

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 7, 2021

David McEachern
RBA Architect, PC
1104 Park Avenue SW
Albuquerque, NM

Re: Karsten Court (Kraemer Fields) (M14D012I)
Architect Stamp Date: 1-21-21, Revisions Date: to 4-6-21

Dear Mr. McEachern:

The TCL submittal received 04-07-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Include copy of approved Parking Agreement from Zoning Department prior to the Building Permit approval. Additionally, prior to Certificate of Occupancy, obtain a sidewalk easement for the minor sidewalk encroachment outside of right-of-way at the fire hydrant location.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

via: email
C: CO Clerk, File

KEYED NOTES

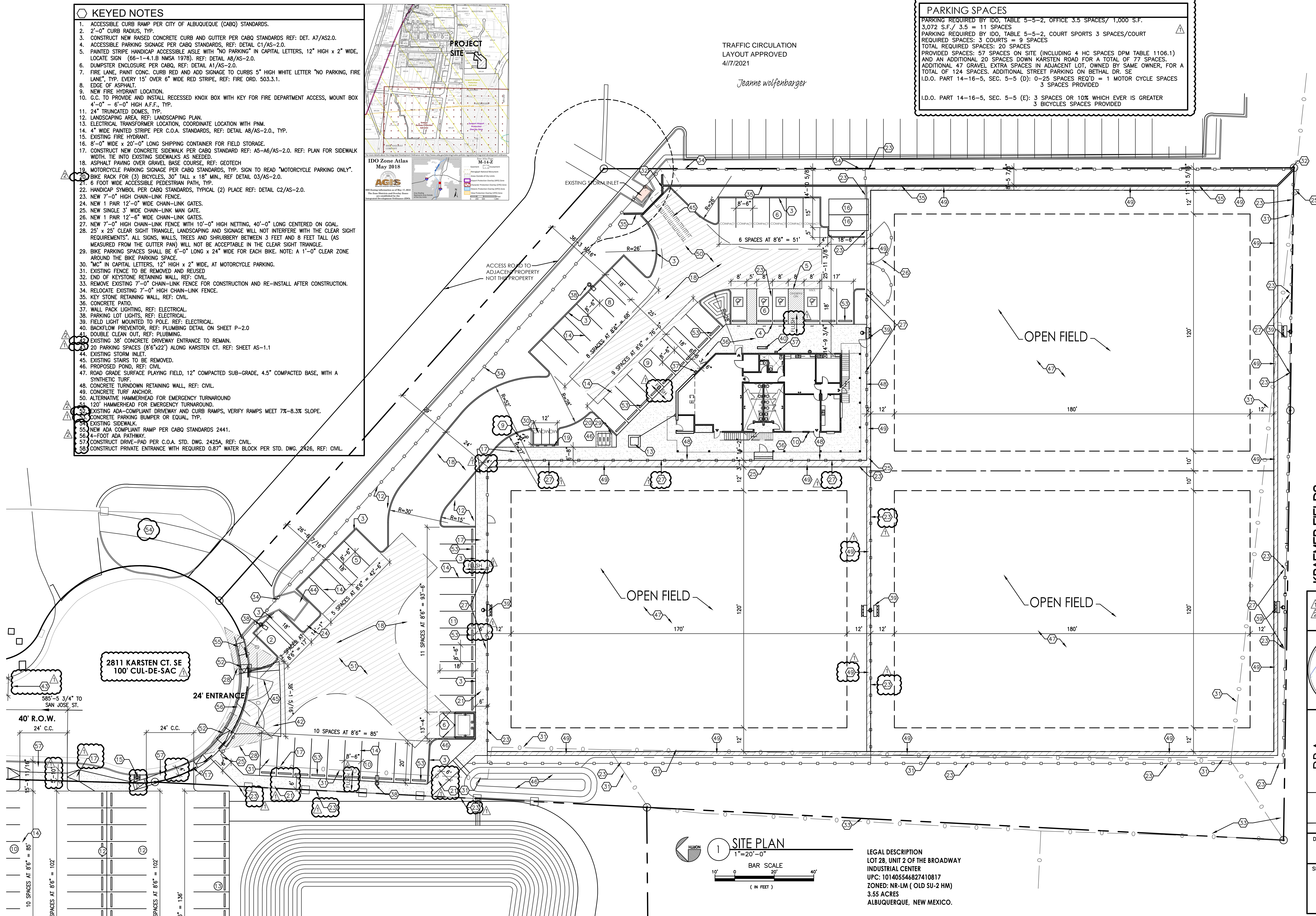
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12. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
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21. 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.
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42. EXISTING 36" CONCRETE DRIVEWAY ENTRANCE TO REMAIN.
43. 20 PARKING SPACES (8'6"x22') ALONG KARSTEN CT. REF: SHEET AS-1.1.
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49. CONCRETE TURF ANCHOR.
50. ALTERNATIVE HAMMERHEAD FOR EMERGENCY TURNAROUND.
51. 120' HAMMERHEAD FOR EMERGENCY TURNAROUND.
52. EXISTING ADA-COMPLIANT DRIVEWAY AND CURB RAMPS, VERIFY RAMPS MEET 7%-8.3% SLOPE.
53. CONCRETE PARKING BUMPER OR EQUAL, TYP.
54. EXISTING SIDEWALK.
55. NEW ADA COMPLIANT RAMP PER CABQ STANDARDS 2441.
56. 4-FOOT ADA PATHWAY.
57. CONSTRUCT DRIVE-PAD PER C.O.A. STD. DWG. 2425A, REF: CIVIL.
58. CONSTRUCT PRIVATE ENTRANCE WITH REQUIRED 0.87" WATER BLOCK PER STD. DWG. 2426, REF: CIVIL.

PARKING SPACES

PARKING REQUIRED BY IDO, TABLE 5-5-2, OFFICE 3.5 SPACES/ 1,000 S.F.
 3,072 S.F./ 3.5 = 11 SPACES
 PARKING REQUIRED BY IDO, TABLE 5-5-2, COURT SPORTS 3 SPACES/COURT
 REQUIRED SPACES: 3 COURTS = 9 SPACES
 TOTAL REQUIRED SPACES: 20 SPACES
 PROVIDED SPACES: 57 SPACES ON SITE (INCLUDING 4 HC SPACES DPM TABLE 1106.1)
 AND AN ADDITIONAL 20 SPACES DOWN KARSTEN ROAD FOR A TOTAL OF 77 SPACES.
 ADDITIONAL 47 GRAVEL EXTRA SPACES IN ADJACENT LOT, OWNED BY SAME OWNER, FOR A
 TOTAL OF 124 SPACES. ADDITIONAL STREET PARKING ON BETHAL DR. SE
 I.D.O. PART 14-16-5, SEC. 5-5 (D): 0-25 SPACES REQ'D = 1 MOTOR CYCLE SPACES
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 I.D.O. PART 14-16-5, SEC. 5-5 (E): 3 SPACES OR 10% WHICH EVER IS GREATER
 3 BICYCLES SPACES PROVIDED

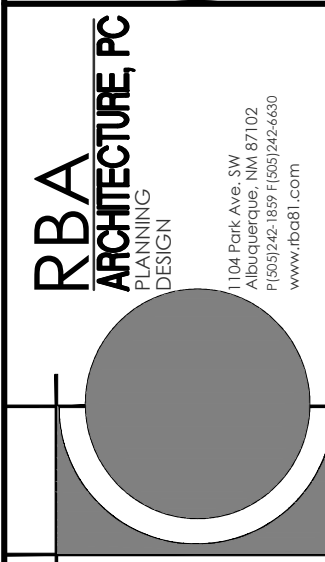
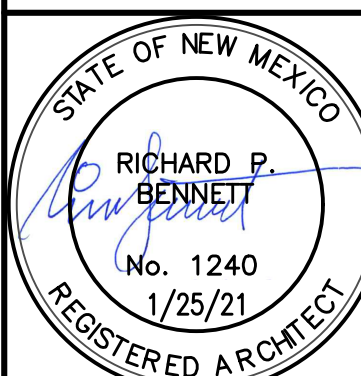
TRAFFIC CIRCULATION
 LAYOUT APPROVED
 4/17/2021

