

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 13, 2022

David McEach  
RBA Architecture, PC  
1104 Park Ave. SW  
Albuquerque, NM 87102

**Re: Kraemr Fields/ 2811 Karsten Ct. SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 01-25-2021 (M14-D0121)  
Certification dated 10-03-22

Dear Mr. McEach,

Based upon the information provided in your submittal received 09-28-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

www.cabq.gov

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

**TYPE OF SUBMITTAL:**

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



September 26, 2022

Re: Kraemer Fields  
2811 Karsten Ct. SE  
Albuquerque, NM 87102  
Project # BP-2021-08113  
Approved 06/26/2022

### TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Certification Layout, approved Site Plan dated 06/03/22 and with Architect's stamp dated 01/25/21.

The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on September 26, 2022 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Kraemer Fields at 2811 Karsten Ct. SE, Lot 2B, Unit 2 of the Broadway Industrial Center in Bernalillo County in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

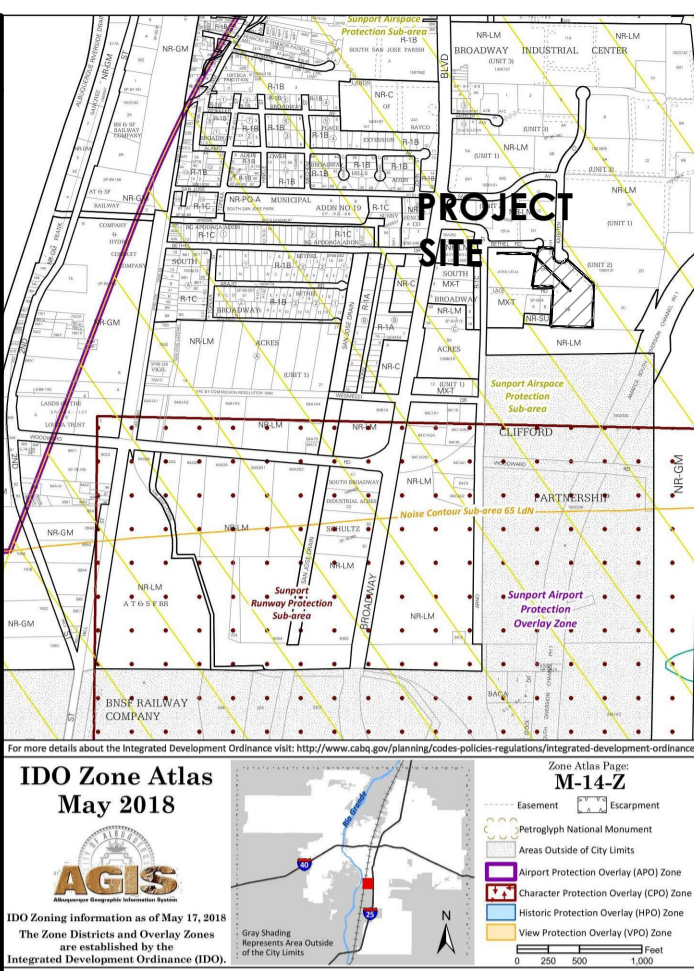
Sincerely,

A handwritten signature in blue ink, appearing to read "Rick Bennett". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Rick Bennett, Architect

