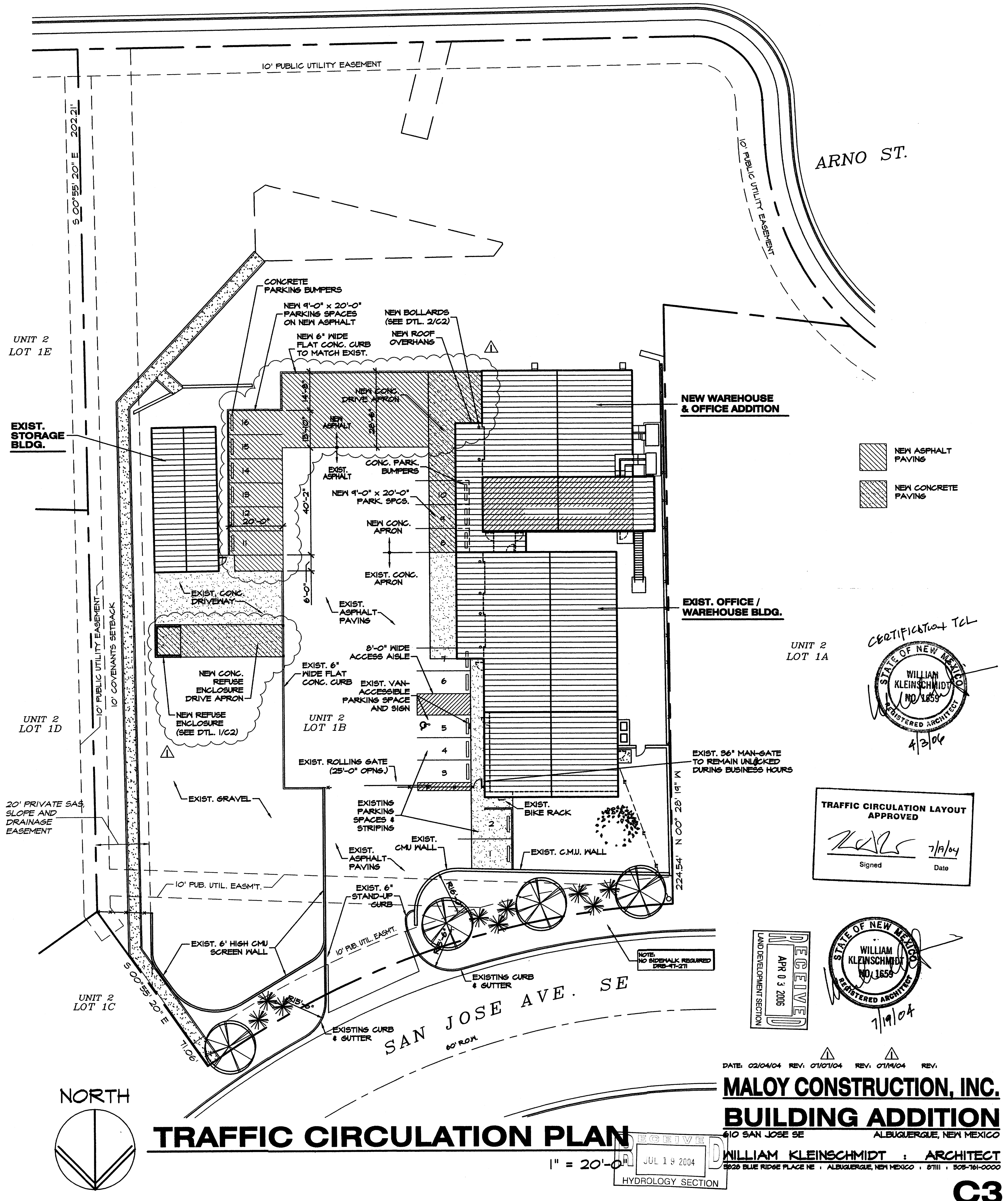


BETHEL RD.