Jeanne wolfenbarger



KRAEMER FIELDS
 ARCHITECTURAL SITE PLAN
 2811 KARSTEN CT. SE: ALBUQUERQUE, NM
 PROJECT #1905

REVISION DATE
 PER TOL REVIEW
 02-16-2021
 PER CABQ REVIEW
 04-06-2021

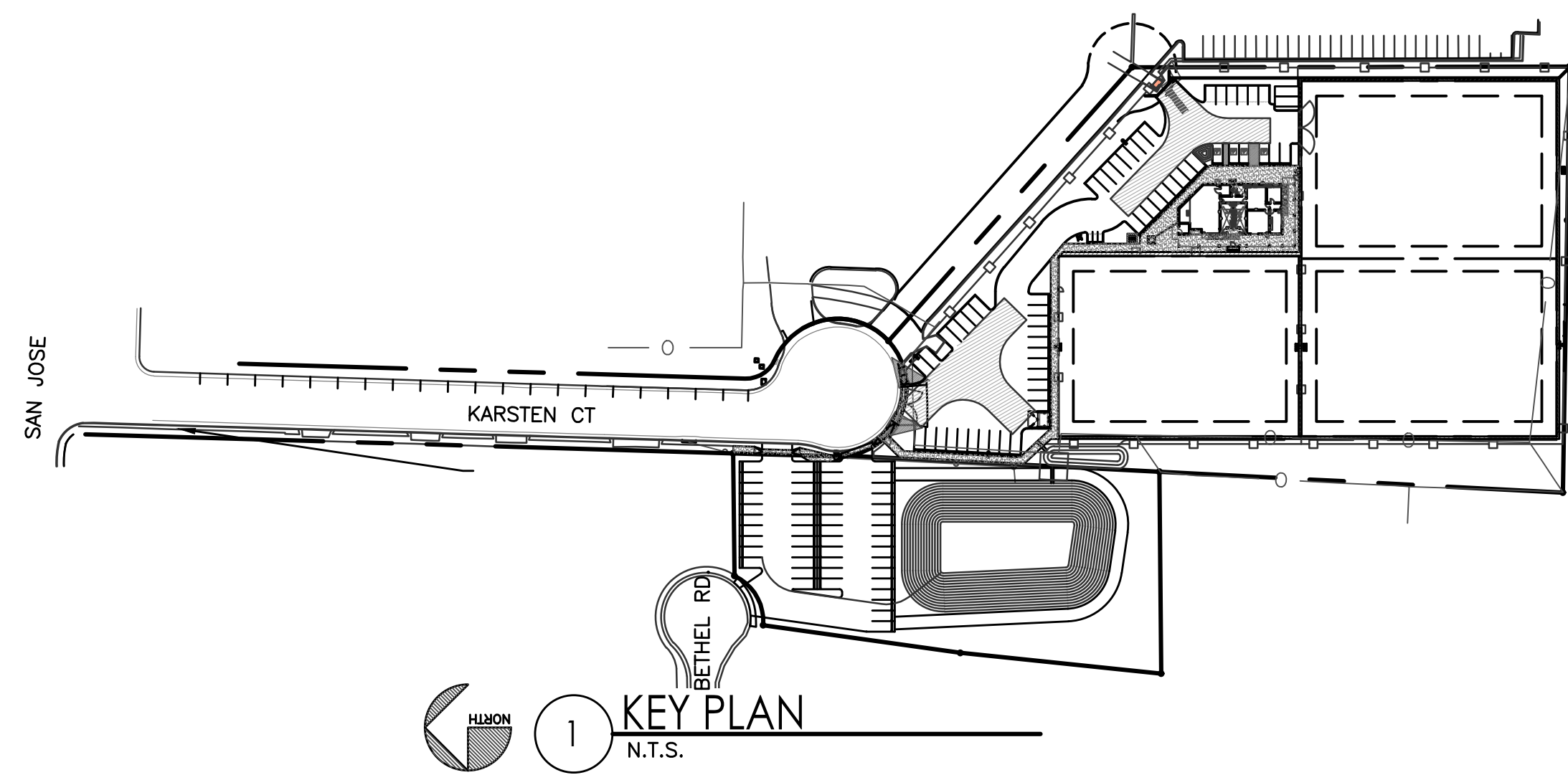


DATE
 01-25-2021

SHEET NUMBER

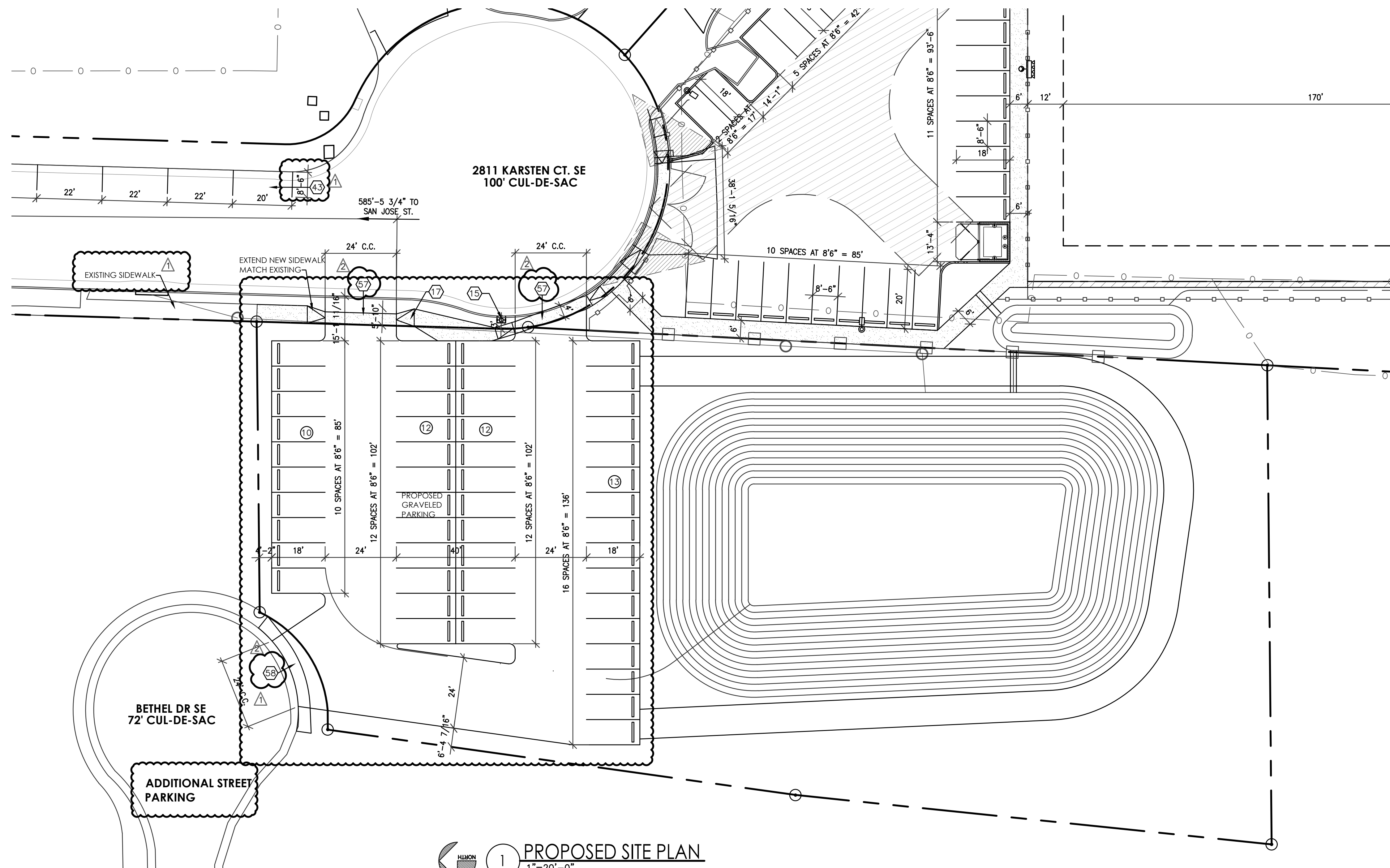
AS-1.0

LEGAL DESCRIPTION
 LOT 2B, UNIT 2 OF THE BROADWAY
 INDUSTRIAL CENTER
 UPC: 101405546827410817
 ZONED: NR-LM (OLD SU-2 HM)
 3.55 ACRES
 ALBUQUERQUE, NEW MEXICO.

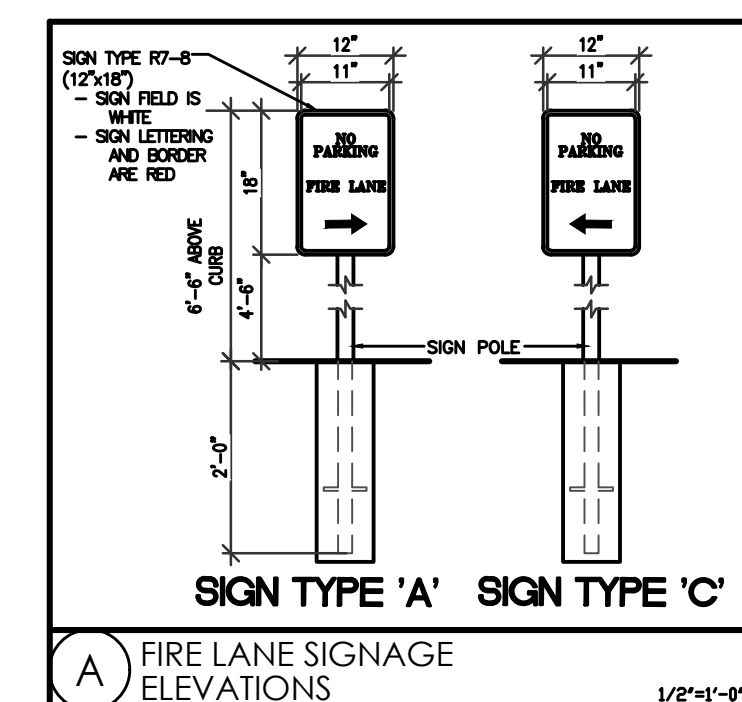


TRAFFIC CIRCULATION
LAYOUT APPROVED
4/7/2021

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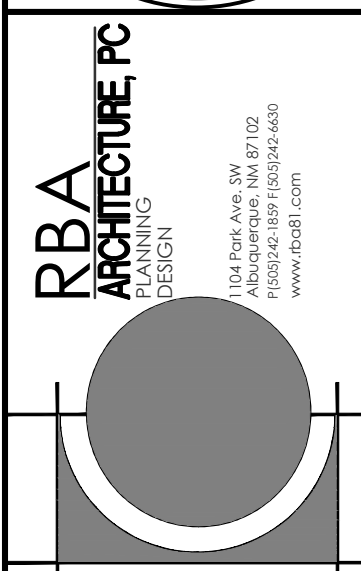
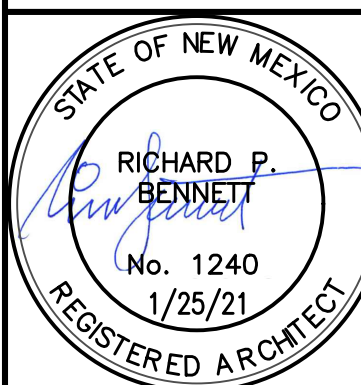


