

To: Billy J. Goolsby Speed Letter® From: Jeff Mortensen 42571
Tom Mann

Subject: M 14-D8

-No 9 & 10 FOLD

MESSAGE

- 1- Areas adjacent to building that are not paved will be landscaped and will therefore control erosion
- 2- Project will NOT be built in phases.
- 3- Vacation document attached.
- 4- plat vacating lot lines attached

Date 6/29/84 Signed Jeffrey Goolsby

REPLY

RECEIVED
JUL 02 1984
RECEIVED
HYDROLOGY SECTION

-No 9 FOLD

No 10 FOLD

Date

Signed

Speed Letter®

40571

From

Billy J. Goolsby

To

Jeff Mortensen
Tom Mann

Subject

M 14- D8

NO 92

ULD

MESSAGE

- 1- Areas adjacent to building that are not paved will be landscaped and will therefore costed more
- 2- Project will NOT be built in phases
- 3- Vacation document attached
- 4- plot vacating lot lines attached

Date

6/29/84

Signed

Jeffrey S. Tit

REPLY

NO 10

NO 11 FOLD

Date

Signed

Wilson Jones

GRAY ME-PO 144-902 3-PART,
C-383, PRINTED IN U.S.A.

RECIPIENT—RETAIN WHITE COPY, RETURN PINK COPY.

TURN OVER FOR USE WITH WINDOW ENVELOPE



FILL IN NAME AND ADDRESS HERE
FOR RETURN IN WINDOW ENVELOPE

—FOLD

—FOLD

PROJECT TITLE WATSON INC. TYPE OF SUBMITTAL RESUBMITTAL
 ZONE ATLAS PAGE NO. M 14 CITY ADDRESS Wheeler SE

LEGAL DESCRIPTION _____

ENGINEERING FIRM TOM MANN & ASSOC. CONTACT JEFFREY G. MORTENSEN

ADDRESS 811 DALLAS NE PHONE 255-5611

OWNER Same

CONTACT _____

ADDRESS _____

PHONE _____

ARCHITECT Same

CONTACT _____

ADDRESS _____

PHONE _____

SURVEYOR TOM MANN

CONTACT J.G. MORTENSEN

ADDRESS _____

PHONE _____

CONTRACTOR Same

CONTACT _____

ADDRESS _____

PHONE _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

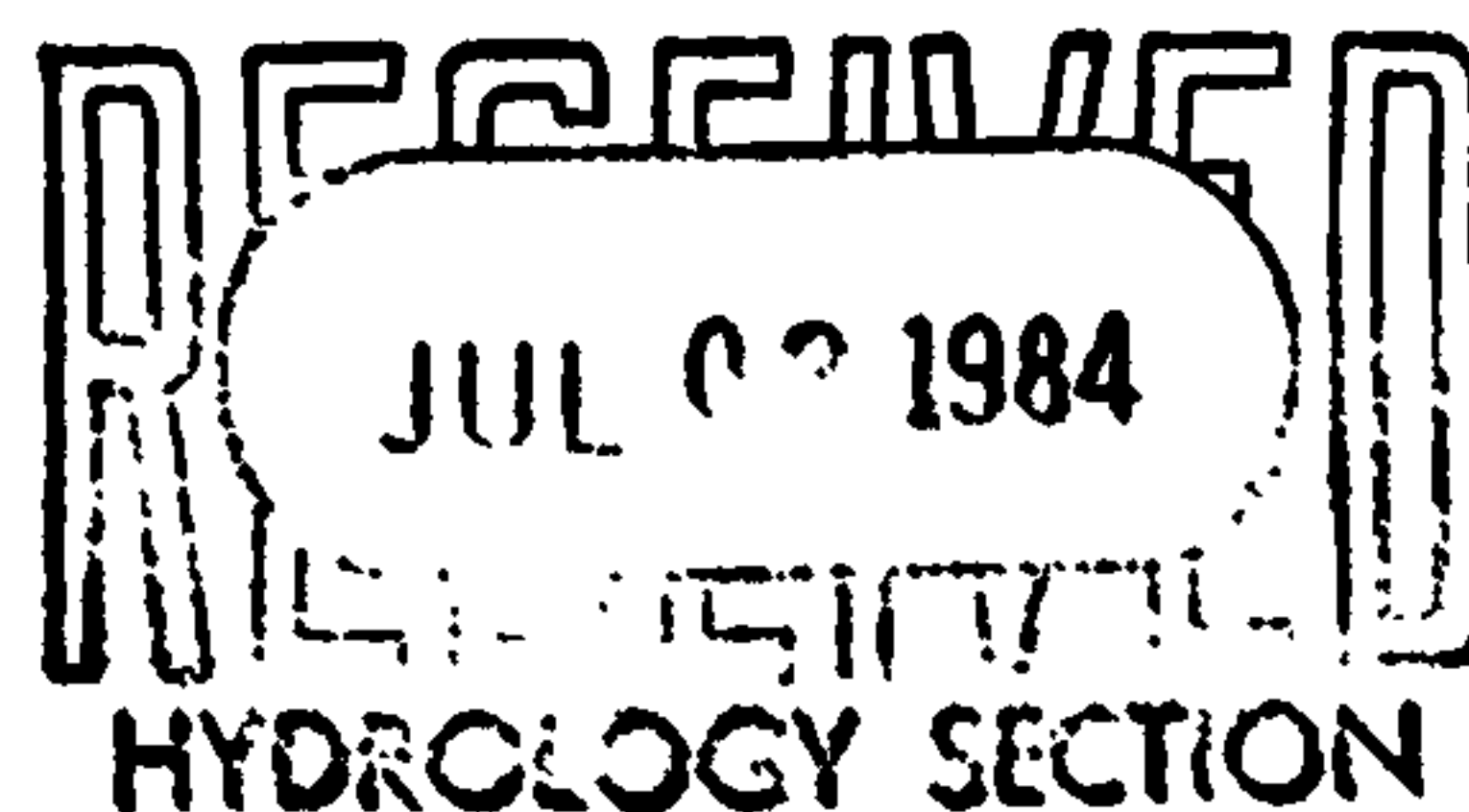
☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 7/2/84

BY: J.G. MORTENSEN

use this plan for inspection



OFFICIAL NOTICE

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION
P.O. BOX 1293, ALBUQUERQUE, NEW MEXICO 87103

Broadway Development Company
520 Wheeler, SE
Albuquerque, NM

REF: V-84-26

Gentlemen:

At the May 1, 1984, Development Review Board meeting, the above request was approved subject to and based on the following Findings:

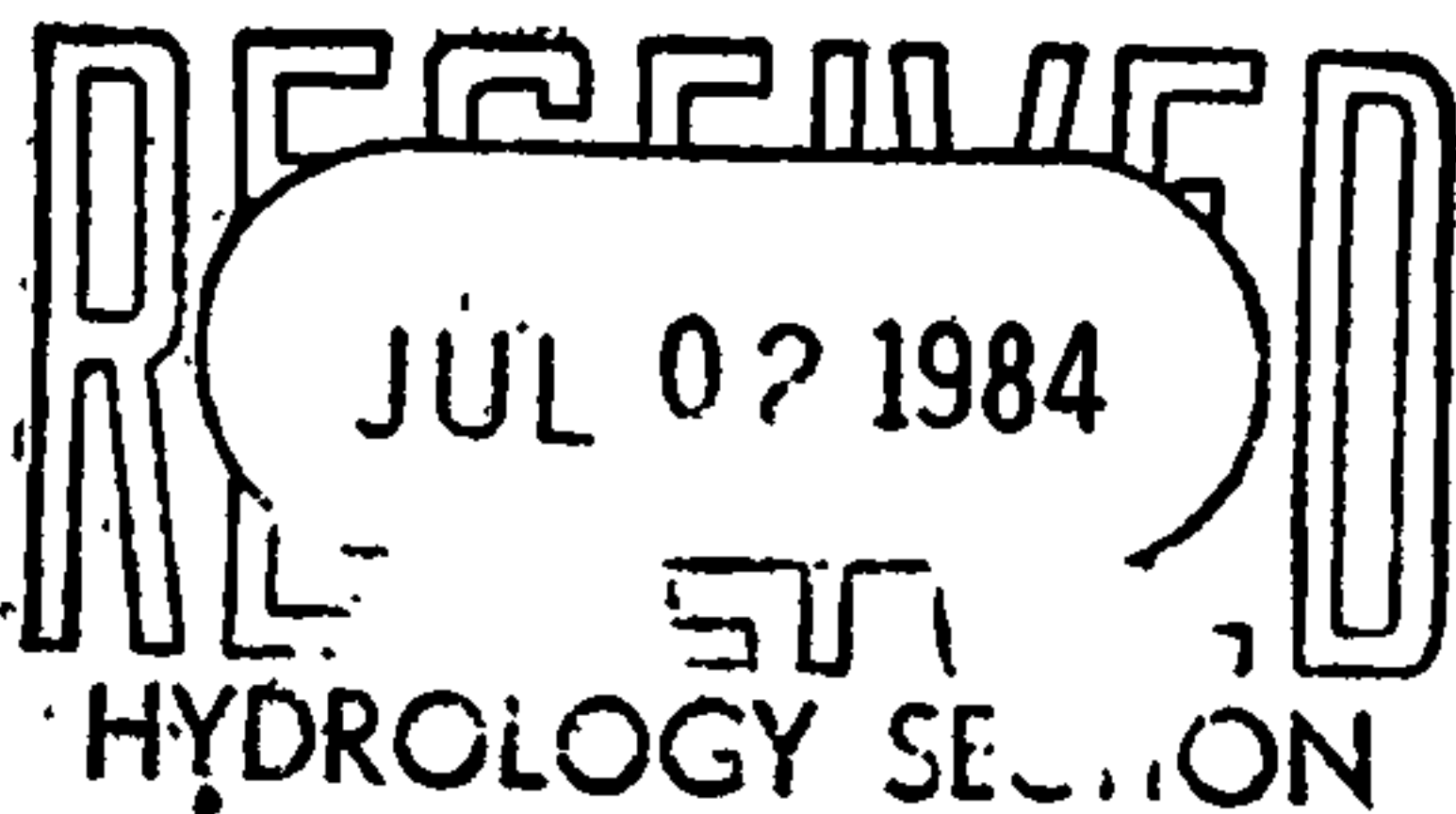
Findings:

- ✓ 1. The vacation is approved based on the evidence that there is not a need for a public right-of-way.
- * 2. Retention of existing easements are required.
- ✓ 3. Agreeable language must be developed by the applicant and the representative of Mr. O'Leary, owner of 711 Wheeler, S.E., that can be placed on the plat. OUT
- * 4. A cul-de-sac must be provided at the west end of the subject property.
- * 5. A plat incorporating the vacated area and eliminating lot lines must be approved by the Board within ninety (90) days from the date of the hearing otherwise the vacation will be null and void. Concurrence from C.H. Taylor, owner of Lot 4 and a portion of Lot 5, Block 3, must be obtained.
- * 6. Disposition of the vacated property is through the City Property Management Division.

If you wish to appeal this decision, you must do so by May 16, 1984 in the manner described below. A nonrefundable fee of \$40 is required at the time the appeal is filed.

Appeal to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form to the Planning Division within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for file the appeal. Such appeal shall be heard within 60 days of its filing.

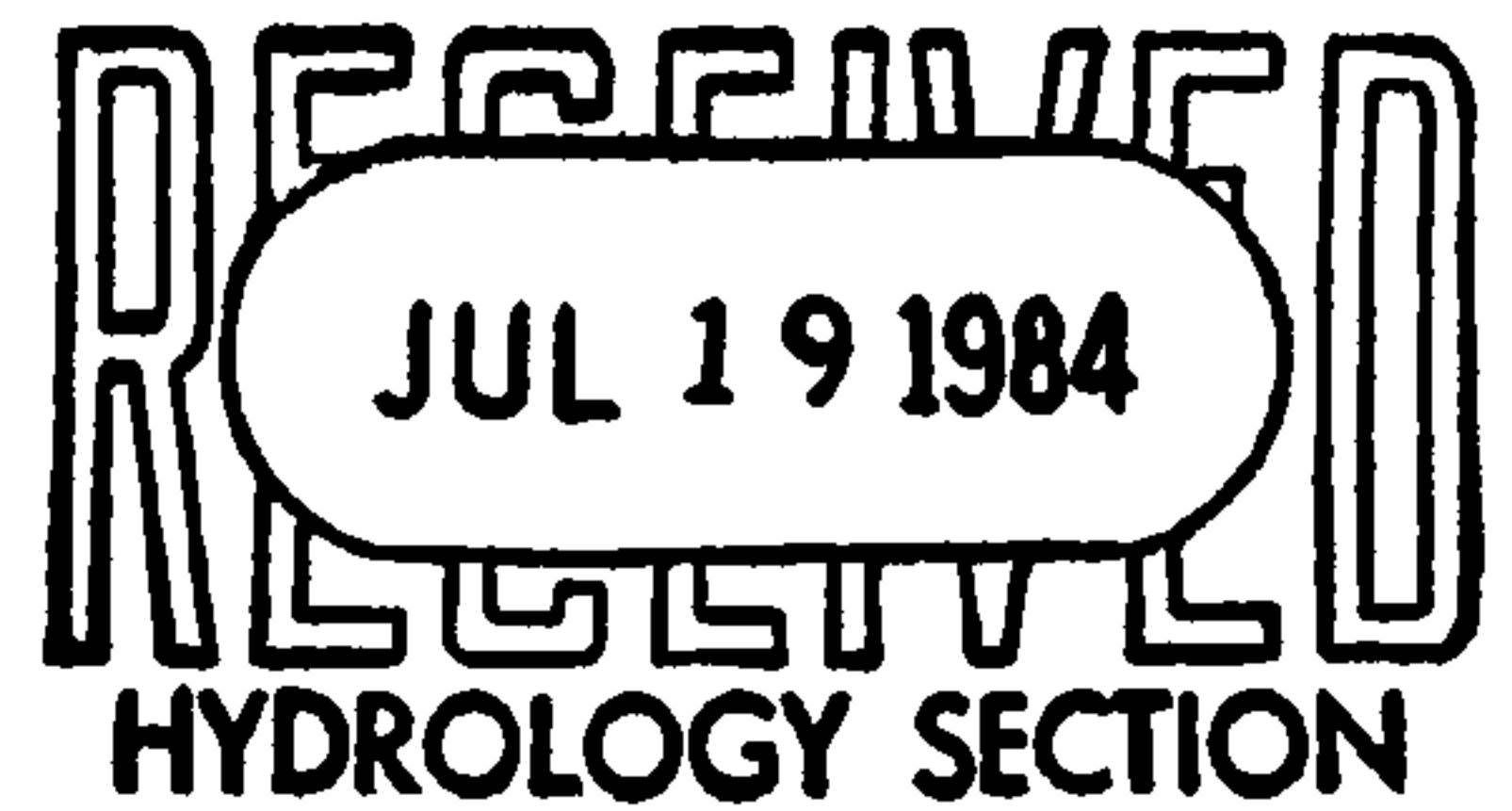
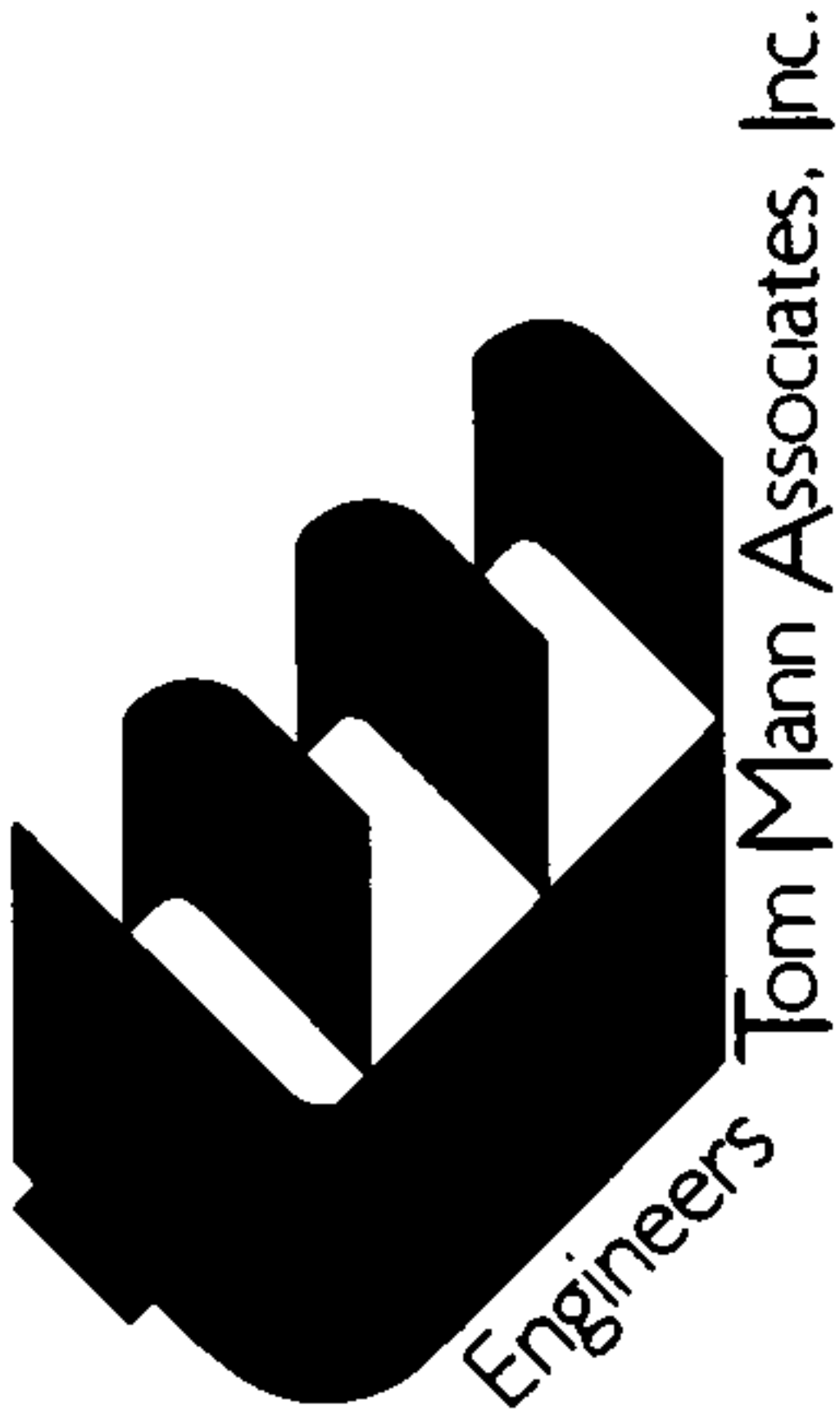
You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the referenced application(s).