ARNO ST.

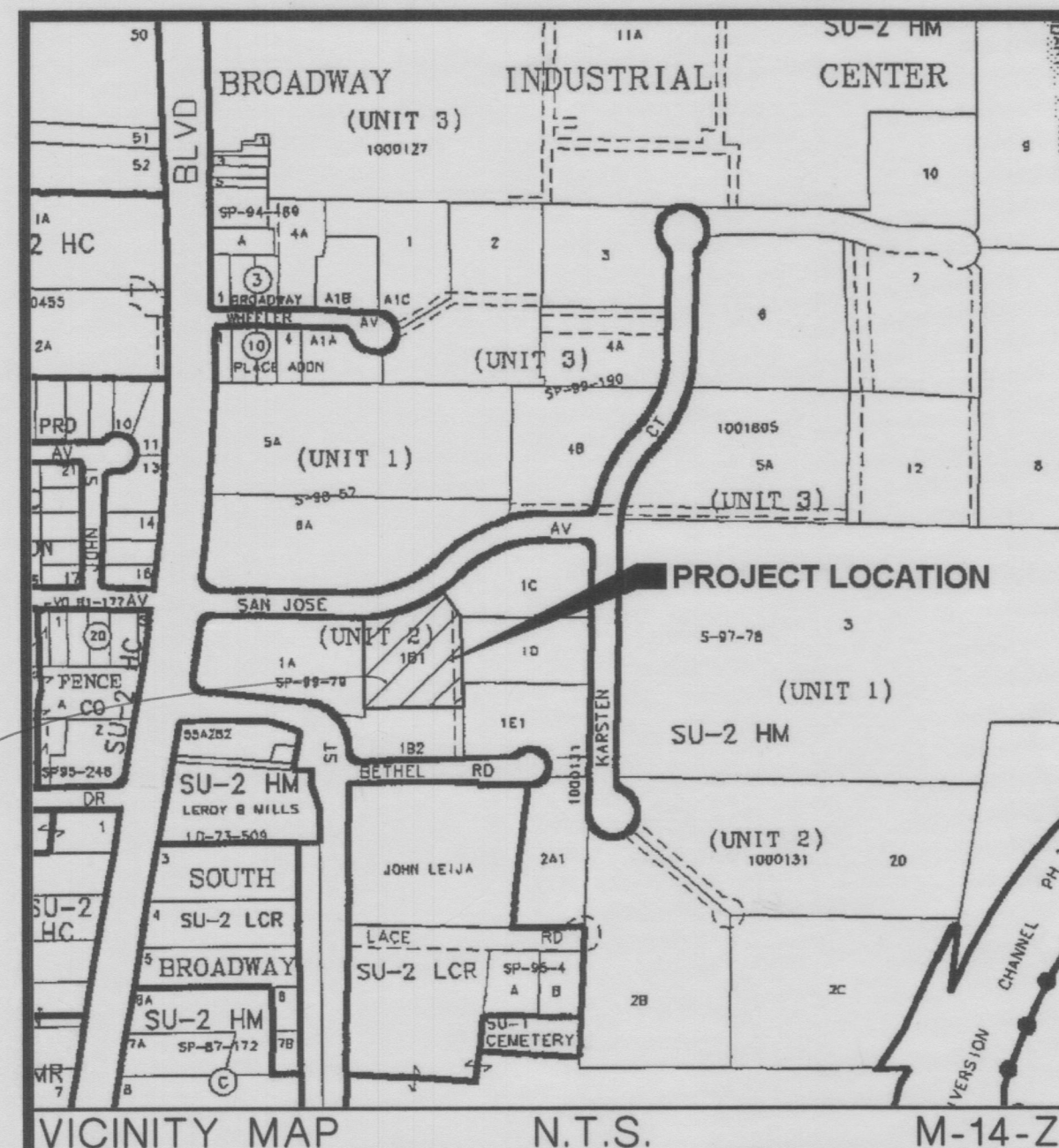


PARKING REQUIREMENTS			
PARKING REQUIREMENTS:			
OFFICE USE:			
EXISTING AREA:	1,440 S.F.		
NEW AREA:	1,184 S.F.		
TOTAL:	2,624 S.F.	• 200 S.F. / SPACE =	13 SPACES
WAREHOUSE / USE:			
EXISTING AREA:	9,000 S.F.		
NEW AREA:	9,424 S.F.		
TOTAL:	18,424 S.F.	• 2,000 S.F. / SPACE =	9 SPACES
TOTAL PARKING SPACES REQUIRED:			16 SPACES
TOTAL REQUIRED ACCESSIBLE PARKING SPACES:			1 SPACE
NUMBER OF PARKING SPACES REQUIRED TO BE VAN ACCESSIBLE:			1 SPACE



DATE: 02/04/04 REV: 01/01/04 REV: 01/14/04 REV:
MALOY CONSTRUCTION, INC.
BUILDING ADDITION
410 SAN JOSE SE ALBUQUERQUE, NEW MEXICO
WILLIAM KLEINSCHMIDT : ARCHITECT
2820 BLUE RIDGE PLACE NE ALBUQUERQUE, NEW MEXICO 87111 505-761-0000

C3



Drainage Calculation

Maloy Office Building

Hydrology Calculations

DPM - Section 22.2

Volume 2, January 1993

Precipitation Zone

100 Year Storm Depth, P (360)

Treatment Area	A	B	C	D
Excess Precipitation Factors	0.53	0.78	1.13	2.12
Peak Discharge Factors	1.56	2.28	3.14	4.70

Land Treatment Area	Acres	Existing	Proposed
Type "D" (Roof)		0.667	0.781
Type "C" (Unpaved Roadway)		0.447	0.263
Type "B" (Irrigated Lawns)		0.000	0.070
Type "A" (Undeveloped)		0.000	0.000

Total (Acres) 1.114 1.114

Excess Precipitation(in) 1.723 1.802

Volume (100), cf	6969.183	7289.494
Volume (10), cf	4669.352	4883.961
Q (100), cfs	4.540	4.658
Q (10), cfs	3.042	3.121

ENGINEER'S CERTIFICATION

I, MARTIN J. GARCIA, NMP# 11767, OF THE FIRM ABO ENGINEERING, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGNED INTENT OF THE APPROVED PLAN DATED DECEMBER 19, 2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MR. PRESTON HALL, PLS# 10042, OF HALL SURVEYING CO. AND FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 09, 2009 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