PROPOSED SITE PLAN
1"=20'-0"
BAR SCALE
10' 0 20' 40'
(IN FEET)
SEE KEYNOTES ON SHEET AS-1.0



KRAEMER FIELDS
ARCHITECTURAL SITE PLAN NOTES
2811 KARSTEN CT. SE: ALBUQUERQUE, NM
PROJECT #905

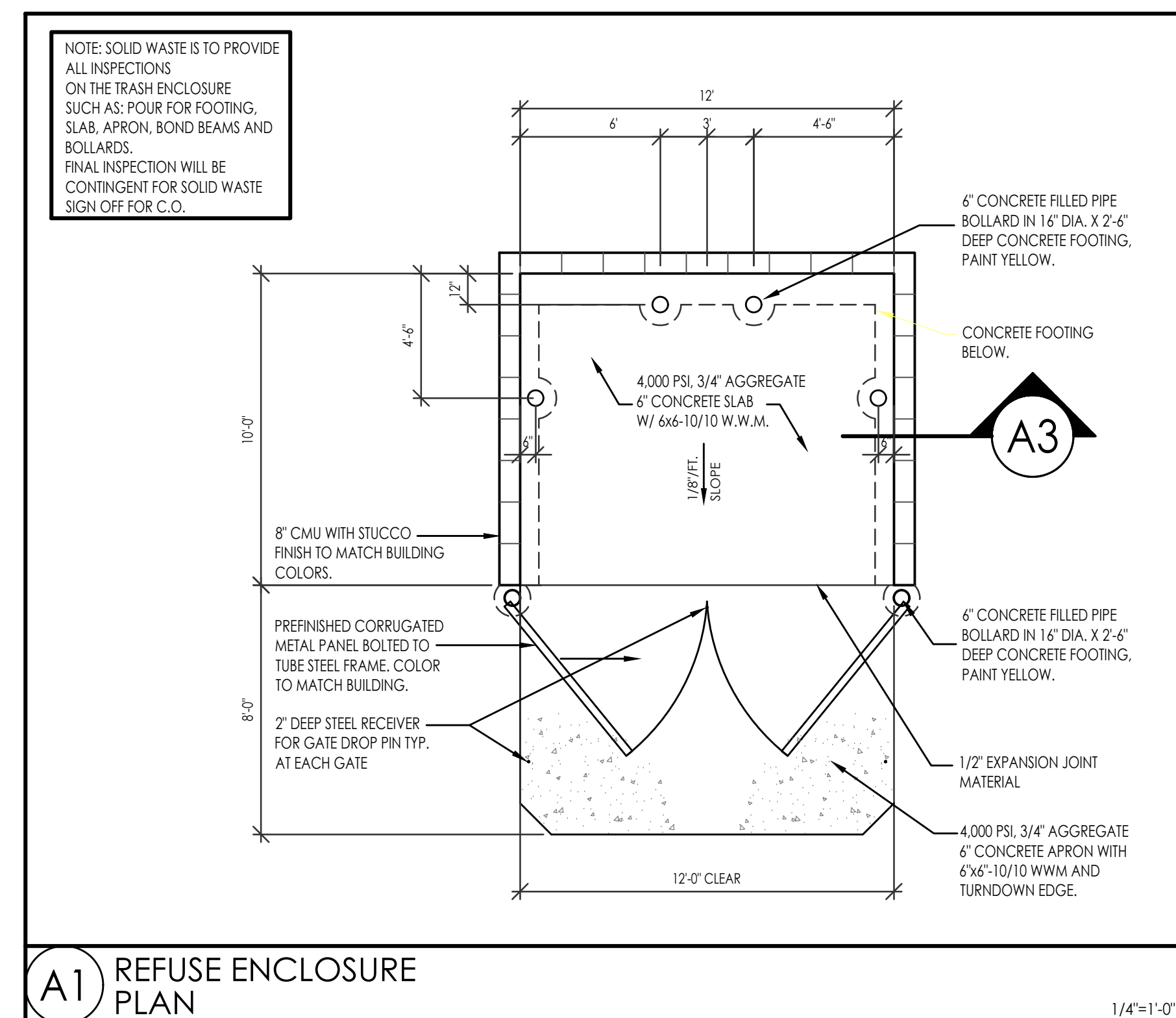
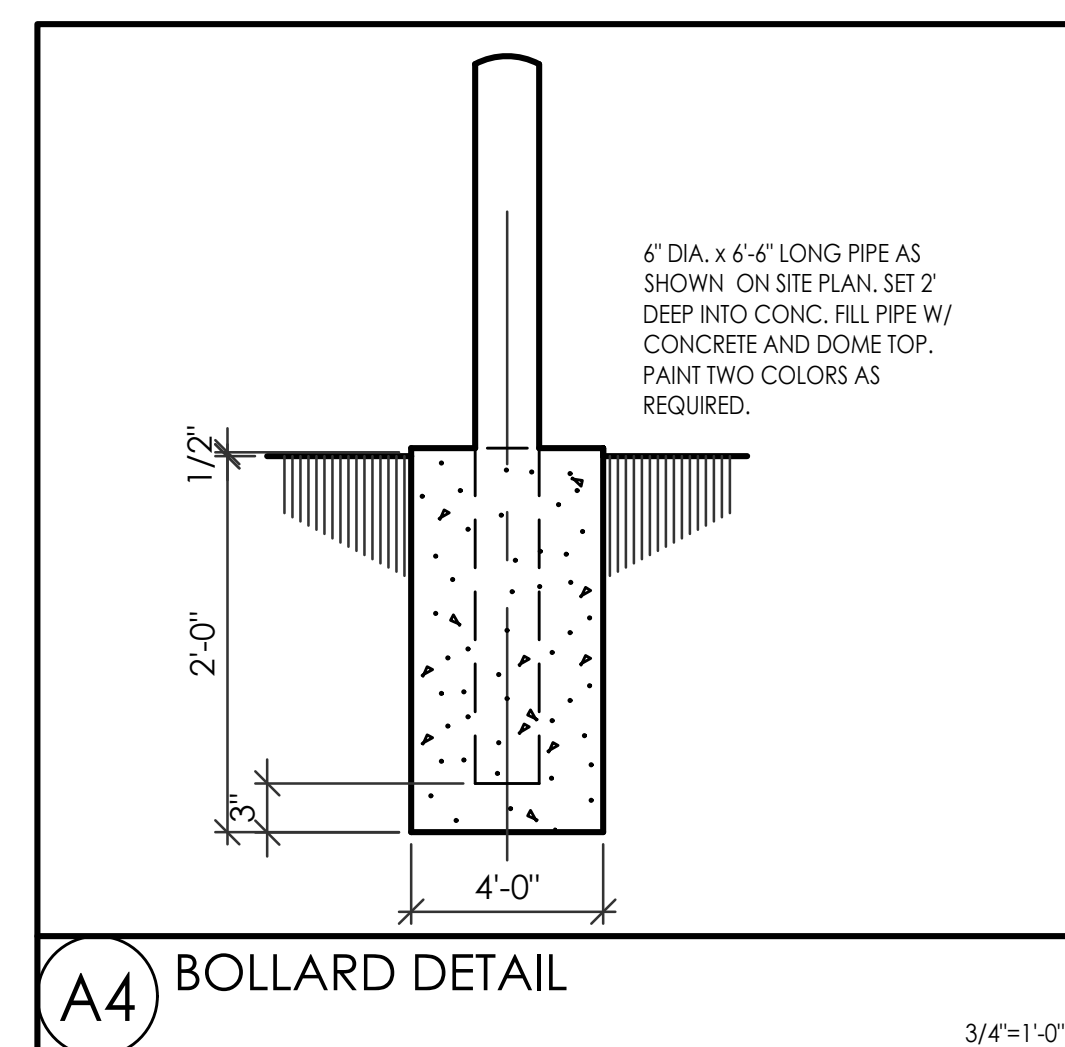
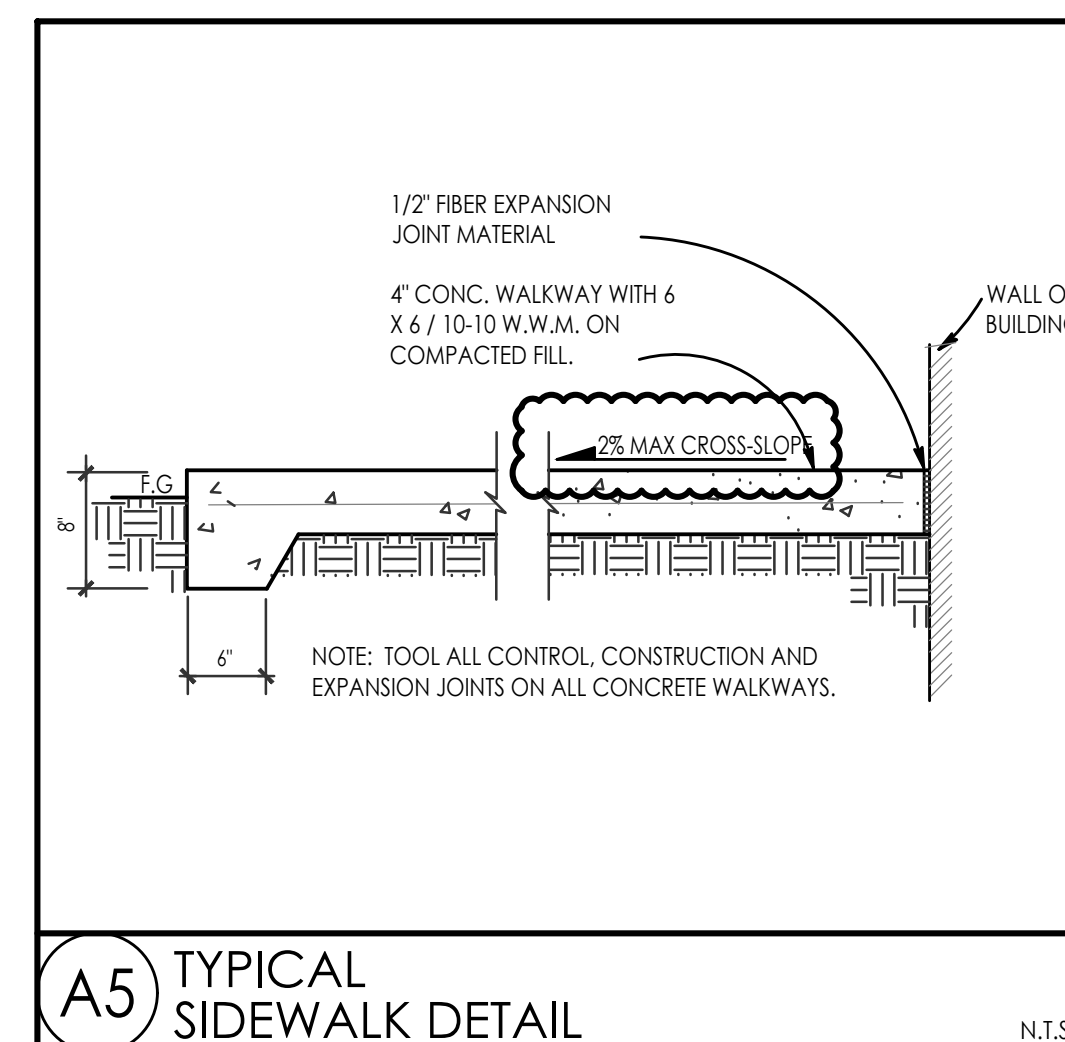