Sincerely,

Gina Rodarte

Gina Rodarte
Board Secretary



M1408

40571
July 18, 1984

Mr. Bernie Montoya
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Waterman Inc. Grading and Drainage Plan

Dear Bernie:

In response to our telephone conversation of July 16, 1984, I have revisited the site of the subject project and offer the following observations:

1. Broadway S.E. drains to the south at the intersection with Wheeler.
2. There is a battery of existing catch basins on each side of Broadway just north of Wheeler which served to remove runoff from the street.
3. Broadway has an east to west cross slope such that runoff discharged from Wheeler to Broadway will cross Broadway to the west then drain in a southerly direction.
4. There is an existing water block in Broadway between Wheeler and Gibson such that the contributing basin which contributes overland flow to Broadway at the intersection with Wheeler is small.
5. That runoff which flows in Broadway south from Wheeler drains partly to San Jose and partly to Bethel. Each of these streets have storm drain systems which collect the runoff in the street. These streets also have curb and gutter on each side and are fully improved.

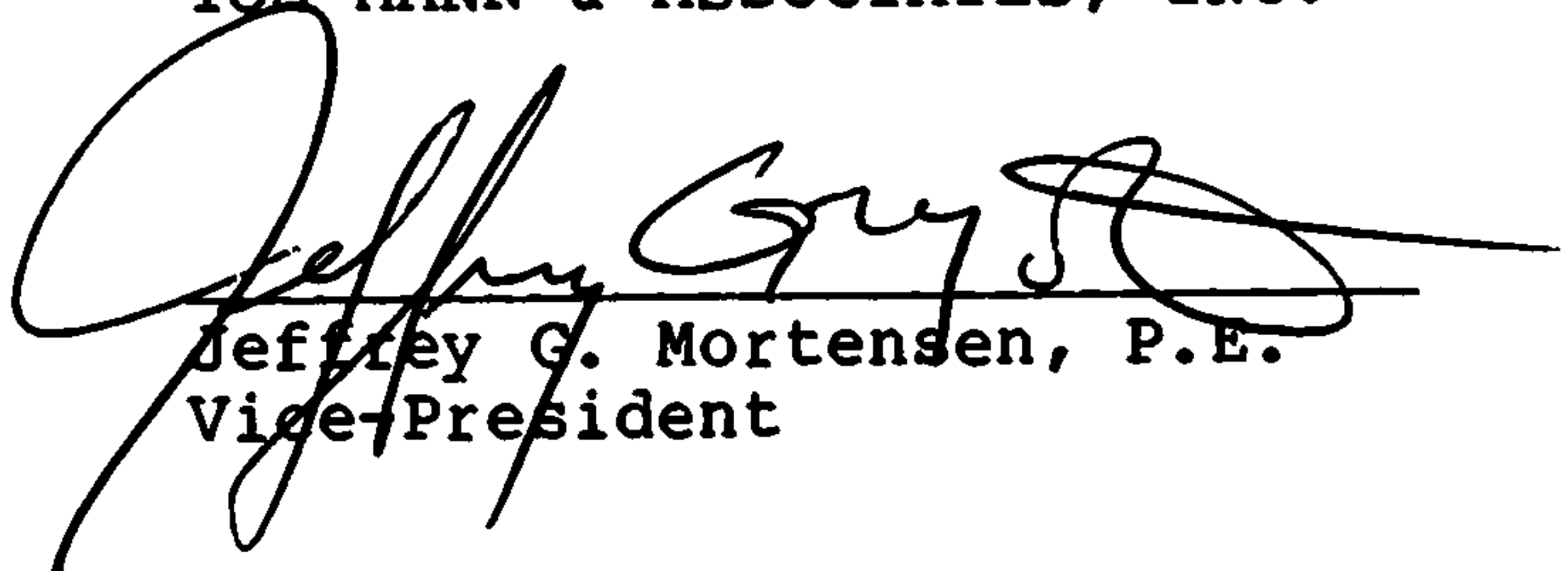
I have talked with Mr. Greg Olson regarding the provision of street grades for this site. Mr. Olson recalls this meeting and the rational as to why several of the DRC members felt that street grades were not appropriate for this project. Mr. Olson is in the process of looking back through Ms. Celia Tomlinson's files to find the minutes from that meeting. If those minutes are found and Mr. Olson provides me with a copy of them, I will provide you with a copy.

The information presented above addresses your comments concerning the subject project. Hopefully this will provide you with sufficient information to release the building permit. If street grades do become an issue, they can be made a condition for occupancy. Lastly, we are about to undertake a plat which will show that portion of Wheeler Avenue S.E. vacated by the DRB as well as eliminate further lot lines in this area. As I have stated before, Mr. Waterman acquired quite a few parcels of land in this area which he will plan to develop at a later date. Street grades, if necessary, would be more appropriate in conjunction with that future development than now because the platting would exist by which a cul-de-sac could be built at the east end of Wheeler which is the west property line of Mr. Waterman's property.

If you have any further questions or comments concerning this information, please do not hesitate to call.

Sincerely,

TOM MANN & ASSOCIATES, INC.



Jeffrey G. Mortensen, P.E.
Vice-President

JGM:kl



FILE COPY

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

August 30, 1984

Mr. Jeffrey Mortensen
Tom Mann & Associates
811 Dallas, N.E.
Albuquerque, New Mexico 87110

RE: WATERMAN INC. (M14-D8) RECEIVED JULY 19, 1984

Dear Jeff:

First of all, let me apologize for the delay in reviewing your revised drainage plan. A logging error caused the update to be misplaced. Based on the information provided on your letter dated July 18, 1984, the above referenced drainage plan is approved. Confirmation from Greg Olson on the issue of street grades will need to be supplied to our office before final approval is granted by Hydrology after completion of project.

If you have any questions or comments, please feel free to call me at 766-7644.