THE RECORDED INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

General Notes

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A LAND DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
- CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECS"
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.

Drainage Management Plan

THIS LOT IS ALLOWED FULL DEVELOPMENT AT 90% IMPERVIOUS COVER AND FREE DISCHARGE OF ALL STORM WATER RUNOFF INTO THE POND, IN ACCORDANCE WITH THE PREVIOUSLY APPROVED GRADING PLAN FOR LOT 1 UNIT 2 BROADWAY INDUSTRIAL CENTER WITH ENGINEER'S STAMP DATED 3-9-99 WHICH IS IN ACCORDANCE WITH THE UNIT 3 REVISION TO THE GRADING AND DRAINAGE MASTER PLAN FOR BROADWAY INDUSTRIAL CENTER WITH ENGINEERS STAMP DATED 1-26-99 AND REVISE 2-4-99 WHICH IS IN ACCORDANCE WITH THE THE SOUTH BROADWAY SECTOR DRAINAGE MANAGEMENT PLAN DEVELOPED CONDITIONS REPORT SEPT. 1990 ALL PRIVATE LOTS IN THE BROADWAY INDUSTRIAL CENTER ARE REQUIRED TO PROVIDE TEMPORARY ONSITE RETENTION FOR NEW DEVELOPMENT UNTIL THE SECTOR PLANNED 72" STORM SEWER IS CONSTRUCTED IN BROADWAY BLVD. AT THE SOUTH WEST CORNER OF THE INDUSTRIAL CENTER AFTER WHICH THE REQUIRED POND WILL BE REDUCED SO AS NOT TO EXCEED THE DEVELOPED FLOWS AS FIRST IDENTIFIED IN THE SECTOR PLAN. THE POND ON LOT 1-B, UNIT 2 PROVIDES BOTH, TEMPORARY RETENTION AND LATER IT WILL PROVIDE PERMANENT DETENTION. THUS ALLOWING FREE DISCHARGE FROM THIS LOT. WITH THIS ADDITION, THE LOT REMAINS AT 70% IMPERVIOUS. THERE ARE NO NEW OFF-SITE FLOWS INTO THIS PROPERTY.

