

DRAINAGE INFORMATION SHEET

961322

PROJECT TITLE: QUIKRETS ZONE ATLAS/DRNG. FILE #: m14/1024
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: TR A LANDS OF AT&T RAILWAY
CITY ADDRESS: 2700 SECOND ST. SW
ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
OWNER: QUIKRETS CONTACT: ARCHITECT
ADDRESS: 2700 SECOND ST SW PHONE: _____
ARCHITECT: SANDERS-ROGERS CONTACT: GEORGE SANDERS
ADDRESS: 301 GOLD SW, STE 202 PHONE: 247-1168
SURVEYOR: JEFF MORTENSEN & ASSOC 87102 CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
CONTRACTOR: NOT KNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

12-23-96
BY: JEFFREY G. MORTENSEN

J E G F I V L



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

June 26, 2002

George L. Sanders, Reg. Architect
Sanders Rogers Architects
301 Gold Ave. S.W.
Albuquerque, NM 87102

File/D0024

Re: Certification Submittal for Final Building Certificate of Occupancy for
Quickcrete N.M., [M-14 / D024]
2700 Second St. S.W.
Architect's Stamp Dated 04/30/02

Dear Mr. Sanders:

The TCL / Letter of Certification submitted on June 20, 2002 is not sufficient for acceptance by this office for a Permanent Certificate of Occupancy (C.O.), however, a 30-day Temporary C.O. (Temp) will be issued to permit legal occupancy of the building. The Temp has been issued allowing the following outstanding procedural issue to be completed within this time period. The exact copy of the approved Site Plan in the City Permit sets must be submitted with the Letter/Statement of Certification. Copy received was not the appropriate copy. The plan submitted must be marked up, in red, showing changes in field construction from the approved layout and will be evaluated for acceptability. Also, the plan had no Architect's seal, signed nor dated, which would have been placed on the original Site Plan as part of the City Permit sets that were approved at that time.

When the site is complete and a Permanent C.O. is needed, a Letter of Certification (specifically stating "Certification"), stating that the site was built in substantial compliance with the approved plan, needs to be included with an acceptable copy of the Traffic Circulation Layout (TCL).

All TCL/Cert documentation must be submitted with a FULLY completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center. Submit to front counter personnel for log in and evaluation by Transportation. Complete the Information Sheet for every submittal or have a copy made of the first sheet completed before it is stamped at the front counter here. Copies of this form can be made for use with each subsequent submittal for this project.

This submittal and approval for a Temp has been accepted to help this project move along, but the next Temp submittal, if similar, will not be accepted. The Temp Certification submittal must be the acceptable, approved DRB Site Plan or TCL.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

If you have any questions, please call me at 924-3620.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mike Zamora', with a large, sweeping flourish extending upwards and to the right.

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Metal Building for Quickcrete ZONE MAP/DRG. FILE #: M-14/D24
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 2700 2nd SW

ENGINEERING FIRM: Jeff Martens
ADDRESS: 6010 Midway
CITY, STATE: Albuquerque NM

CONTACT: Jeff
PHONE: _____
ZIP CODE: _____

OWNER: Quickcrete NM
ADDRESS: 2700 2nd SW
CITY, STATE: Albuquerque NM

CONTACT: George Sa
PHONE: _____
ZIP CODE: _____

ARCHITECT: George L. Sanders
ADDRESS: 301 Gold Ave Suite 202
CITY, STATE: Albuquerque NM

CONTACT: George Sanders
PHONE: 247-1166
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Acumen Construction
ADDRESS: 4373 Alameda Vista NE
CITY, STATE: Albuquerque NM 87110