**KEYED NOTES**

1. ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABQ) STANDARDS.
2. 2'-0" CURB RADIUS, TYP.
3. CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS REF: DET. A7/AS2.0.
4. ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL C1/AS-2.0.
5. PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.9 MMSA 1978), REF: DETAIL A8/AS-2.0.
6. DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1/AS-2.0.
7. FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
8. EDGE OF ASPHALT.
9. NEW FIRE HYDRANT LOCATION.
10. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
11. 24" TRUNCATED DOMES, TYP.
12. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
13. ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PNM.
14. 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0, TYP.
15. EXISTING FIRE HYDRANT.
16. 8'-0" WIDE x 20'-0" LONG SHIPPING CONTAINER FOR FIELD STORAGE.
17. CONSTRUCT NEW CONCRETE SIDEWALK PER CABQ STANDARD REF: AS-A6/AS-2.0. REF: PLAN FOR SIDEWALK WIDTH. TIE INTO EXISTING SIDEWALKS AS NEEDED.
18. ASPHALT PAVING OVER GRAVEL BASE COURSE, REF: GEOTECH
19. MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. SIGN TO READ "MOTORCYCLE PARKING ONLY".
20. BIKE RACK FOR (3) BICYCLES, 30" TALL x 18" MIN., REF DETAIL 03/AS-2.0.
21. 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.
22. HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (2) PLACE REF: DETAIL C2/AS-2.0.
23. NEW 7'-0" HIGH CHAIN-LINK FENCE.
24. NEW 1 PAIR 12'-0" WIDE CHAIN-LINK GATES.
25. NEW SINGLE 3" WIDE CHAIN-LINK MAN GATE.
26. NEW 1 PAIR 12'-6" WIDE CHAIN-LINK GATES.
27. NEW 7'-0" HIGH CHAIN-LINK FENCE WITH 10'-0" HIGH NETTING, 40'-0" LONG CENTERED ON GOAL.
28. 25' x 25' CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS\*. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAV) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
29. BIKE PARKING SPACES (8'6"x22") ALONG KARSTEN CT. REF: SHEET AS-1.1
30. "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING.
31. EXISTING FENCE TO BE REMOVED AND REUSED
32. END OF KEYSTONE RETAINING WALL, REF: CIVIL
33. REMOVE EXISTING 7'-0" CHAIN-LINK FENCE FOR CONSTRUCTION AND RE-INSTALL AFTER CONSTRUCTION.
34. RELOCATE EXISTING 7'-0" HIGH CHAIN-LINK FENCE.
35. KEY STONE RETAINING WALL, REF: CIVIL
36. CONCRETE PATIO.
37. NOT USED.
38. PARKING LOT LIGHTS, REF: ELECTRICAL.
39. FIELD LIGHT MOUNTED TO POLE. REF: ELECTRICAL.
40. BACKFLOW PREVENTOR, REF: PLUMBING DETAIL ON SHEET P-2.0
41. DOUBLE CLEAN OUT, REF: PLUMBING.
42. EXISTING 36" CONCRETE DRIVEWAY ENTRANCE TO REMAIN.
43. 20 PARKING SPACES (8'6"x22") ALONG KARSTEN CT. REF: SHEET AS-1.1
44. EXISTING STORM INLET.
45. EXISTING STAIRS TO BE REMOVED.
46. PROPOSED POND, REF: CIVIL
47. ROAD GRADE SURFACE PLAYING FIELD, 12" COMPACTED SUB-GRADE, 4.5" COMPACTED BASE, WITH A SYNTHETIC TURF.
48. CONCRETE TURNDOWN RETAINING WALL, REF: CIVIL
49. CONCRETE TURF ANCHOR.
50. ALTERNATIVE HAMMERHEAD FOR EMERGENCY TURNAROUND
51. 120" HAMMERHEAD FOR EMERGENCY TURNAROUND.
52. EXISTING ADA-COMPLIANT DRIVEWAY AND CURB RAMPS, VERIFY RAMPS MEET 7%-8.3% SLOPE.
53. CONCRETE PARKING BUMPER OR EQUAL, TYP.
54. EXISTING SIDEWALK.
55. NEW ADA COMPLIANT RAMP PER CABQ STANDARDS 2441.
56. 4-FOOT ADA PATHWAY.
57. CONSTRUCT DRIVE-PAD PER C.O.A. STD. DWG. 2425A, REF: CIVIL
58. CONSTRUCT PRIVATE ENTRANCE WITH REQUIRED 0.87" WATER BLOCK PER STD. DWG. 2426, REF: CIVIL.