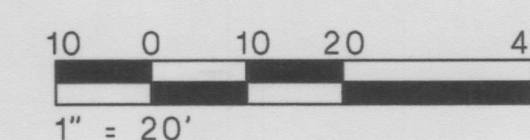
THIS GRADING AND DRAINAGE PLAN PROVIDES FOR EXPANSION OF THE EXISTING BUILDING TO THE NORTH.

GRADING PLAN

SCALE: 1" = 20'



NORTH



Legend

(75.50)	NEW TOP OF CURB ELEVATION
(75.00)	NEW FLOWLINE ELEVATION
75.00	NEW SPOT ELEVATION
==	EXISTING CURB AND GUTTER
---	EXISTING FENCE (6" CHAIN LINK)
---	EXISTING LOT LINE
---	TRACT/LOT BOUNDARY
---	EASEMENTS
---	FLOOD WALL
---	EXISTING PAD
---	NEW SLOPE
---	EXISTING SIDEWALK

ACS Benchmark

NMSHC MONUMENT "I-25-30"
X = 383916.04
Y = 1477272.26
G-G = 0.99967444
ELEV = 5038.51

Legal Description

LOT 1B, UNIT 2, BROADWAY INDUSTRIAL CENTER WITHIN SECTION 32, TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

REV NO REV DATE DESCRIPTION

PROJECT NUMBER: 23176
DESIGNED BY: M GARCIA
DRAWN BY: F PHILLIPS
CHECKED BY: S KNEE
CAD FILE NAME: 176GRAD.DWG

DATE: 12/19/2003

SHEET TITLE

GRADING PLAN

C-101

SHEET of

REV NO REV DATE DESCRIPTION

SHEET TITLE

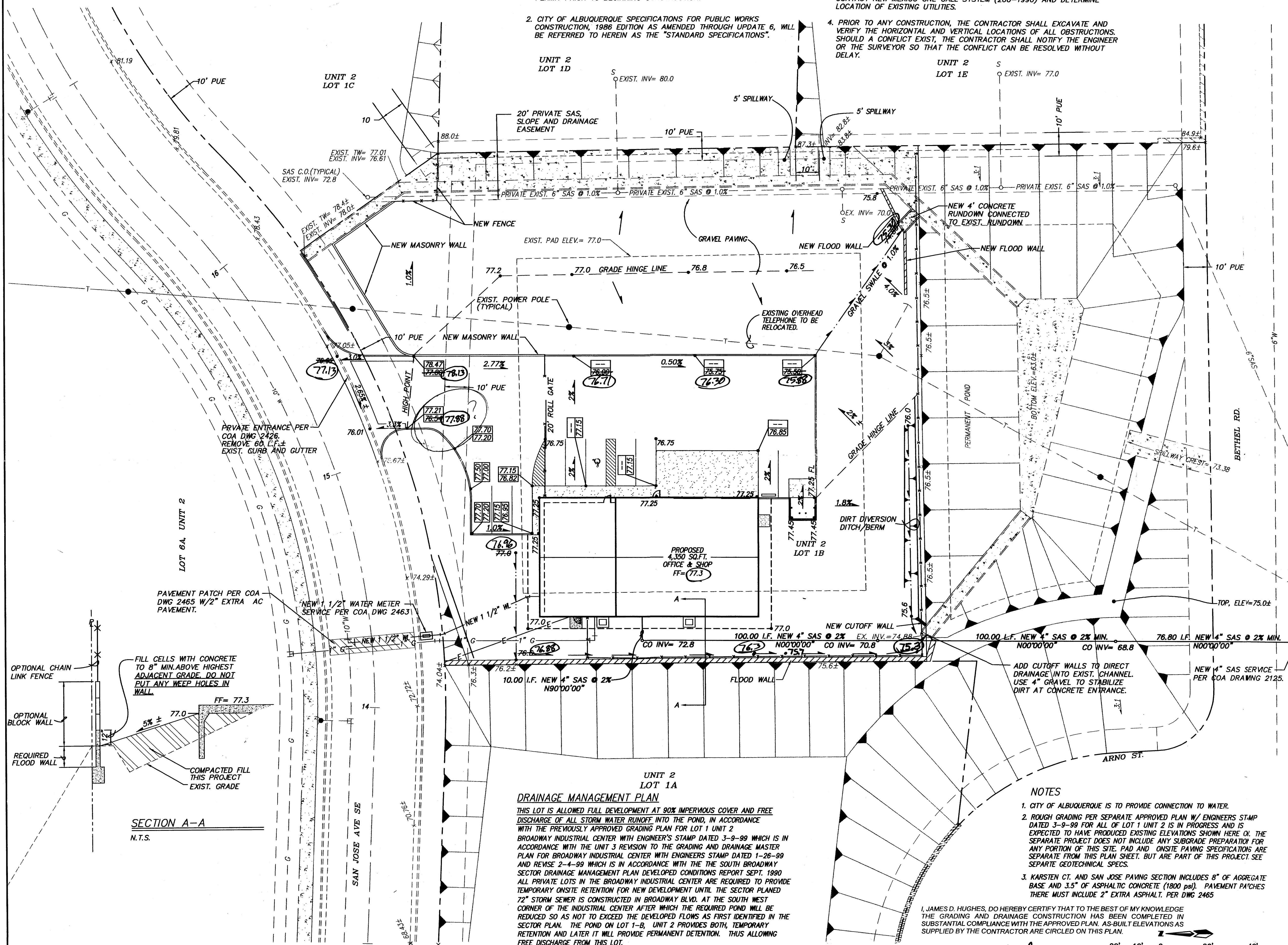
GRADING PLAN

C-101

SHEET of

NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A LAND DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
2. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS".
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.