CONTACT: Bronson Cummins
PHONE: 480-4280
ZIP CODE: 87110

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

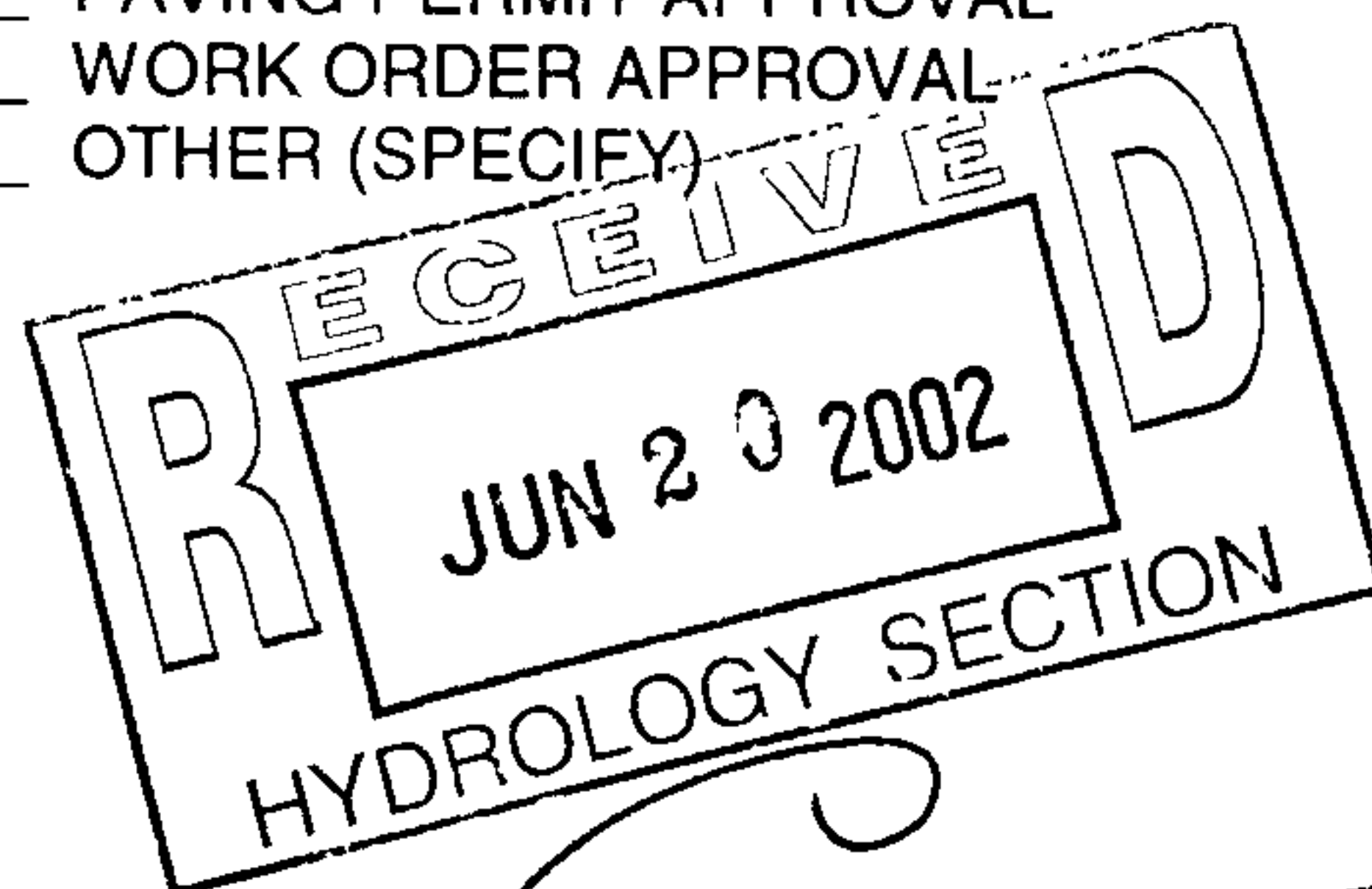
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 6/20/02

BY: Bronson Cummins



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

6/26/02 - Rejected C.O. 6/26 - Sent letter to Arch. ✓ - logging in.
wrong Set plan for
no Arch's Stamp on Plan -

C 17 sub
22 gpe



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

July 12, 2002

George Rogers, Reg. Architect
George Rogers, AIA.
600 Central Ave. S.W., Suite 111
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Quickcrete of N.M., [M-14 / D024]
2700 Second St. S. W.
Architect's Stamp Dated 04/03/02

Dear Mr. Rogers:

The TCL / Letter of Certification submitted on July 9, 2002 will not allow acceptance by this office for final Certificate of Occupancy (C.O.). It does not completely match the approved plan in the permit set. Field conditions must match the TCL submitted by you and the conditions of the original approved permit site plan.