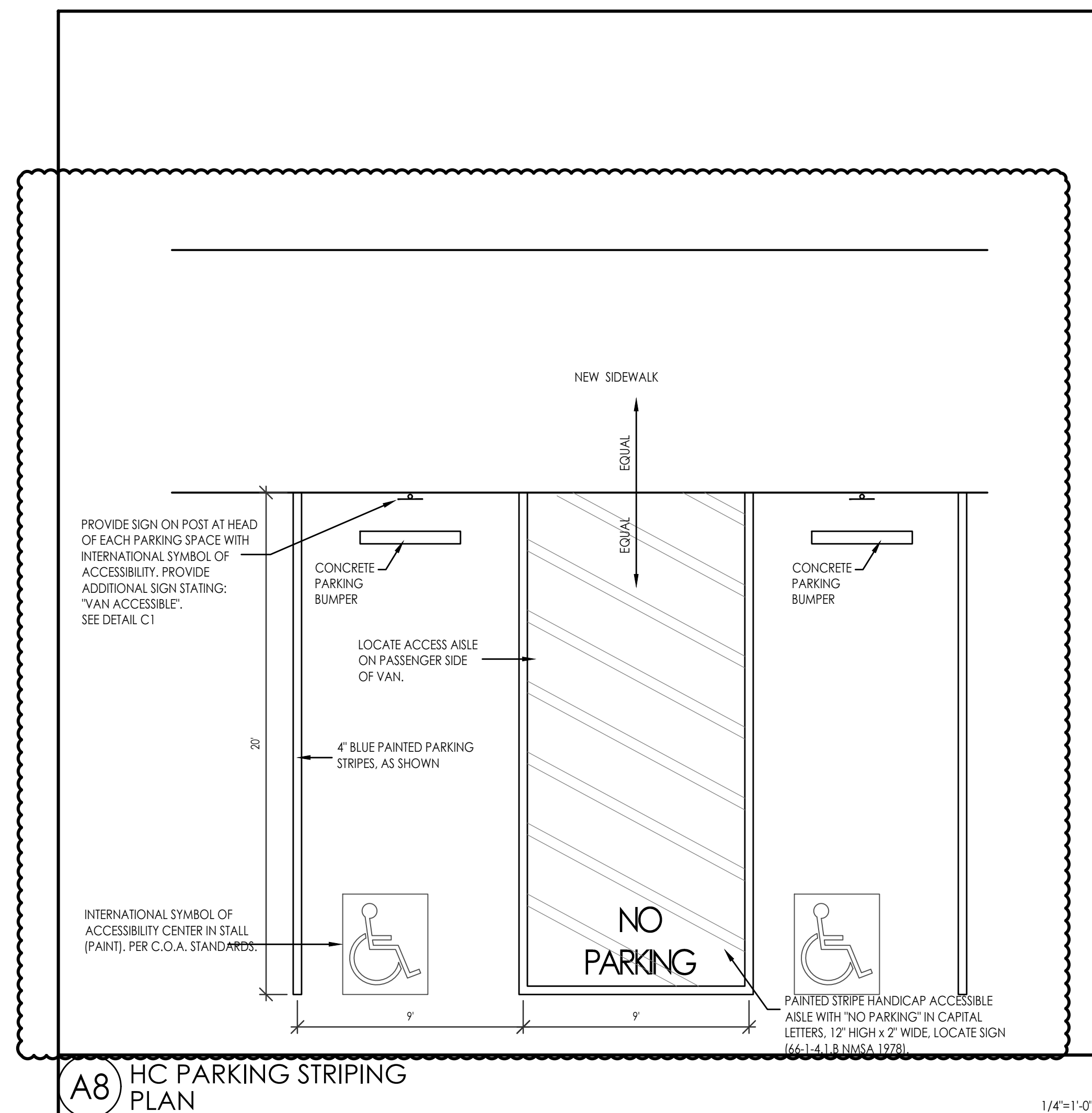
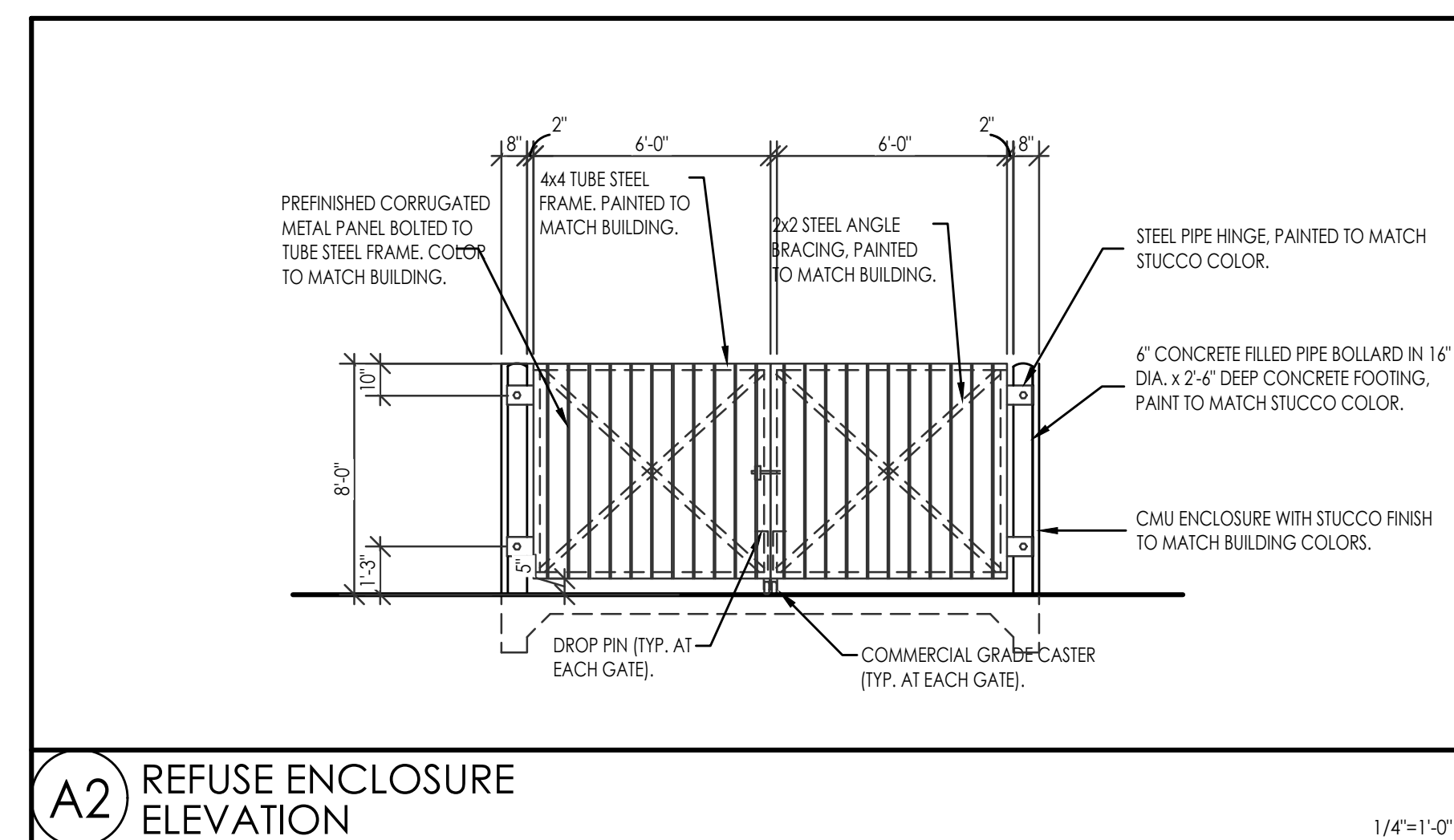
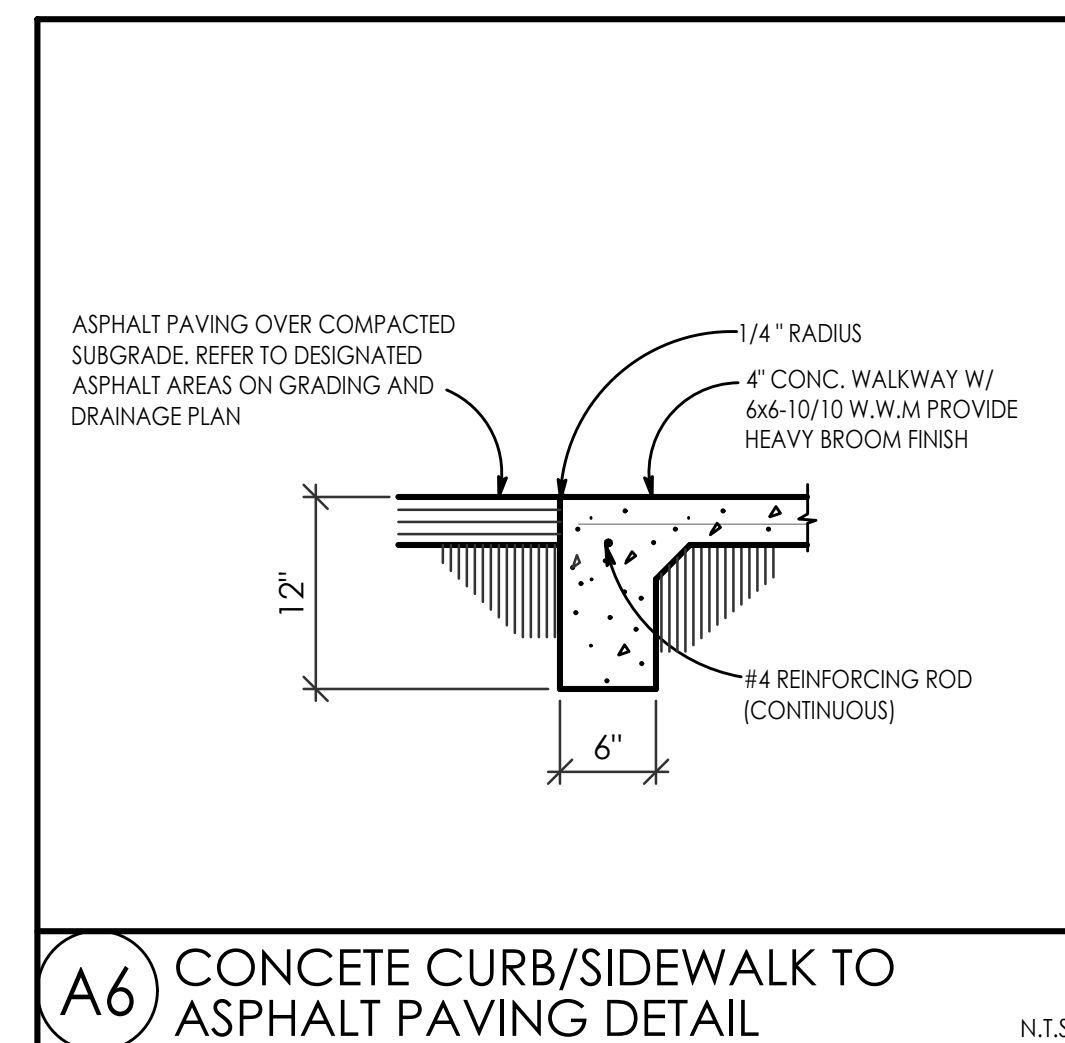
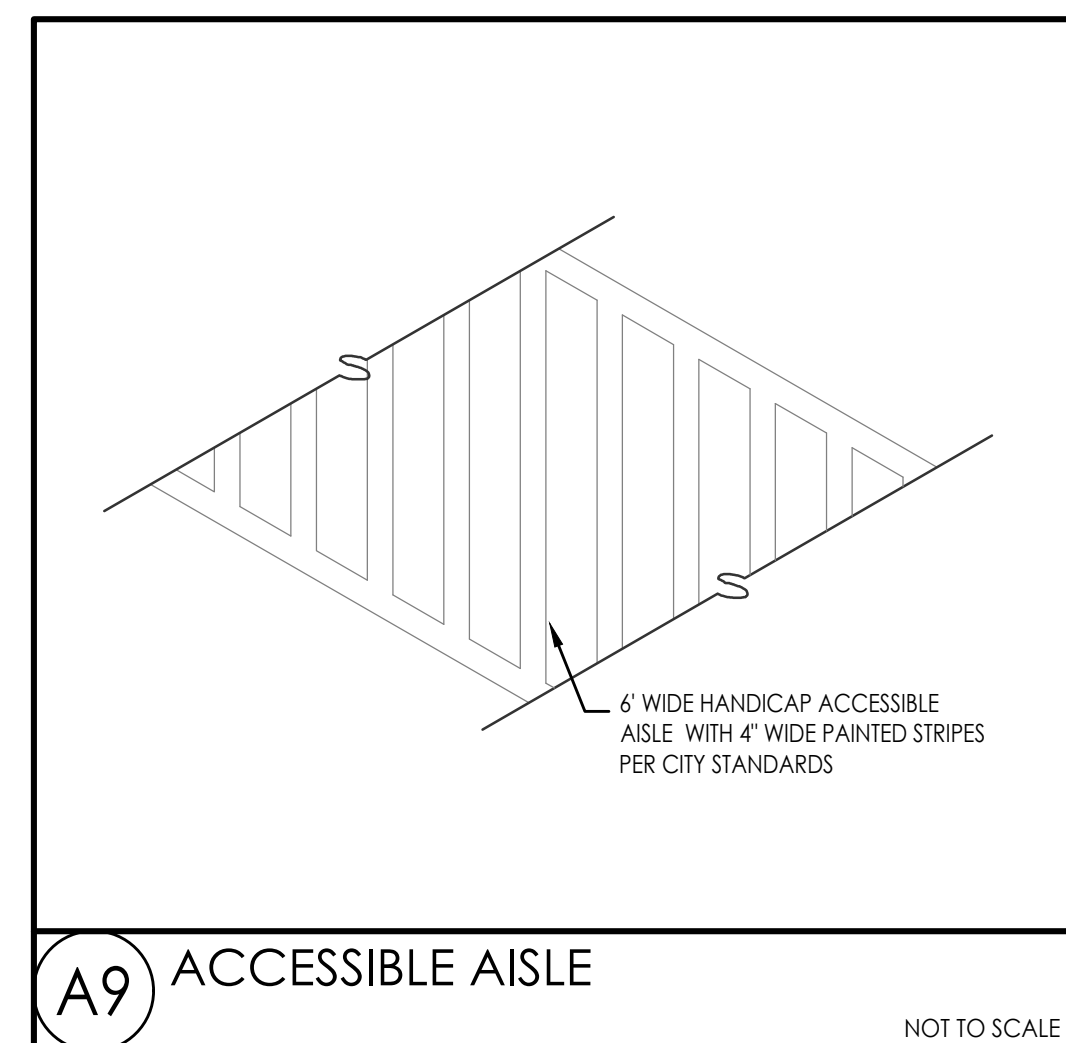