DRAINAGE MANAGEMENT PLAN

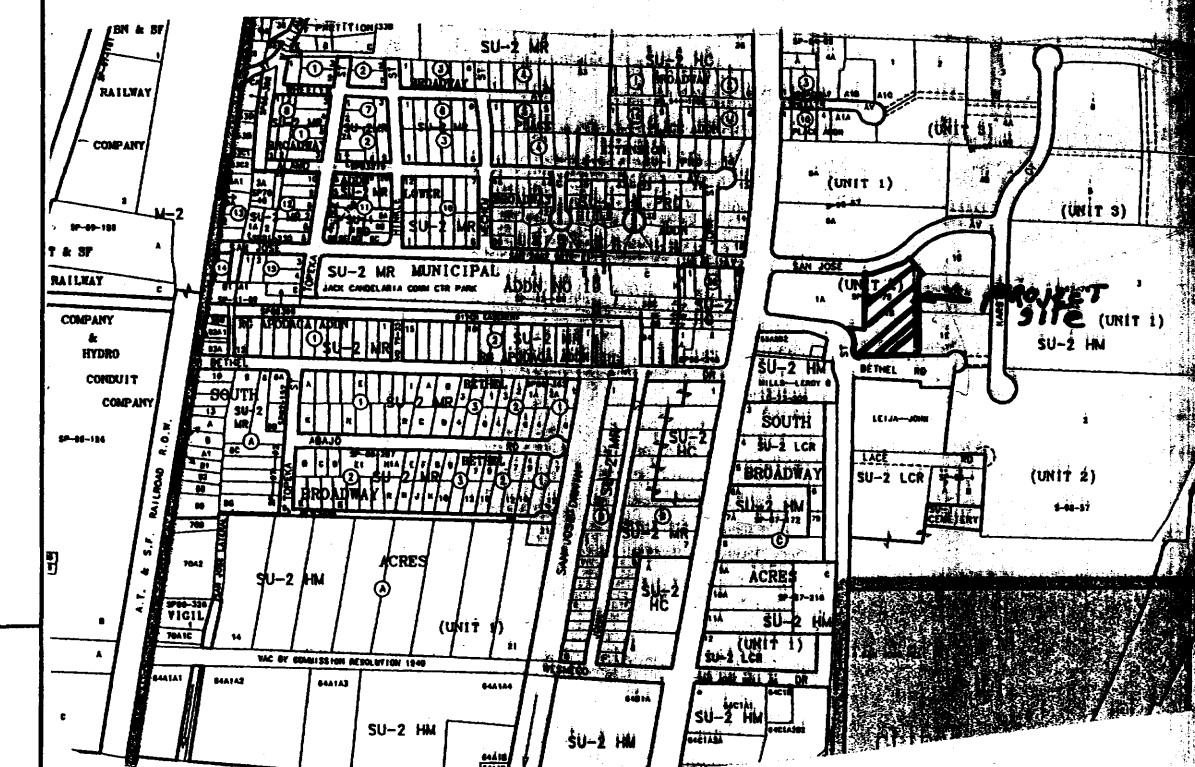
THIS LOT IS ALLOWED FULL DEVELOPMENT AT 90% IMPERVIOUS COVER AND FREE DISCHARGE OF ALL STORM WATER RUNOFF INTO THE POND, IN ACCORDANCE WITH THE PREVIOUSLY APPROVED GRADING PLAN FOR LOT 1 UNIT 2 BROADWAY INDUSTRIAL CENTER WITH ENGINEER'S STAMP DATED 3-9-99 WHICH IS IN ACCORDANCE WITH THE UNIT 3 REVISION TO THE GRADING AND DRAINAGE MASTER PLAN FOR BROADWAY INDUSTRIAL CENTER WITH ENGINEER'S STAMP DATED 1-26-99 AND REVISION 2-4-99 WHICH IS IN ACCORDANCE WITH THE THE SOUTH BROADWAY SECTOR DRAINAGE MANAGEMENT PLAN DEVELOPED CONDITIONS REPORT SEPT. 1990 ALL PRIVATE LOTS IN THE BROADWAY INDUSTRIAL CENTER ARE REQUIRED TO PROVIDE TEMPORARY ONSITE RETENTION FOR NEW DEVELOPMENT UNTIL THE SECTOR PLANNED 72" STORM SEWER IS CONSTRUCTED IN BROADWAY BLVD. AT THE SOUTH WEST CORNER OF THE INDUSTRIAL CENTER AFTER WHICH THE REQUIRED POND WILL BE REDUCED SO AS NOT TO EXCEED THE DEVELOPED FLOWS AS FIRST IDENTIFIED IN THE SECTOR PLAN. THE POND ON LOT 1-B, UNIT 2 PROVIDES BOTH, TEMPORARY RETENTION AND LATER IT WILL PROVIDE PERMANENT DETENTION. THUS ALLOWING FREE DISCHARGE FROM THIS LOT.