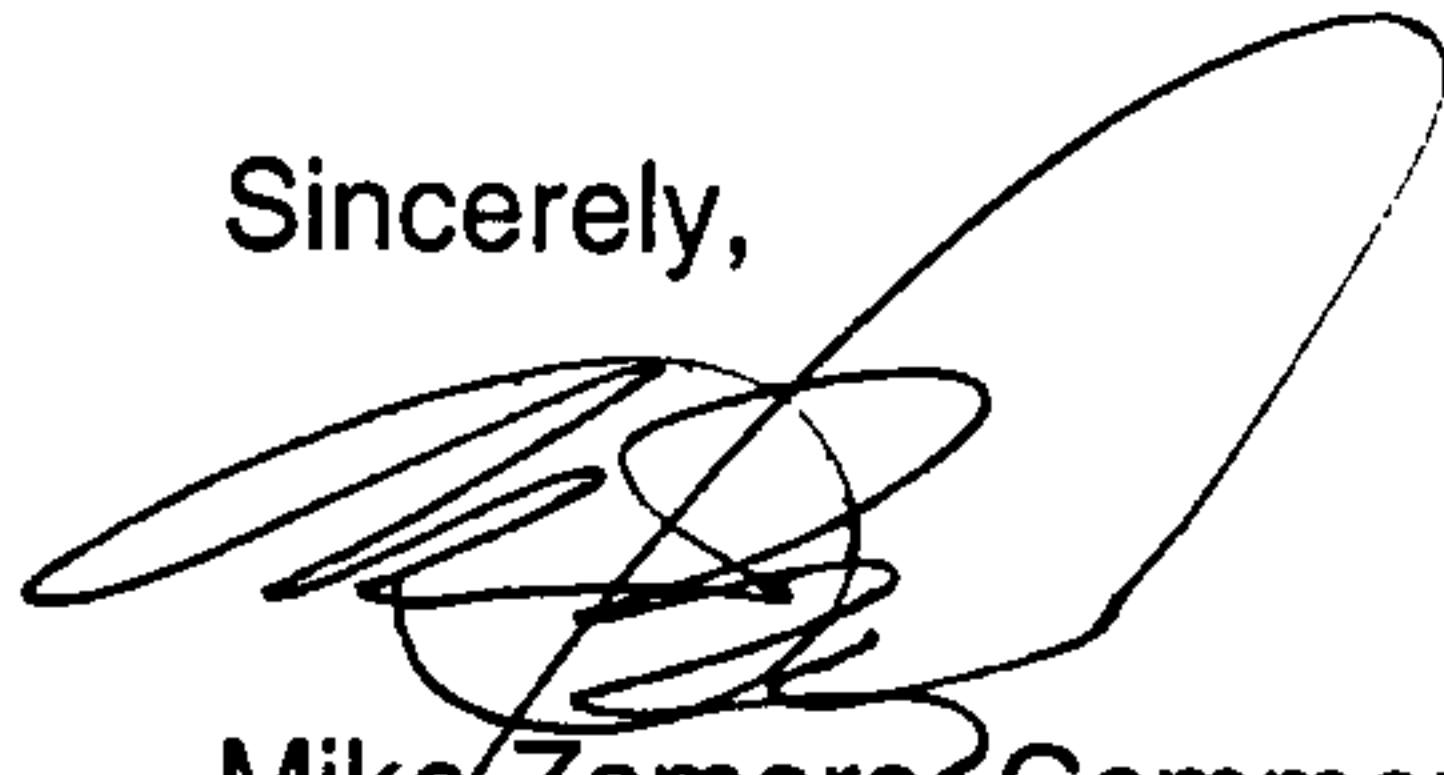
Included is a portion of the copy of the approved, permitted site plan on file in Building Safety. Changes in H.C. parking have been discussed and are accepted by this office, but remaining items of construction need to be sufficiently completed prior to C.O.