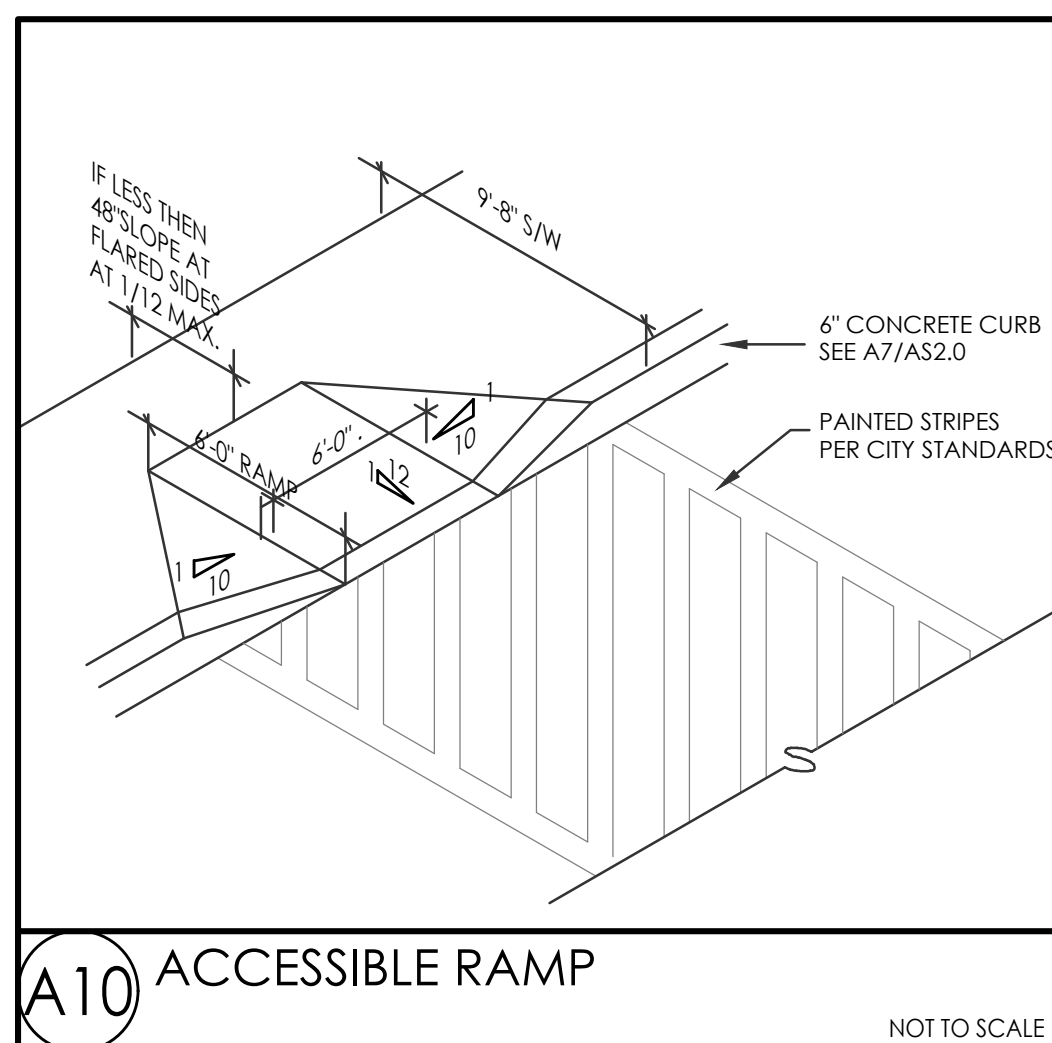
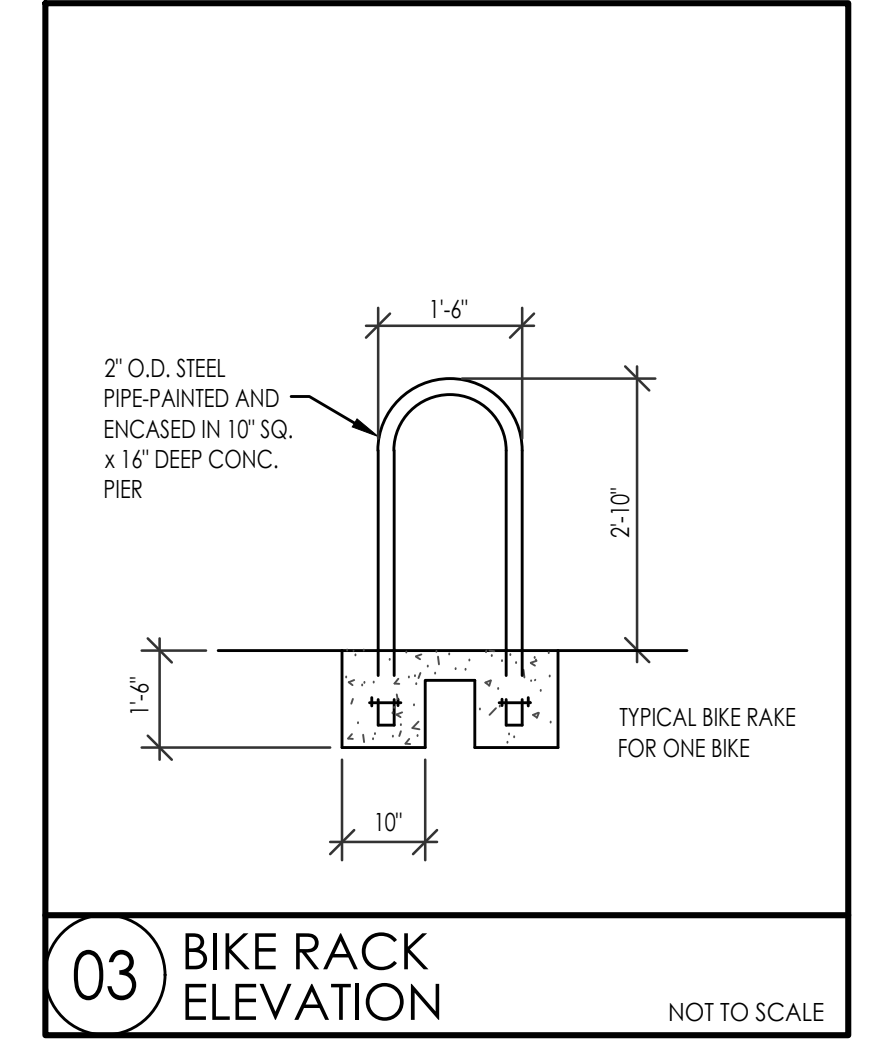
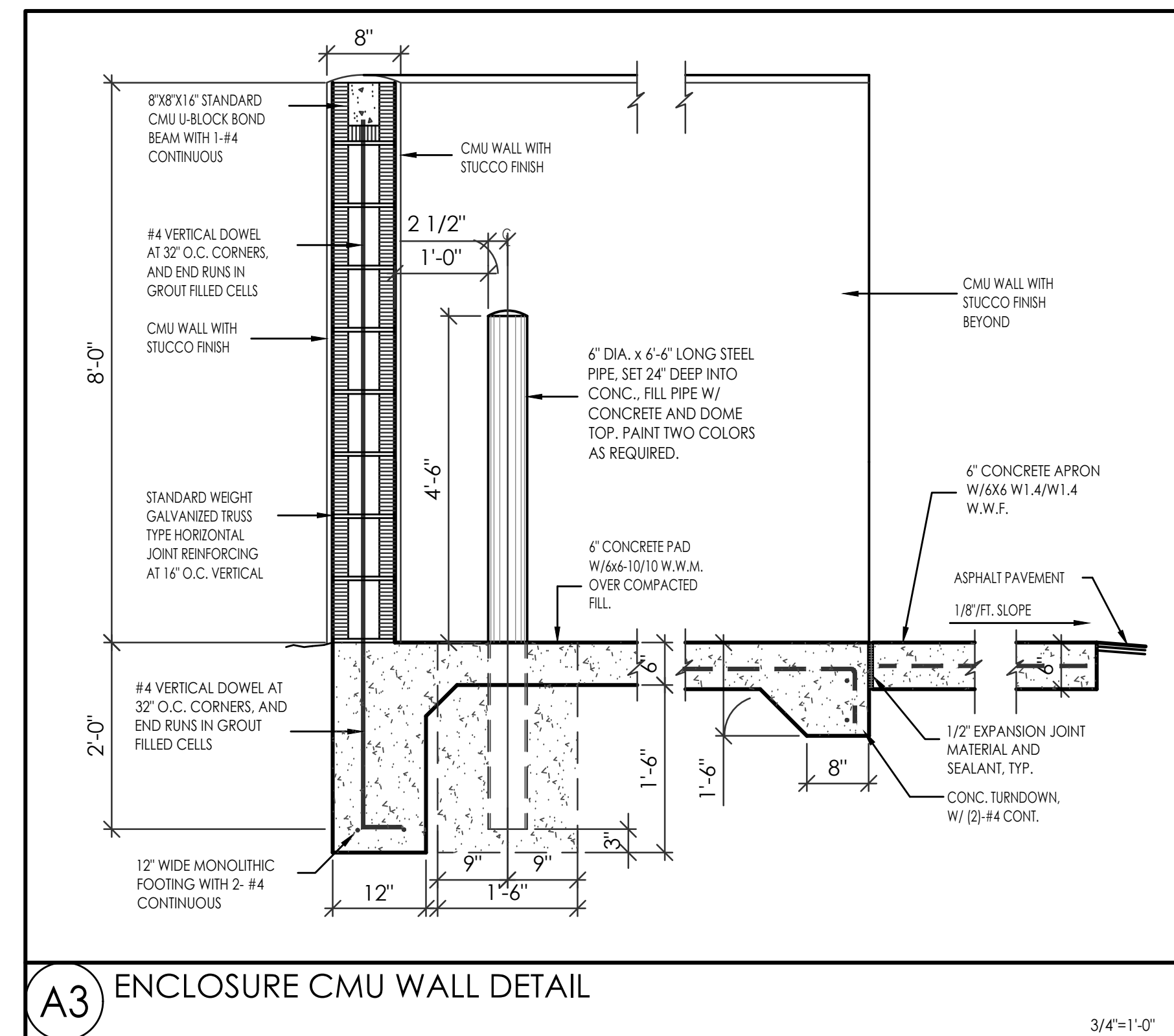
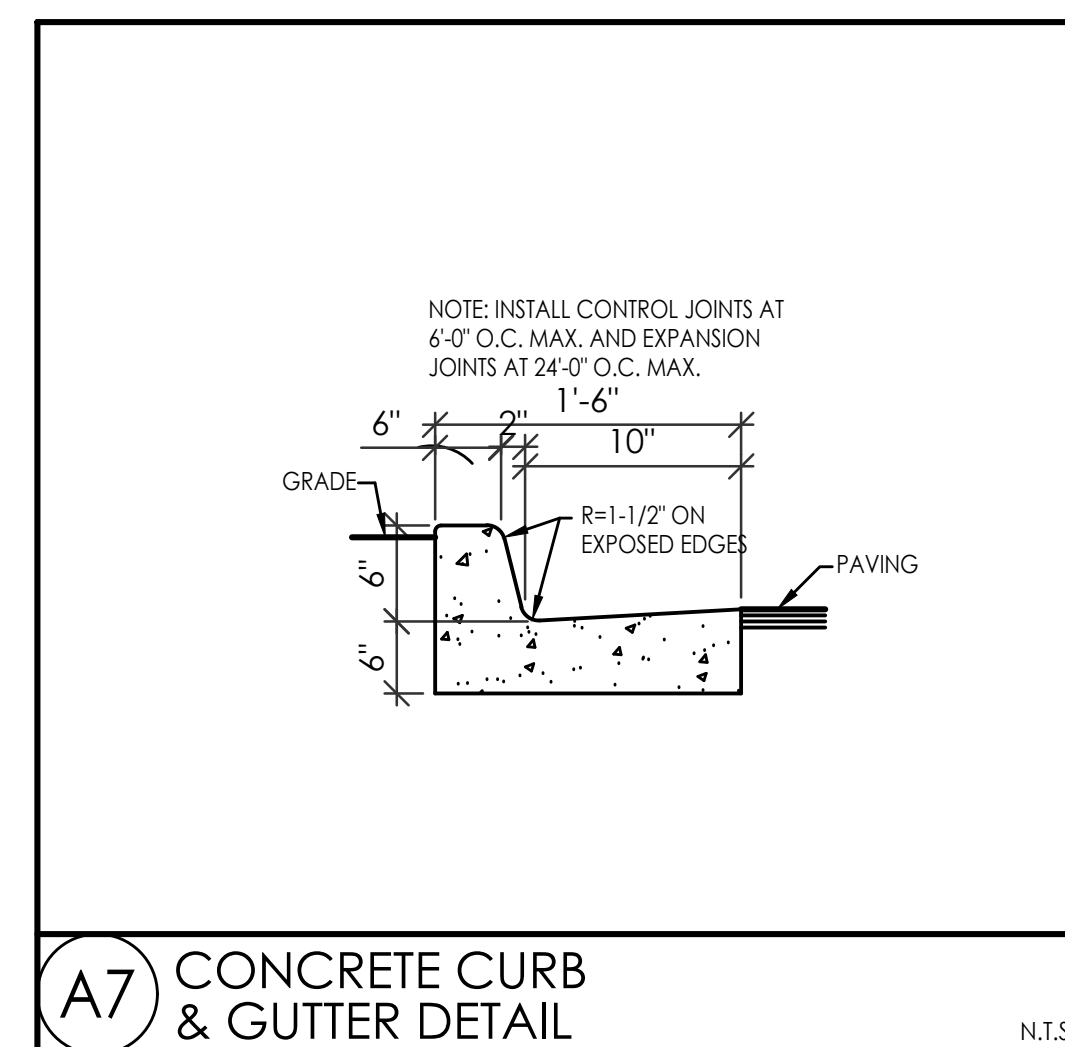