NOTES

1. CITY OF ALBUQUERQUE IS TO PROVIDE CONNECTION TO WATER.
2. ROUGH GRADING PER SEPARATE APPROVED PLAN W/ ENGINEER'S STAMP DATED 3-9-99 FOR ALL OF LOT 1 UNIT 2 IS IN PROGRESS AND IS EXPECTED TO HAVE PRODUCED EXISTING ELEVATIONS SHOWN HERE ON. THE SEPARATE PROJECT DOES NOT INCLUDE ANY SUBGRADE PREPARATION FOR ANY PORTION OF THIS SITE. PAD AND ONSITE PAVING SPECIFICATIONS ARE SEPARATE FROM THIS PLAN SHEET, BUT ARE PART OF THIS PROJECT. SEE SEPARATE GEOTECHNICAL SPECS.
3. KARSTEN CT. AND SAN JOSE PAVING SECTION INCLUDES 8" OF AGGREGATE BASE AND 3.5" OF ASPHALTIC CONCRETE (1800 psi). PAVEMENT PATCHES THERE MUST INCLUDE 2" EXTRA ASPHALT. PER DWG 2465

I, JAMES D. HUGHES, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE GRADING AND DRAINAGE CONSTRUCTION HAS BEEN COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN. AS-BUILT ELEVATIONS AS SUPPLIED BY THE CONTRACTOR ARE CIRCLED ON THIS PLAN.

James D. Hughes 4-20-01
JAMES D. HUGHES, P.E.
DATE
SCALE: 1" = 20'



VICINITY MAP ZONE MAP: M-14-Z

ACS BENCHMARK

NMHC MONUMENT, "1 - 25 - 30"
Y = 1477272.26, X = 383916.04, G-G = 0.99967444, DELTA ALPHA = -0073'22"
CENTRAL ZONE, (NAD 1927/SLD 1929)
ELEVATION = 5038.51

LEGAL DESCRIPTION

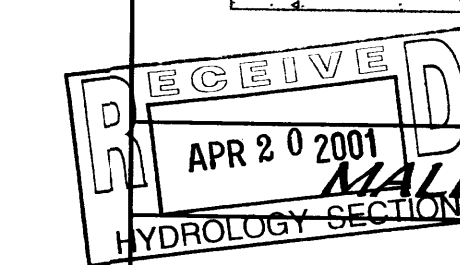
LOT 1B, UNIT 2, BROADWAY INDUSTRIAL CENTER WITHIN SECTION 32, TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGEND

- NEW TOP OF CURB ELEVATION
- NEW FLOWLINE ELEVATION
- NEW SPOT ELEVATION
- EXISTING TOP OF CURB SPOT ELEVATION
- EXISTING FLOWLINE SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- NEW STANDARD CURB AND GUTTER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CABLE T.V. PEDESTAL
- EXISTING WATER VALVE
- EXISTING POWER POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING FIRE HYDRANT
- EXISTING STORM SEWER MANHOLE
- EXISTING DROP INLET
- EXISTING FENCE (6" CHAIN LINK)
- NEW FENCE
- EXISTING LOT LINE
- TRACT/LOT BOUNDARY
- EASEMENTS
- 10"W EXISTING WATERLINE
- 48"SD EXISTING STORM DRAIN
- 6"SAS EXISTING SANITARY SEWER
- EXISTING GAS LINE
- EXISTING PRIVATE SAS CONNECTIONS W/CLEAN OUTS BY OTHERS
- NEW FLOOD WALL
- EXISTING PAD
- NEW SLOPE
- NEW 6" SIDEWALK
- EXISTING SIDEWALK



8-7-00



MALLOY OFFICE BUILDING GRADING PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JDH Drawn: NHM Checked: DMG Sheet 2 of 2
Scale: 1" = 50' Date: 3/30/00 Job: A0080

A0080mlw\A00GD20\08-04-00 KJS