The TCL submitted for Final C.O. shows the parking required by the Zoning Division—20 stalls required. The number of parking stalls required for the total size of the development on this lot must be kept clear for these vehicles. All stored items must be removed from the parking area. All parking for this site must be striped again, per the approved, permitted site plan, for the C.O. Common practice is to turn a 'new' product over to the owner. Since so much time was allowed to pass after building completion/occupation the striping is wearing off and is no longer 'new'.

The entrance (unobstructed gate width) to the site must be measured, place that information on the TCL for the Certification. Curbed end island (and all existing work) shown and called out, at the south end of the front row of parking, must be complete as it is shown on the plan (broken curbing seen on field check). A second option is to remove all curbing of the end island and install asphalt paving and fill unpaved area with City standard asphalt. Stripe this area as diagonally-striped end island--similar to the striped end island at the new metal building--10' wide.

Submit acceptable Certification package (Cert) along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation once above-mentioned work is completed. TCL (Site Plan) and/or Letter of Certification of Cert must be stamped with the Designer's seal, signed and dated with the date of the Cert.

Sincerely,



Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

Permit # 961323

M-14/D24

PROJECT TITLE: Metel Bldg for Quickereto ZONE MAP/DRG. FILE #: _____
 DRB # _____ EPC# _____ WORK ORDER#: _____

LEGAL DESCRIPTION _____
 CITY ADDRESS 2700 2nd SW

ENGINEERING FIRM: Jeff Mortensen PC
 ADDRESS: 6010-B Midway Park Blvd NE
 CITY, STATE: Albuquerque NM 87105

CONTACT: Jeff Mortensen
 PHONE: _____
 ZIP CODE: 87105

OWNER: Quickereto NM
 ADDRESS: 2700 S 2nd SW
 CITY, STATE: Albuquerque NM

CONTACT: Tim Huvish
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: GEORGE SANDERS AIA
 ADDRESS: 600 Central Ave. S.W. Suite III
 CITY, STATE: Albuquerque N.M. 87102

CONTACT: George Sanders
 PHONE: 842-8413
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: Acumen Const
 ADDRESS: 4323 Altura Vista NE
 CITY, STATE: Albuquerque NM