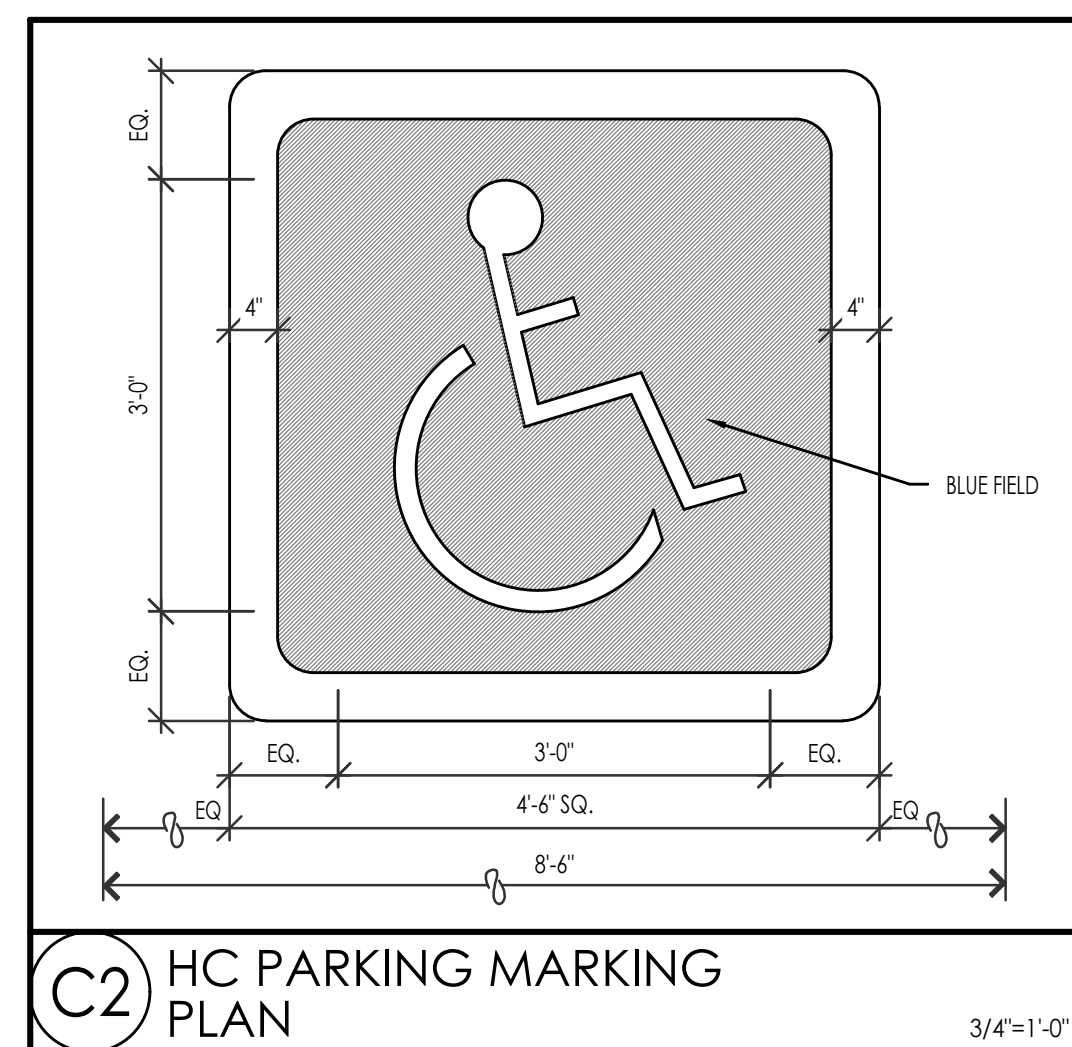
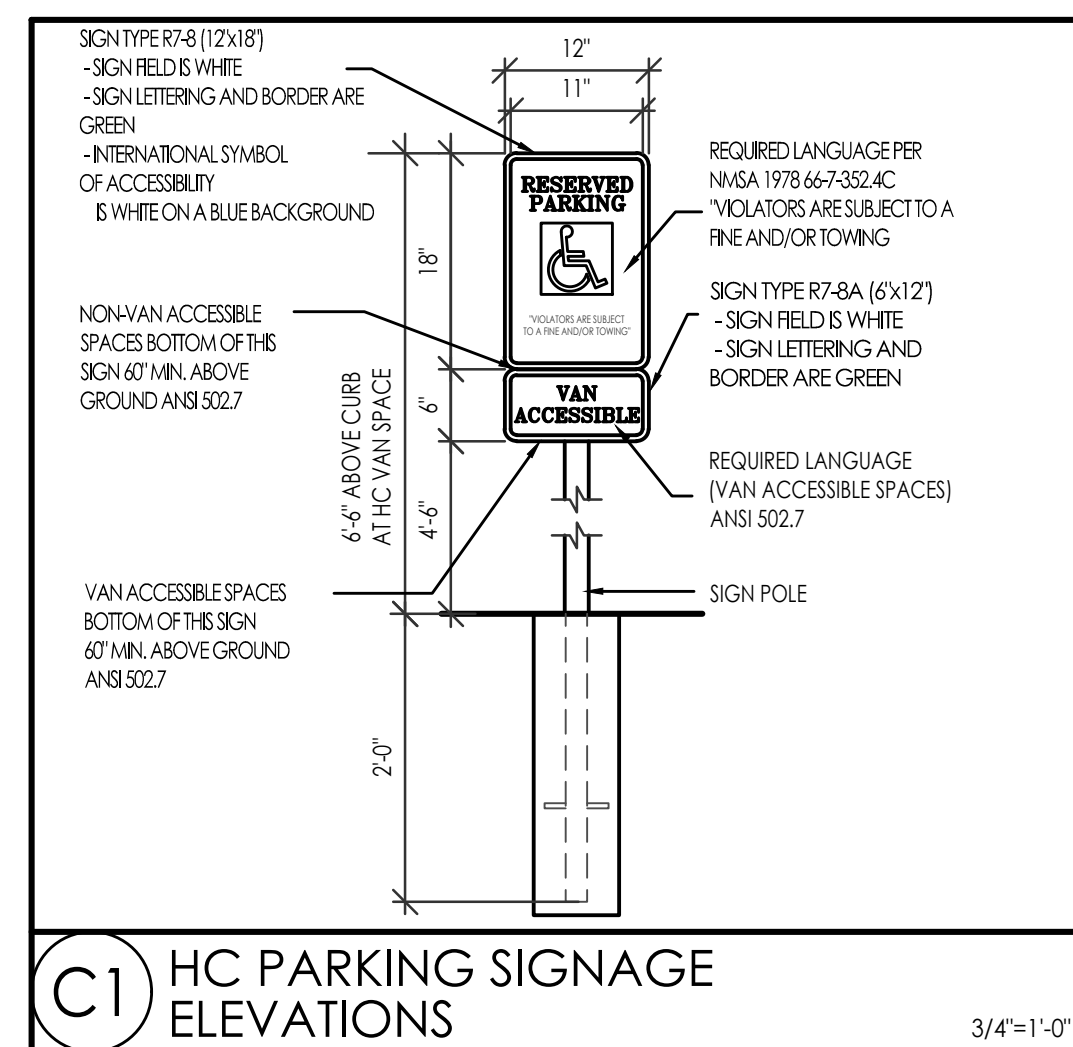
REVISION	DATE
02-16-2021	PER TOL REVIEW
04-08-2021	