Sincerely yours,

Billy J. Goolsby P.E.
City/County Flood Plain Administrator

BJG:BJM/bm

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 24, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: ENGINEER'S CERTIFICATION FOR WATERMAN, INC. & DRAINAGE
PLAN FOR LANDS OF BROADWAY DEVELOPMENT COMPANY (M-14/D8A)
ENGINEER'S STAMP DATED AUGUST 5, 1989 AND CERTIFICATION
STATEMENT DATED AUGUST 5, 1989

Dear Mr. Mortensen:

Based on the information provided on your submittal dated August 8, 1989, Certification for the above referenced site is acceptable. Also, the drainage plan for final plat approval is also acceptable.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1162)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

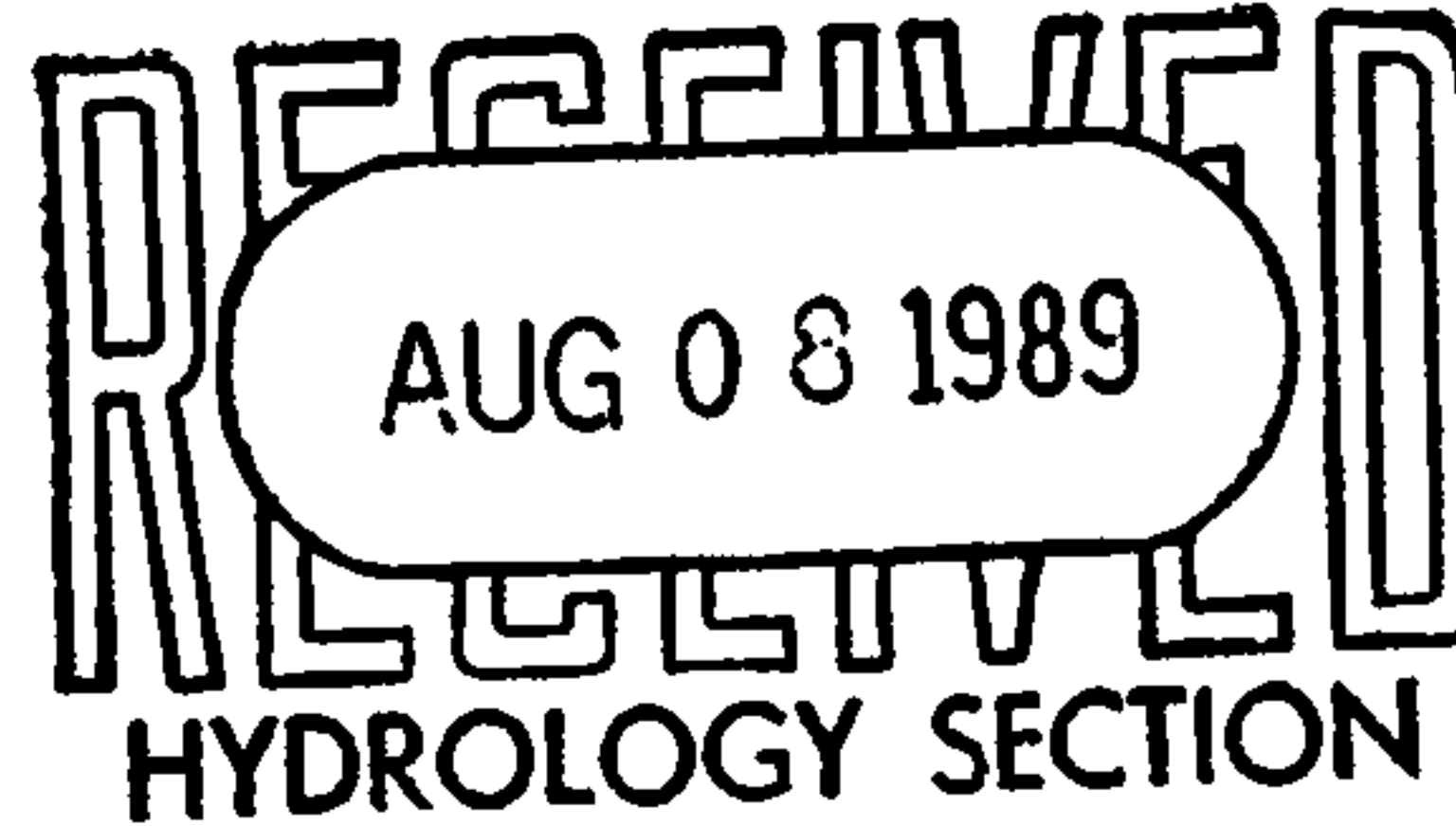


JEFF MORTENSEN & ASSOCIATES, INC. □ ENGINEERS □ 811 DALLAS N.E. □ ALBUQUERQUE □ NEW MEXICO 87110 □ (505) 265-5611

40579

August 7, 1989

Mr. Bernie Montoya
Hydrology Section
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103



Re: Drainage Plan for Lands of Broadway Development Company
(M-14/D8A)

Dear Bernie:

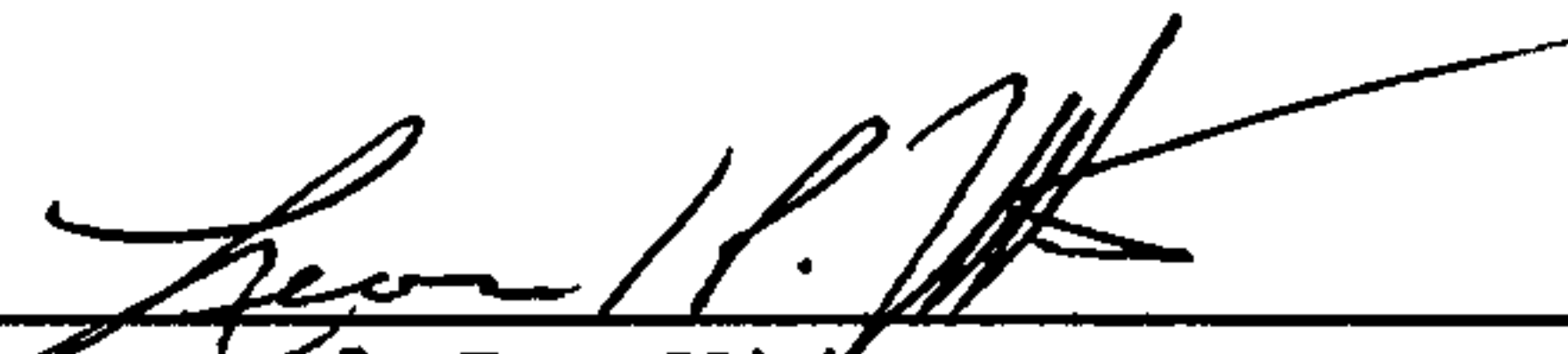
I have received your comments on the above subject project and have addressed them as follows:

1. Curb and gutter for the proposed cul-de-sac will be mountable roll type. This will allow traffic to enter onto the adjoining tracts and will also eliminate the need for drivepads.
2. Based on a site visit, the curb has been constructed along the edge of the pavement. Attached is the Drainage Certification update.

If you should have any questions or comments concerning this submittal, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.



Leonard P. Utter
Staff Engineer

LPU:dj

Enclosure

DRAINAGE INFORMATION SHEET

D8A

PROJECT TITLE: LANDS OF BROADWAY DEVELOPMENT COMPANY / ZONE ATLAS / DRAINAGE FILE # M14/H15

LEGAL DESCRIPTION: TRACTS A-1-A, A-1-B & A-1-C LANDS OF BROADWAY DEVELOPMENT COMPANY

CITY ADDRESS: 520 WHEELER AVE. S.E.