CONTACT: Bronson Cummins
 PHONE: 480-4280
 ZIP CODE: 87110

CHECK TYPE OF SUBMITTAL

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR SITE PLAN)
- ☐ OTHER

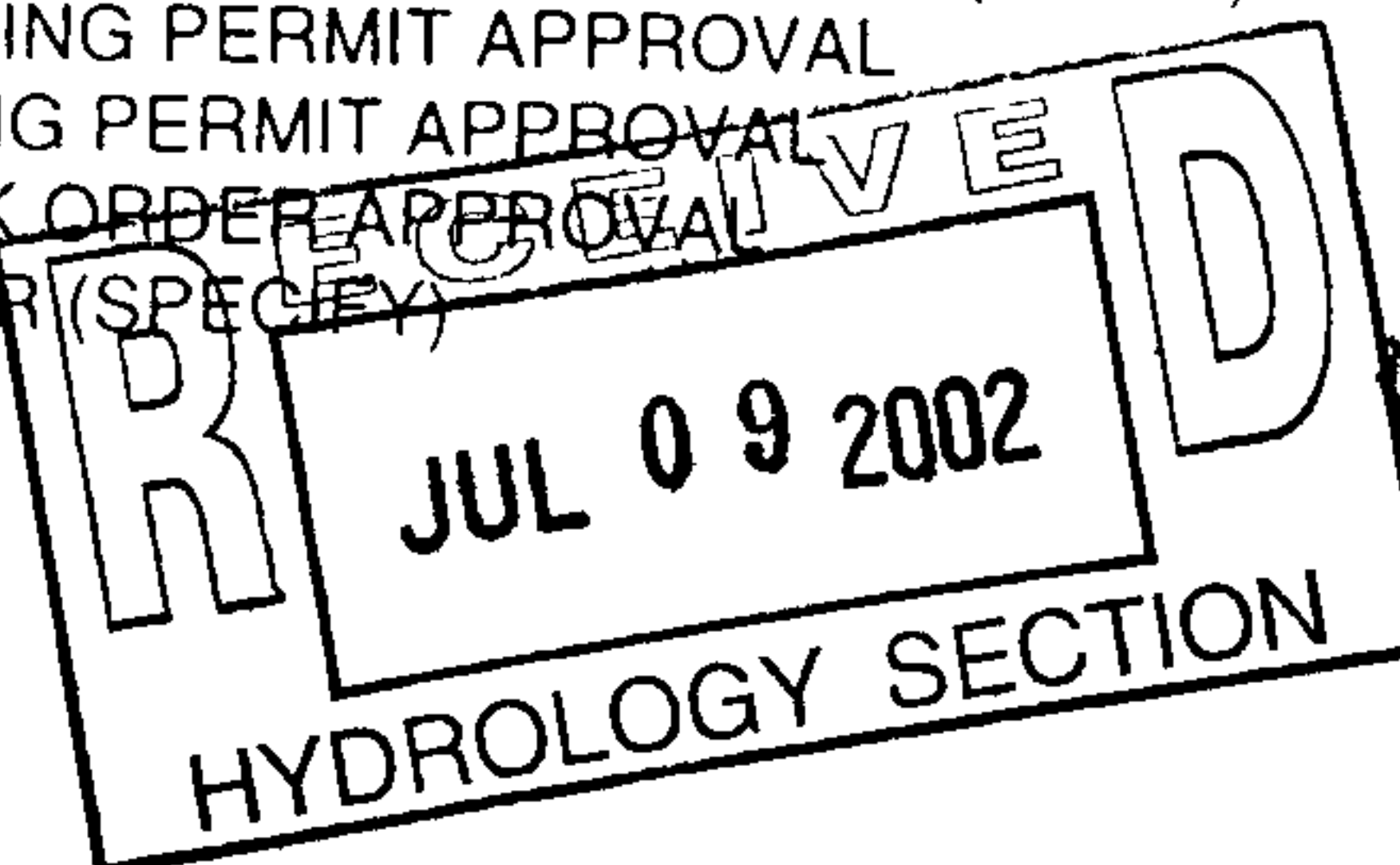
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED 7/8/02 BY Bronson Cummins



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

7/12/02 - Rej'd const letter to Arch, j. logged in

961323

**City of Albuquerque**

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 10, 2002

Jeff Mortensen, P.E.
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd NE
Albuquerque, New Mexico 87109

RE QUIKRETE OF NEW MEXICO (M-14/D24)
(2700 Second Street SW)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 12/20/1996
ENGINEERS CERTIFICATION DATED 5/8/2002

Dear Mr. Mortensen.

Based upon the information provided in your Engineers Certification submittal dated 5/9/2002,
the above referenced site is approved for Permanent Certificate of Occupancy

