTRIC REDUCER (NORTH) AND SINGLE CLEANOUT TO GRADE WITH CONCRETE PAD AND ONE 10"x10"x8" WYE WITH 8" BRANCH TO THE WEST.
12. INSTALL 10" HDPE DRAIN LINE.
13. MATCH EXISTING GRADE.
14. CONNECT TO EXISTING STORM INLET. CORE DRILL OPENING FOR NEW CONNECTION AND GROUT AROUND CONNECTION.
15. INSTALL SINGLE CLEANOUT TO GRADE WITH CONCRETE PAD.
16. CONSTRUCT 12" SIDEWALK CULVERT PER C.O.A. STD DWG 2236. EXTEND ROOF DRAINAGE DOWNSPOUT THROUGH PLATE (2 LOCATIONS).
17. REMOVE AND DISPOSE OF EXISTING SIDEWALK CULVERT AND REPLACE WITH NEW CONCRETE SIDEWALK PAVEMENT.
18. TRANSITION FROM 4" TO 6" CURB HEIGHT.
19. 4" CURB AND GUTTER ALONG WEST SIDE OF DRIVE AISLE.
20. TRANSITION FROM 6" CURB TO FLUSH CURB AT SIDEWALK OPENING.
21. TRANSITION FROM FLUSH CURB AT SIDEWALK OPENING TO 4" CURB.

SUBSURFACE UTILITY LOCATION TABLE:

SEE SHEET 'CU-101'

RECORD DRAWING LEGEND

- CONSTRUCT RECORD INFORMATION (VERIFIED BY ENGINEER)
- AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
- 36" 42" RECORD INFORMATION FROM AS-BUILT SURVEY
- +25.2 RECORD INFORMATION FROM AS-BUILT SURVEY
- 28.98' RECORD INFORMATION FROM AS-BUILT SURVEY

RECORD DRAWING FOR CERTIFICATION, SEE SHEET CG-101

NO.	DATE	BY	REVISIONS
1	11/23	G.M.	TRASH ENCLOSURE
2	7/24	G.M.	SOUTH CURB REVISION
3	6/25	G.M.	ENGINEER'S CERTIFICATION FOR C.O.

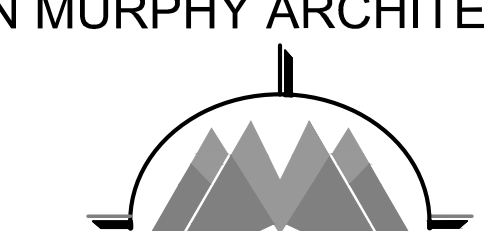
2022.030.2

HIGH MESA Consulting Group

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Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesagroup.com



DYRON MURPHY ARCHITECTS, P.C.



4505 Montbel Place NE, Albuquerque, New Mexico 87107

JACK CANDELARIA COMMUNITY CENTER ADDITION

400 SAN JOSE AVE, SE
ALBUQUERQUE, NEW MEXICO 87102
100% CONSTRUCTION DOCUMENTS
JULY 24, 2024

PROJECT NUMBER	DRAWN BY	PROJ MGR
2022.030.2	J.Y.R.	G.M.

GRADING PLAN

Sheet Title	Sheet Number	of

CG102

EASEMENT KEYED NOTES:

1. UNDERGROUND ELECTRIC AND COMMUNICATIONS EASEMENT
2. 10' P.N.M. EASEMENT.

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, N.M.P.S. 15075, DATED 09/15/2022 (2022.030.1), THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE BOUNDARY SURVEY INFORMATION. UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, N.M.P.S. NO. 15075, DATED 09/15/2022 BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY (2022.030.1).