DATE
01-25-2021

SHEET NUMBER

AS-1.1

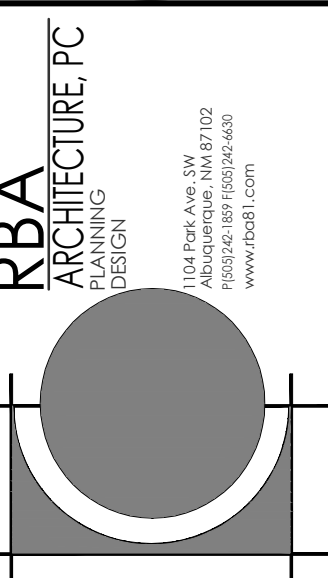
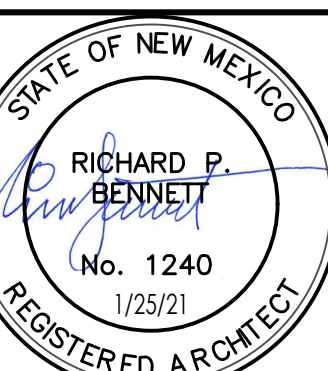


TRAFFIC CIRCULATION
LAYOUT APPROVED
4/7/2021

Jeanne wolfenbarger

ALBUQUERQUE SPORTS PLEX
ARCHITECTURAL SITE DETAILS
2811 KARSTEN CT. SE; ALBUQUERQUE, NM
PROJECT #1905

REVISION DATE
PER TCL REVIEW
02-16-2021



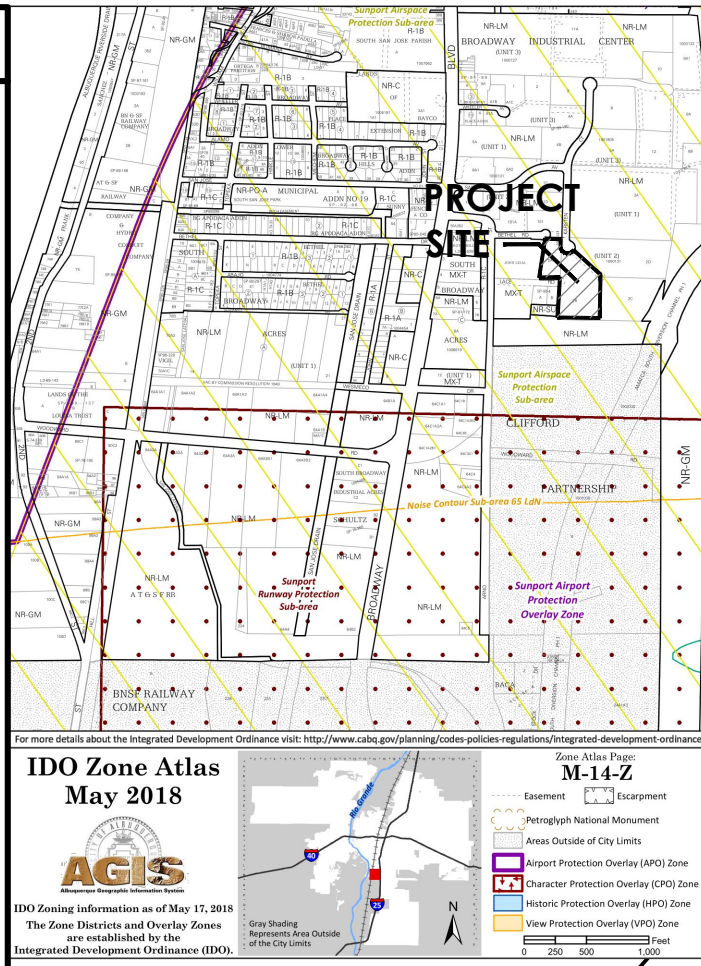
DATE
01-25-2021

SHEET NUMBER

AS-2.0

KEYED NOTES

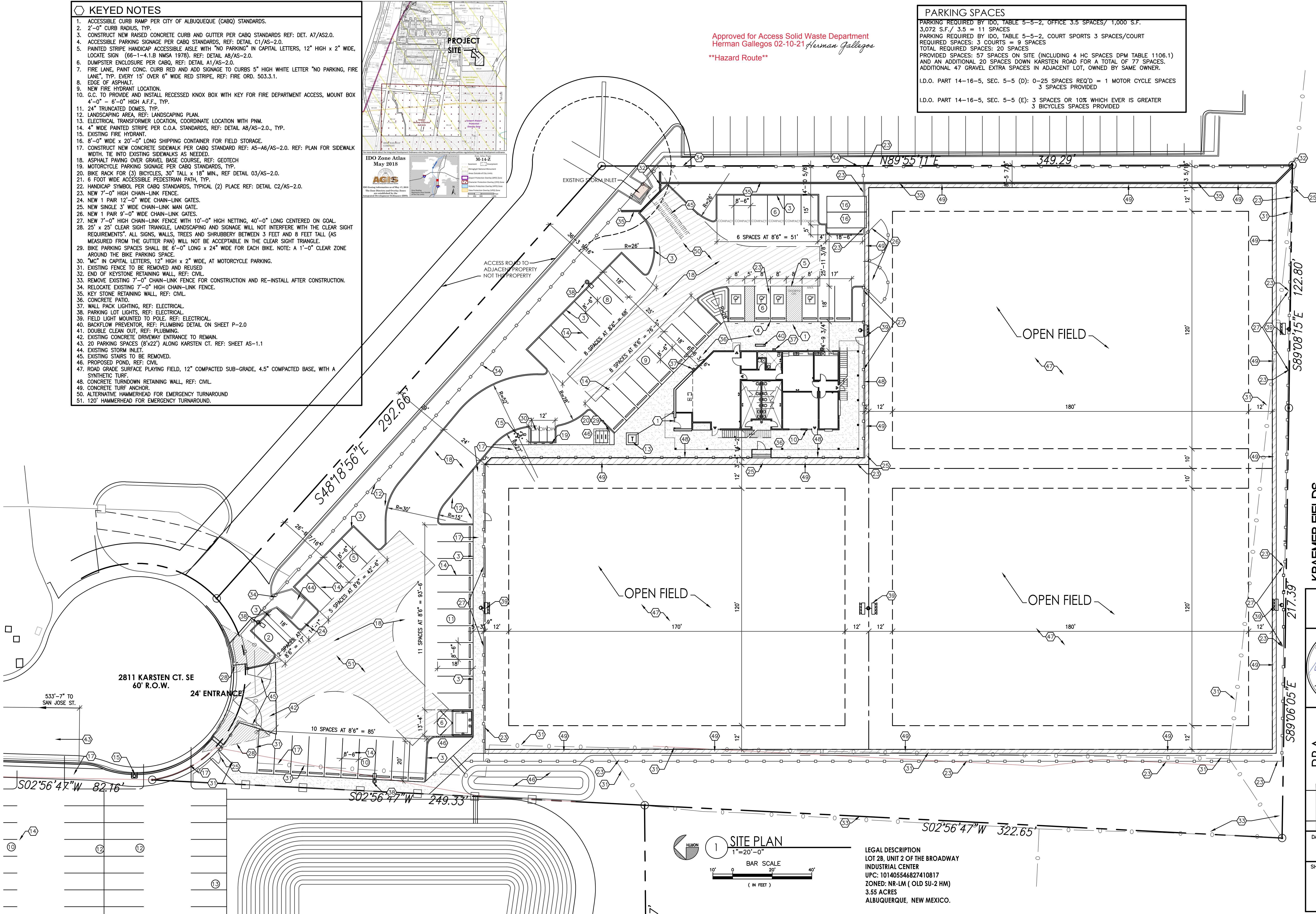
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Approved for Access Solid Waste Department
Herman Gallegos 02-10-21
Hazard Route

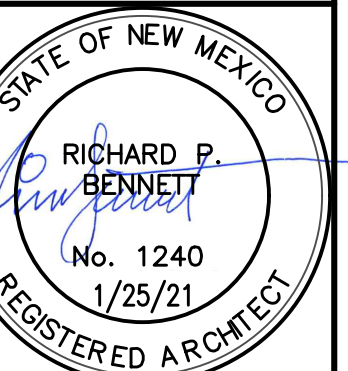
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2811 KARSTEN CT. SE: ALBUQUERQUE, NM
PROJECT #1905

REVISION DATE



RBA
ARCHITECTURE PC
PLANNING
DESIGN
101405546827410817
Albuquerque, NM 87102
www.rbaarch.com

DATE
01-25-2021

SHEET NUMBER

AS-1.0