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

OWNER: WATERMAN INC. CONTACT: TED WATERMAN

ADDRESS: 520 WHEELER AVE. SE. PHONE: 842-8981

ARCHITECT: _____ CONTACT: OWNER

ADDRESS: _____ PHONE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

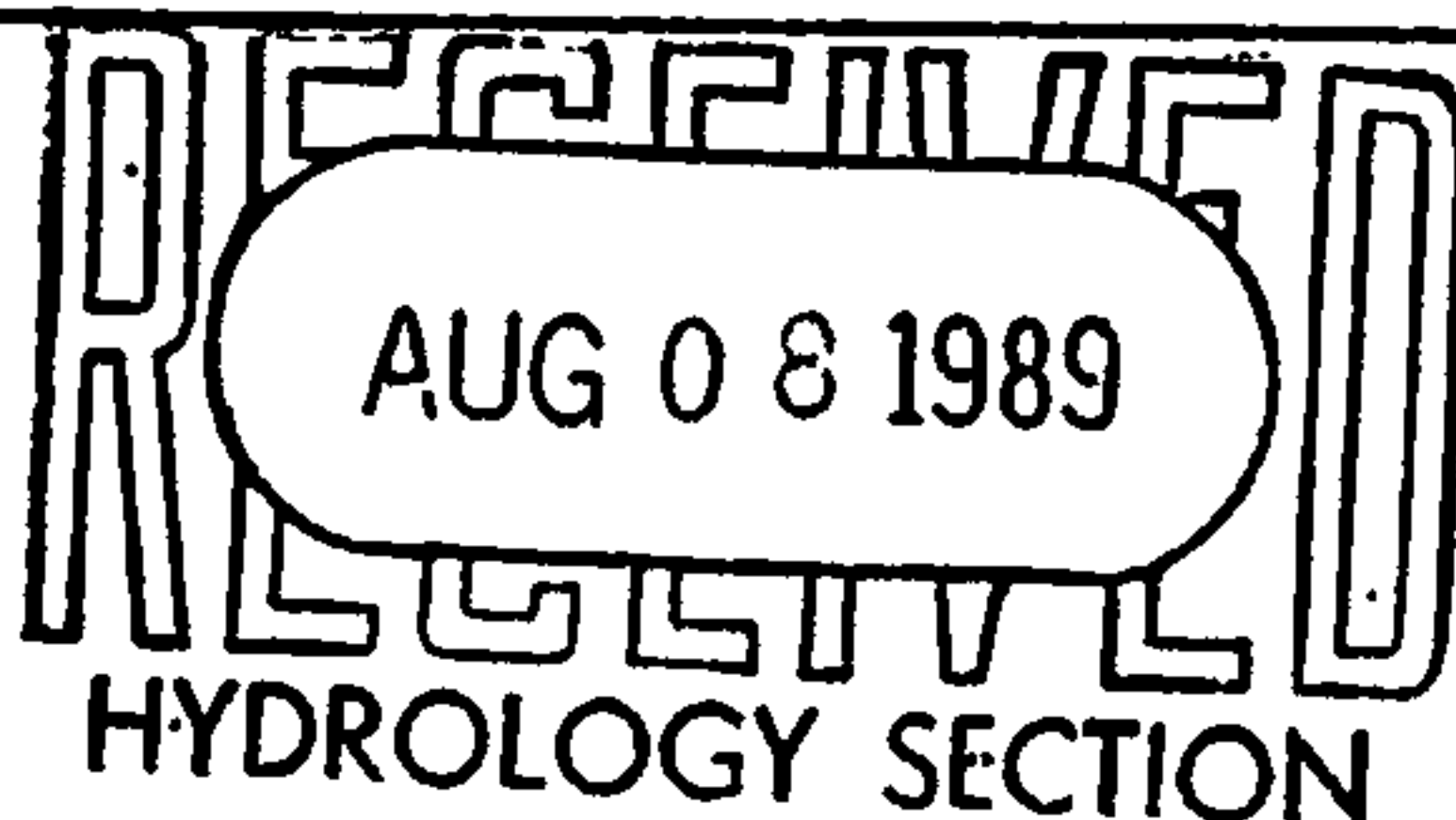
CONTRACTOR: _____ CONTACT: OWNER

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☒ NO



DRB NO. _____

EPC NO. _____

PROJECT NO. _____

COPY OF CONFERENCE
RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION
UPDATE

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER REVISIONS / UPDATE (SPECIFY)

DATE SUBMITTED: 08-07-89

BY: [Signature]

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

RAY R. BACA
DEPUTY CAO
PUBLIC SAFETY

July 27, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR LANDS OF BROADWAY DEVELOPMENT COMPANY
(M-14/D8A) RECEIVED JULY 18, 1989

Dear Mr. Mortensen:

Based on the information provided on your submittal of July 18, 1989, listed are certain items of concern, which must be addressed prior to approval.

1. How will the traffic from Tract A-1-C and the other adjoining tracts exit onto the proposed cul-de-sac? Your submittal indicates no drive pad into the cul-de-sac.
2. Please advise your clients that there is an outstanding Certificate of Occupancy matter that still exists.
3. On April 26, 1988, your request for Certificate of Occupancy was denied because the site was not in compliance with the approved drainage plan.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1162)

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M14-D8 DATE: 9/14/90
EPC NO.: _____ DRB NO.: _____ ZONE: _____
SUBJECT: Brownsey Devel
STREET ADDRESS: _____
LEGAL DESCRIPTION: Tract A-1, Lands of Brownsey Devel Co.

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN X BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER

ATTENDANCE: WHO REPRESENTING
JEFF MONTGOMERY _____
FRED J. AGUIRRE _____

FINDINGS:
An approved drainage plan is required for
building permit approval. Controlling discharge
is required for this development. The discharge
rate (Q) will be limited to historic. In
addition ~~the~~ you will need to demonstrate
that the flows from this development enter
the S.D. system (72/54) in Brownsey.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature] SIGNED: [Signature]
TITLE: _____ TITLE: _____
DATE: 9/14/90 DATE: 09-14-90

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 24, 1986

Occupant
520 Wheeler Avenue, SE
Albuquerque, New Mexico 87102

A review of our records indicates that this office has never given a final drainage approval at 520 Wheeler Avenue, SE. Further, I have noted that the building is being occupied without a Certificate of Occupancy, which is contrary to Section 308 of the City's Uniform Administrative Code.

In order to provide fair, effective enforcement of the City's Drainage Ordinance, it is imperative that one of my staff members makes a final inspection of all buildings prior to occupancy. Please make immediate arrangements with this office to allow for an inspection of the above mentioned property.

If arrangements for an inspection and approval of this site are not completed within 30 days from the above date, this office will take the necessary legal steps to invoke one or more of the penalties listed under Section 205 of the Uniform Administrative Code.

If you have any questions concerning this matter, do not hesitate to call me at 764-1679.