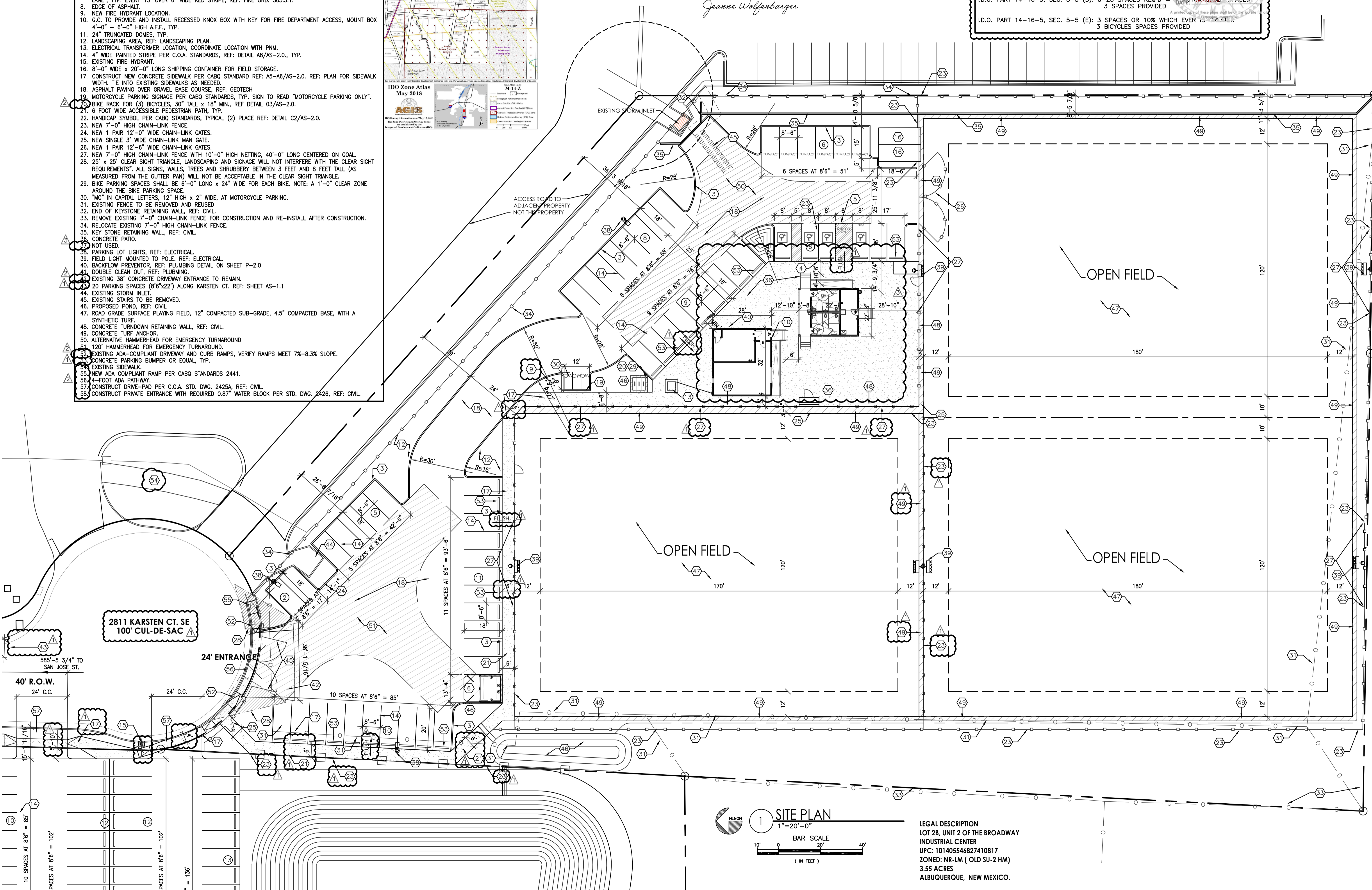


TRAFFIC CIRCULATION LAYOUT APPROVED  
06/03/2022

*Jeanna Wolfenbarger*

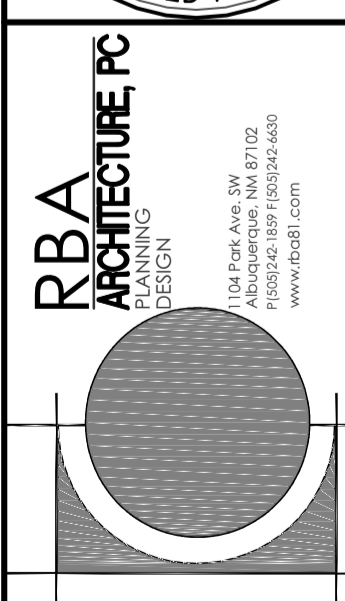
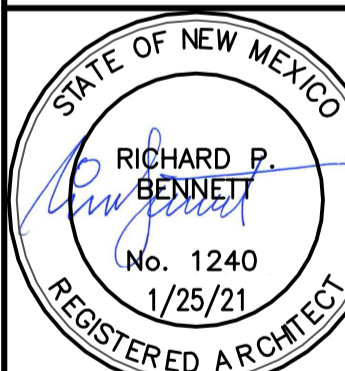
**PARKING SPACES**

PARKING REQUIRED BY IDO, TABLE 5-5-2, OFFICE 3.5 SPACES/896 S.F./ 285.71 = 3.14 (4) SPACES  
PARKING REQUIRED BY IDO, TABLE 5-5-2, COURT SPORTS 3 SPACES/100 S.F. = 3 SPACES  
REQUIRED SPACES: 3 COURTS = 9 SPACES  
TOTAL REQUIRED SPACES: 13 SPACES  
PROVIDED SPACES: 57 SPACES ON SITE (INCLUDING 4 HC SPACES, 10 MOTORCYCLE SPACES, 3 BICYCLE SPACES) AND AN ADDITIONAL 20 SPACES DOWN KARSTEN ROAD FOR A TOTAL OF 77 SPACES  
ADDITIONAL 47 GRAVEL EXTRA SPACES IN ADJACENT LOT, OWNED BY SA 86-0086-08 YCOR A TOTAL OF 124 SPACES. ADDITIONAL STREET PARKING ON BETH-L-SR. DATE: 06/28/22  
I.D.O. PART 14-16-5, SEC. 5-5 (D): 0-25 SPACES REQ'D = 3 SPACES PROVIDED  
I.D.O. PART 14-16-5, SEC. 5-5 (E): 3 SPACES OR 10% WHICH EVER IS GREATER 3 BICYCLES SPACES PROVIDED



**KRAEMER FIELDS  
ARCHITECTURAL SITE PLAN  
2811 KARSTEN CT. SE ALBUQUERQUE, NM  
PROJECT #1905**

REVISION DATE	09-16-2021
PER TCL REVIEW	04-06-2021
PER CABQ REVIEW	06-01-2022
PER BLDG CHANGES	



DATE	01-25-2021
SHEET NUMBER	AS-10

LEGAL DESCRIPTION  
LOT 2B, UNIT 2 OF THE BROADWAY  
INDUSTRIAL CENTER  
UPC: 101405546827410817  
ZONED: NR-LM ( OLD SU-2 HM)  
3.55 ACRES  
ALBUQUERQUE, NEW MEXICO.