Cordially,

Richard L. Duran
Drainage Inspector

RLD/osj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

Address 520 Wheeler S.E. Engr/Arch 2-65-5611

Plans Approved ~~10~~ 10-17-84 Cond. _____

Comments: M14-D8

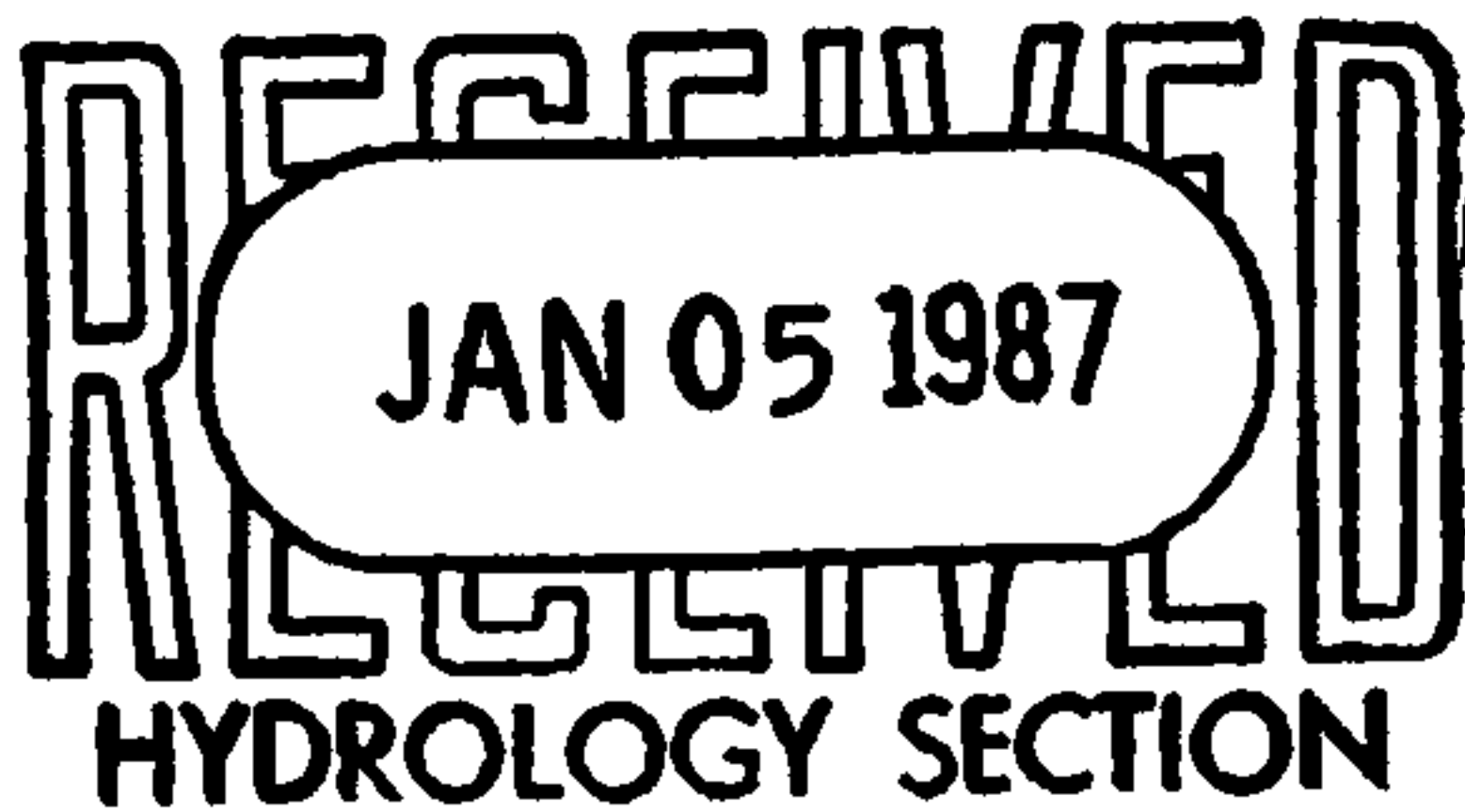
FORM LETTER SENT 12-2-86

12-23-86 ROBERT FROM WATERMAN TO SEND LETTER
OF INTENT

Inspection Requested _____ Contractor _____

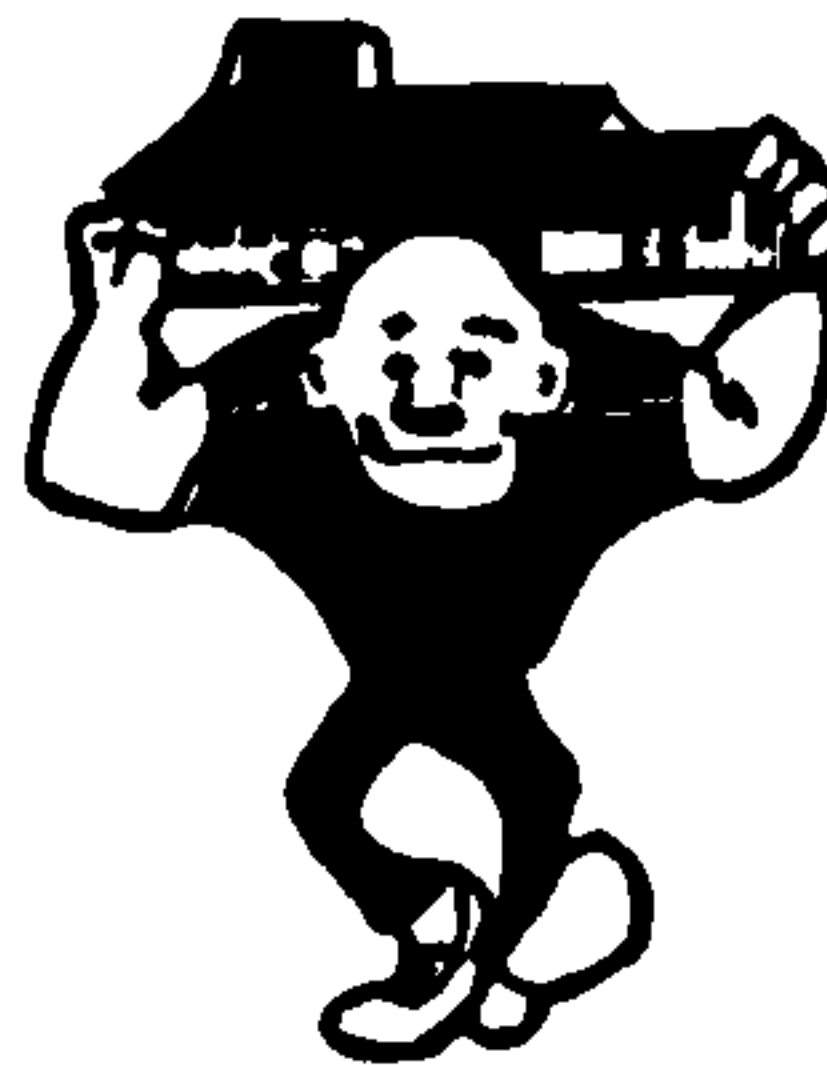
Appr. _____ Disappr. _____ 30 Day Temp. _____

Comments: _____



Waterman, Inc.

HOUSE MOVING -- HEAVY HAULING
[STRUCTURES OF ALL SIZES & CHARACTER]
SALVAGE -- GENERAL CONTRACTING



520 Wheeler SE
Albuquerque, NM 87102

(505) 842-8981
(505) 842-8983

M4-DB

December 24, 1986

Mr. Jack Basye
City of Albuquerque
Zoning Section
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: Broadway Development 520 Wheeler S.E.

Dear Mr. Basye,

Please accept this letter as a letter of intent on behalf of Broadway Development. Per our conversation on Tuesday, December 23, 1986, we asked for six (6) months to complete our project, then to final out with your department. The immediate area of concern is paving and landscaping per approved set of drawings. We have contacted our architect and surveyor to assist us in this effort and hope to begin soon.

We appreciate your fairness in dealing with the above issues and please feel free to call or stop by if any questions arise.

Respectfully,

Robert E. Pacheco, General Manager
Waterman, Inc.

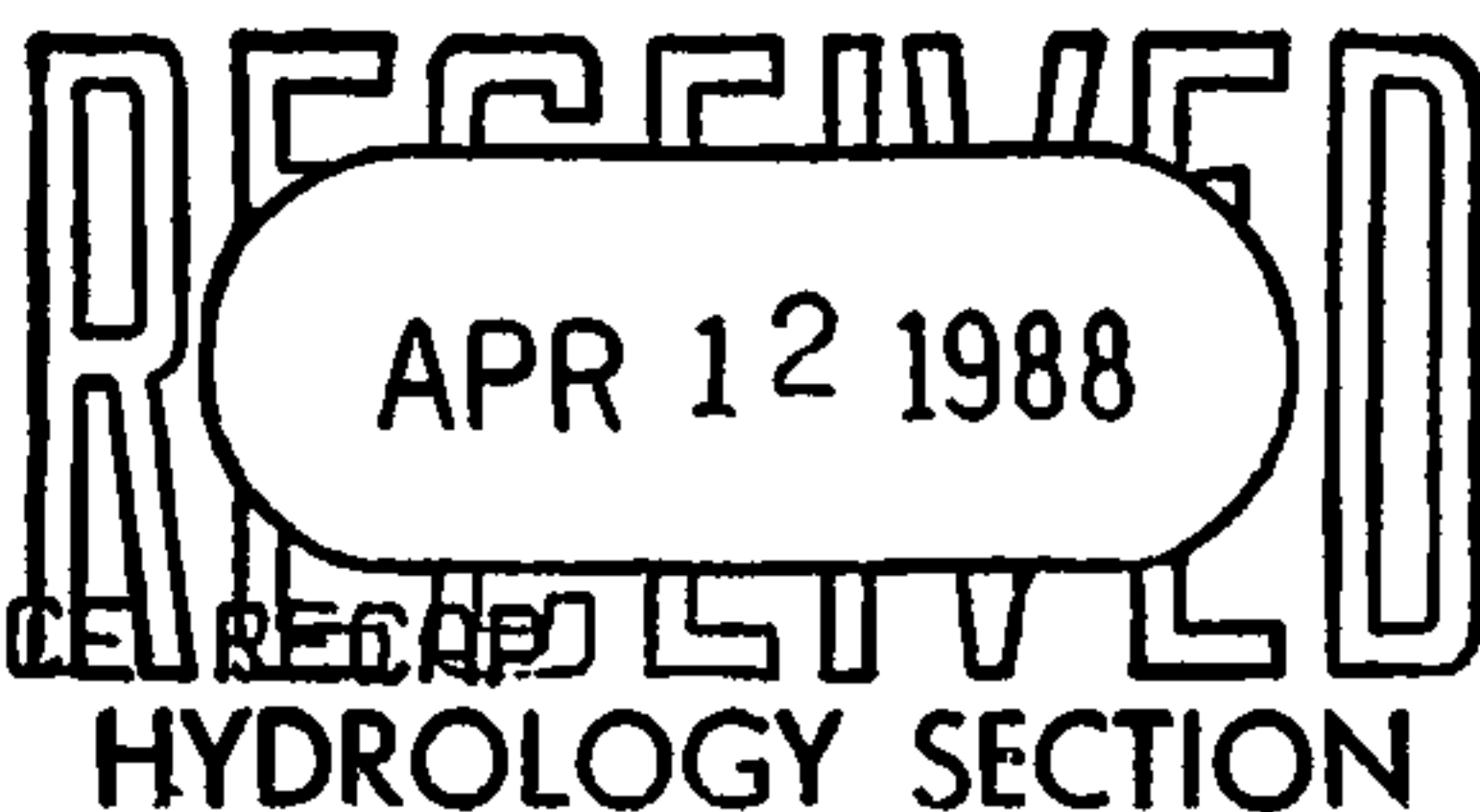
XC: Doug Crandell, Deputy Zoning Enforcement Officer
Bernie Montoya, Hydrology
Richard L. Duran, Drainage Inspector

DRAINAGE INFORMATION SHEET

40575

PROJECT TITLE: WATERMAN INC ZONE ATLAS/DRNG. FILE #: M14/DB
LEGAL DESCRIPTION: TR. A-1, BROADWAY PLACE ADDN.
CITY ADDRESS: 520 WHEELER SE
ENGINEERING FIRM: TOM MANN & ASSOC CONTACT: J.G. MORTENSEN
ADDRESS: 811 DALLAS NE PHONE: 245-5611
OWNER: TED WATERMAN CONTACT: TED WATERMAN
ADDRESS: 520 WHEELER SE PHONE: 342-8981
ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: WALKER SURVEYING CONTACT: STEVE WALKER
ADDRESS: 40 TOM MANN & ASSOC PHONE: _____
CONTRACTOR: WATERMAN INC. CONTACT: TED WATERMAN
ADDRESS: _____ PHONE: 342-8981

PRE-DESIGN MEETING:

☐ YES☐ NO☐ COPY OF CONFERENCE RECORD SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. M14/DB

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☒ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☒ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

04.12.88

BY:

J.G. MORTENSEN

M14-D8

4/26/80

(B)

Albano

109 out

computer. I advised

that I couldn't accept certification until he corrected the field problem.

of Jeff Marten

Jeff Marten

certification

the field problem

MM

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LANDS OF BROADWAY DEVELOPMENT CD ZONE ATLAS/DRAINAGE FILE # M 14 & 15 / D 8 A.

LEGAL DESCRIPTION: TRACTS A-1-A, A-1-B & A-1-C LANDS OF BROADWAY DEVELOPMENT CO.

CITY ADDRESS: _____

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD UTTER

ADDRESS: 811 DALLAS NE PHONE: 265-5611

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: LEONARD UTTER

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

RECEIVED
JUL 18 1989
HYDROLOGY SECTION

DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

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☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☒ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER UPDATE (SPECIFY).

DATE SUBMITTED: 7-18-89

BY: [Signature]

[Handwritten signature/initials]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

June 12, 1984

Mr. Jeffrey Mortensen
Tom Mann & Associates
811 Dallas NE
Albuquerque, NM 87110

REF: WATERMAN INC. (M14-D8) 5/4/84

Dear Jeff:

Based on the information provided on your March 8, 1984 submittal, listed below you will find certain concerns that will need to be addressed before final approval is granted for the above referenced drainage plan.

- ✓ 1. Information sheet designating resubmittal.
- ✓ 2. Professional's stamp and signature with resubmittal date.
- ✓ 3. Bench marks location, description and elevation of the:
 - A. Albuquerque Control Survey Vertical Datum
 - B. Temporary bench mark on-site
- ✓ 4. Please identify location of the downspouts.
- ✓ 5. What type of erosion control do you propose on the south portion adjacent to the asphalt paving between building 1 & 2 before roof runoff enters the paved area?
- ✓ 6. Will the project be built in phases? If so, a phasing plan will be required along with an erosion control plan for each phase.
7. Please provide a copy of document designating what portions of Wheeler have been vacated. (Otherwise approved street grades will be required along with the approved "Drainage Facilities Within City R/W" documents).

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 765-7467

AN EQUAL OPPORTUNITY EMPLOYER

Mr. Jeff Mortensen
June 12, 1984
Page -2-

8. Private easements for the proposed drainage scheme across property lines will be required (an alternative to this easement would be to remove the common lot line between the lots by replatting).

If you have any questions or comments, please feel free to call me at 766-7644.

Sincerely,

A handwritten signature in cursive script that reads "Billy J. Goolsby".

Billy J. Goolsby, PE
City/County Flood Plain Admin.

BJG:BJM:mrk

PROJECT TITLE: BROADWAY DEVELOP-
MENT - PHASE II ZONE ATLAS/DRNG. FILE #: M14-D8
LEGAL DESCRIPTION: TRACT A-1, LANDS OF BROADWAY DEVELOPMENT CO.
CITY ADDRESS: _____

ENGINEERING FIRM: TOM MANN & ASSOC. CONTACT: J.G. MORTENSEN
ADDRESS: 811 DALLAS NE. PHONE: 265-5611

OWNER: BROADWAY DEV. CO. CONTACT: KENT BOYER
ADDRESS: _____ PHONE: 243-2225

ARCHITECT: BILL BUCKLEY CONTACT: BILL BUCKLEY
ADDRESS: _____ PHONE: 255-9196

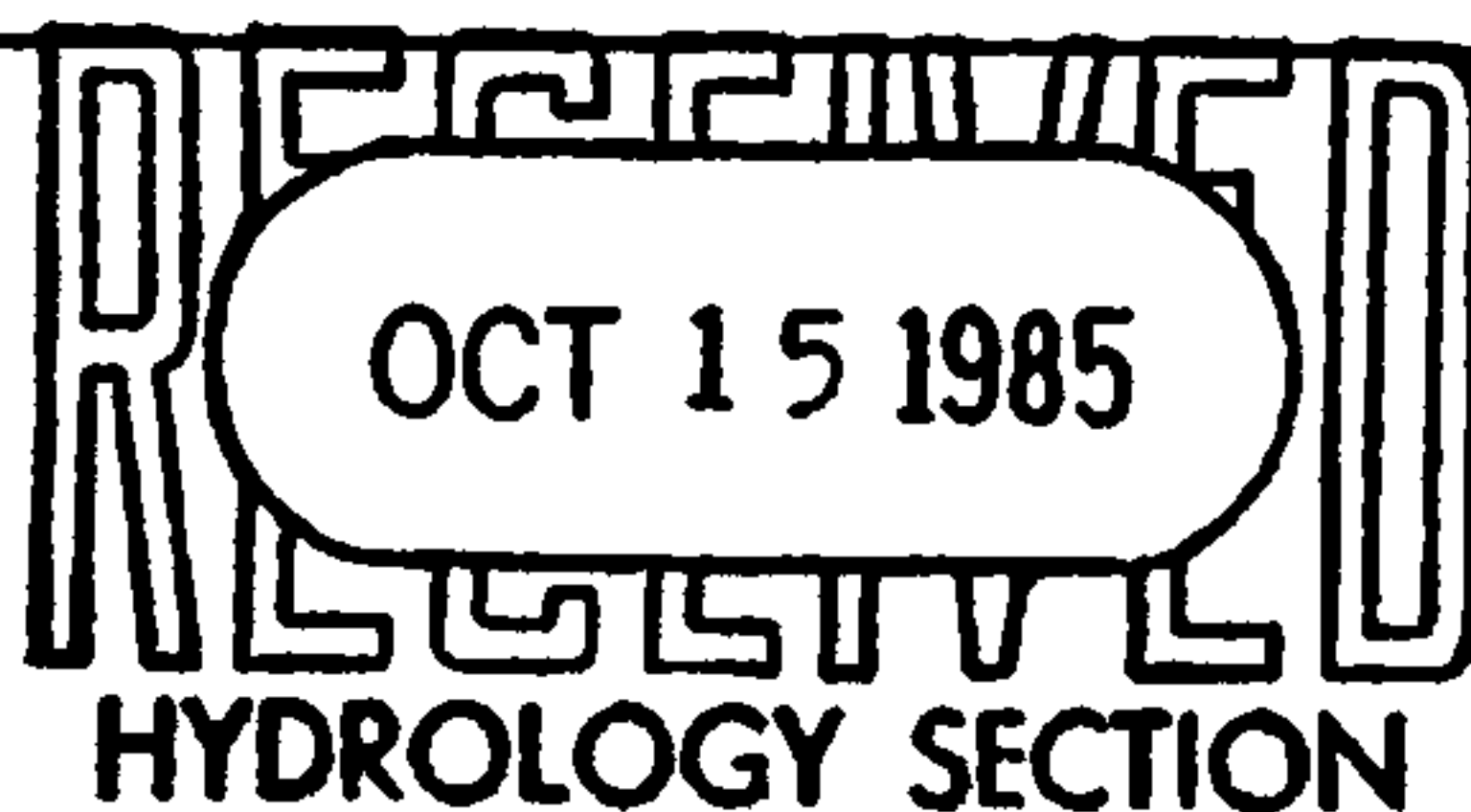
SURVEYOR: TOM MANN & ASSOC. CONTACT: J.G. MORTENSEN
ADDRESS: 811 DALLAS NE PHONE: 265-5611

CONTRACTOR: NOT KNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. 85-57 8/20/85

EPC NO. _____

PROJ. NO. M14-D8

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 10-15-85
BY: J.G. MORTENSEN



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

October 21, 1985

Mr. Jeffrey Mortensen
Tom Mann & Associates
811 Dallas NE
Albuquerque, NM 87110

REF: DRAINAGE PLAN FOR WATERMAN INC. PHASE II (M14-D8) ENGINEER'S STAMP
DATED 10/15/85

Dear Jeff:

Based on the information provided on your October 15, 1985 submittal, the above referenced drainage plan is approved.

Please attach a copy of this approved drainage plan to the construction sets before Hydrology will sign-off.

If I can be of further assistance, please feel free to contact me at 766-7644.

Sincerely,

Carlos A. Montoya, PE
City/County Flood Plain Admin.

CAM:BJM:mrk

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

Speed Letter®

To BARBARA JUAREZ
HYDROLOGY SECTION

From LEONARD F. UTTER
TOM MANN & ASSOC.

Subject BROADWAY DEVELOPMENT - PHASE II

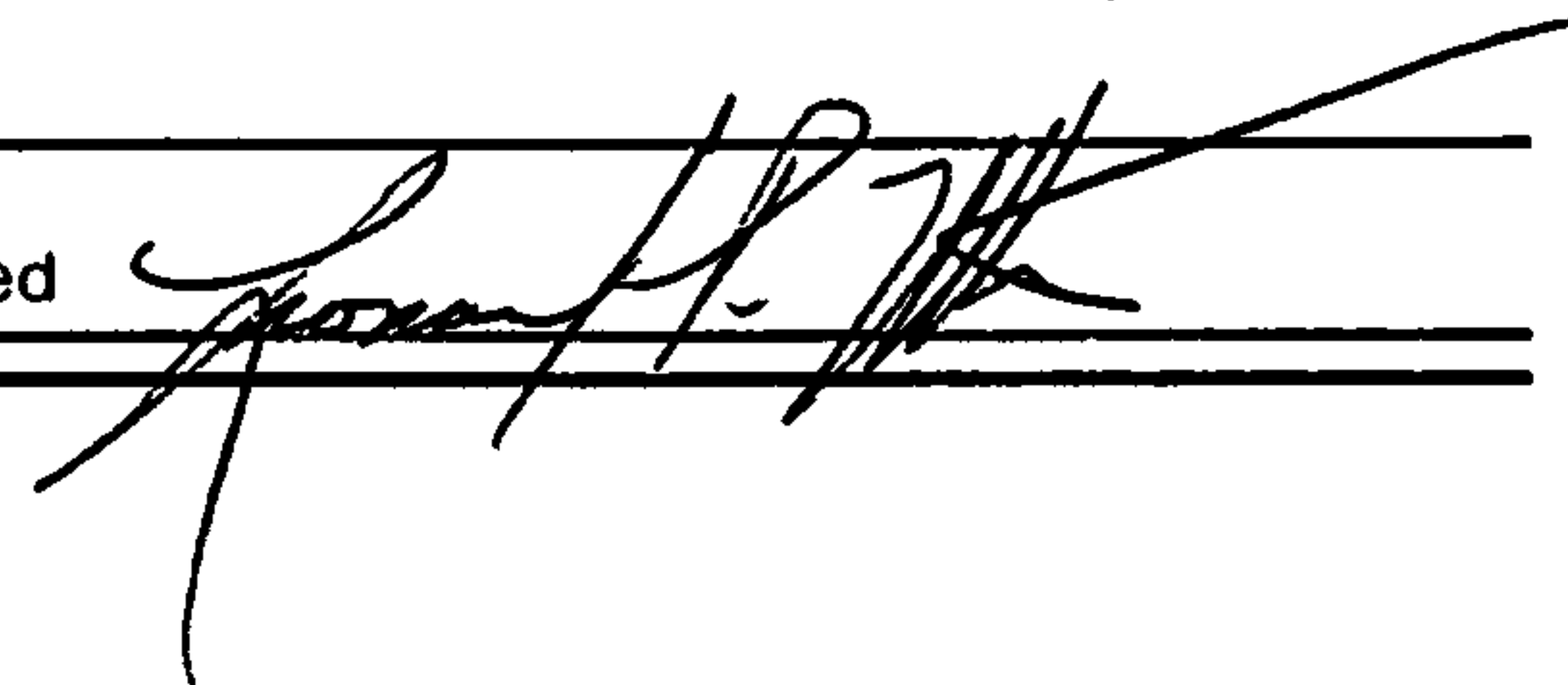
No 9 & 10 FOLD

MESSAGE

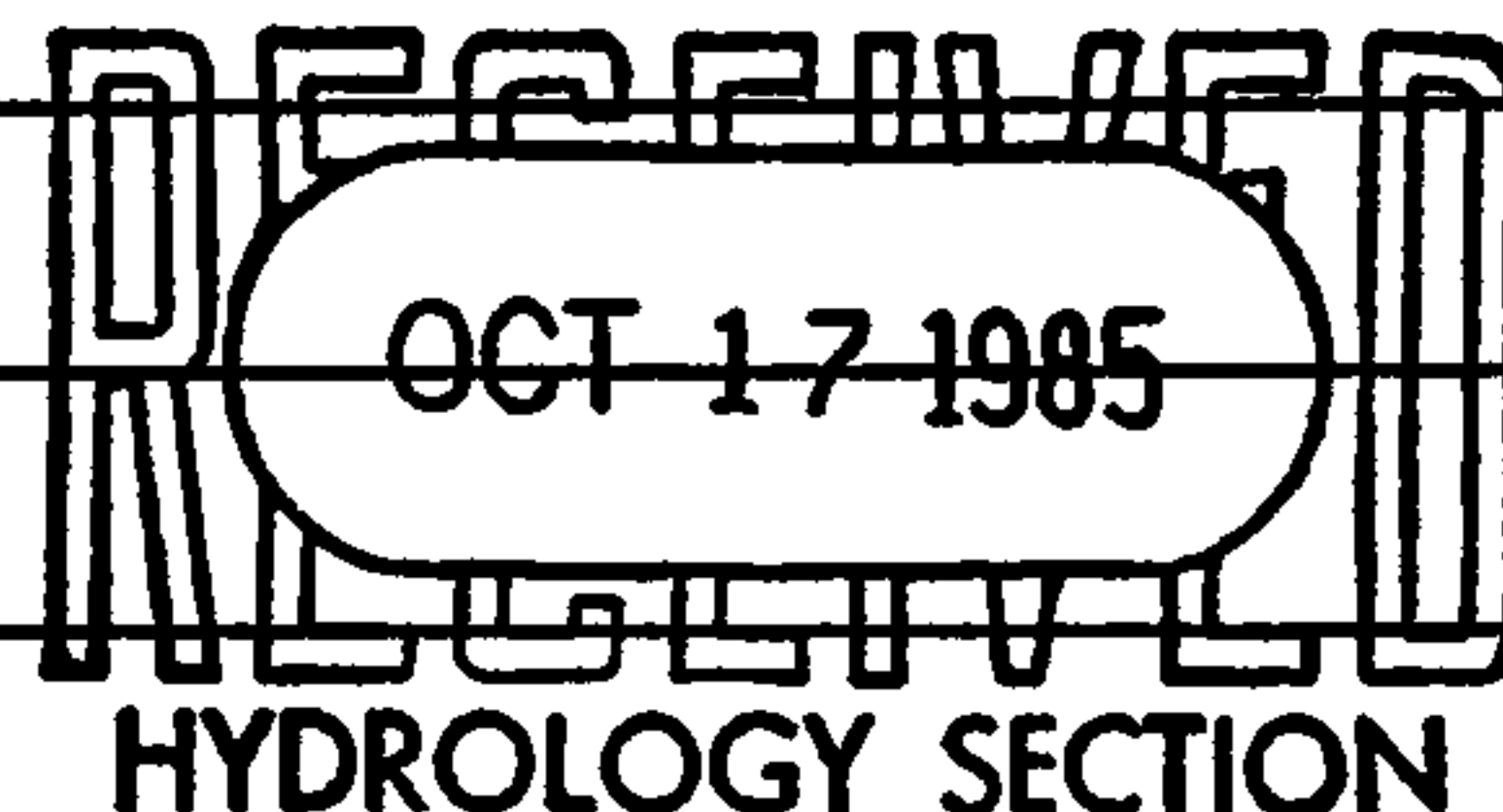
Transmitted herewith is one print of the plat showing the location of construction for phase II on the above subject. Should you have any questions or comments concerning this matter, please do not hesitate to call.

Date 10/17/85

Signed



REPLY



-No 9 FOLD

-No 10 FOLD

Date

Signed