If I can be of further assistance, please contact me at 924-3981

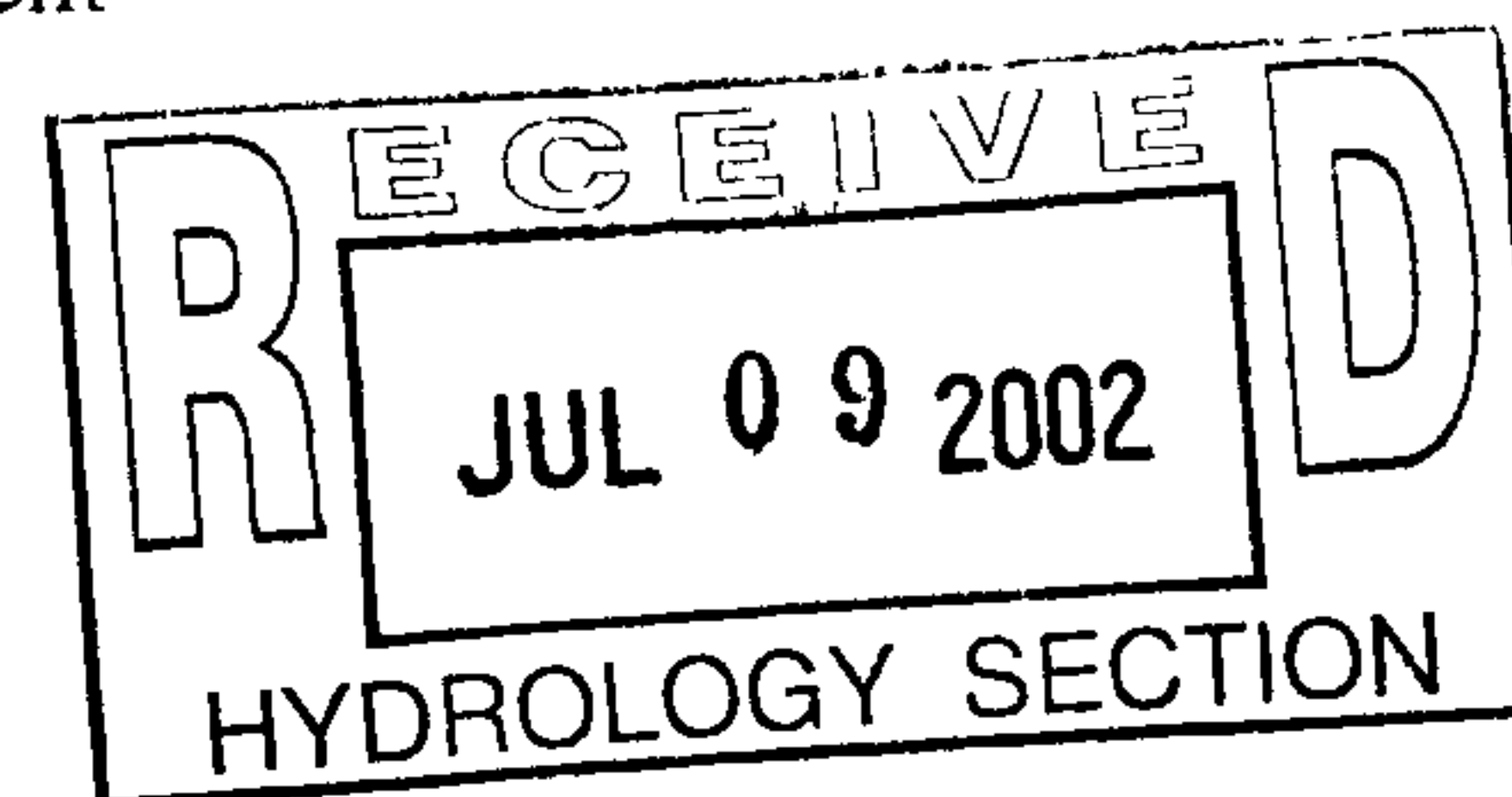
Sincerely,

Teresa A. Martin

Hydrology Plan Checker
Public Works Department

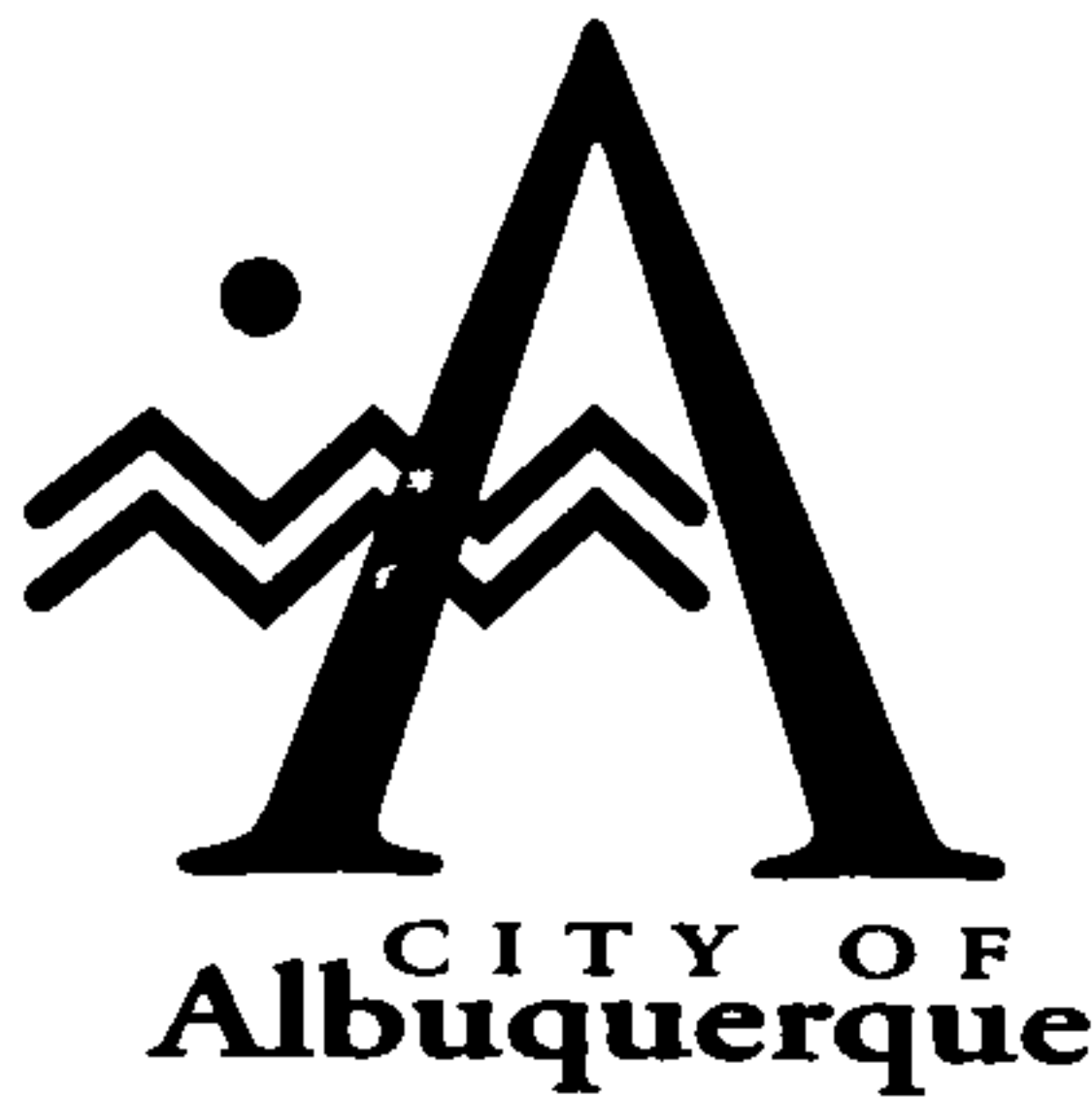
C. Vickie Chavez, COA
approval file
drainage file

XC: Bronson Cummins



Post-it* Fax Note	7671	Date	5/14/02	# of pages	1
To	Bronson C.	From	Chris S.		
Co/Dept		Co	JMA		
Phone #		Phone #	345-4250		
Fax #	232-4388	Fax #			

• 5 Sufferⁱⁿ Reg'd Pawling - Fake Out - Restripe
- Striped width?



January 2, 1997

Martin J. Chávez, Mayor

Jeff Mortensen
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: QUIKRETE (M14-D24). GRADING AND DRAINAGE PLAN SUBMITTAL FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED DECEMBER 20,
1996.**

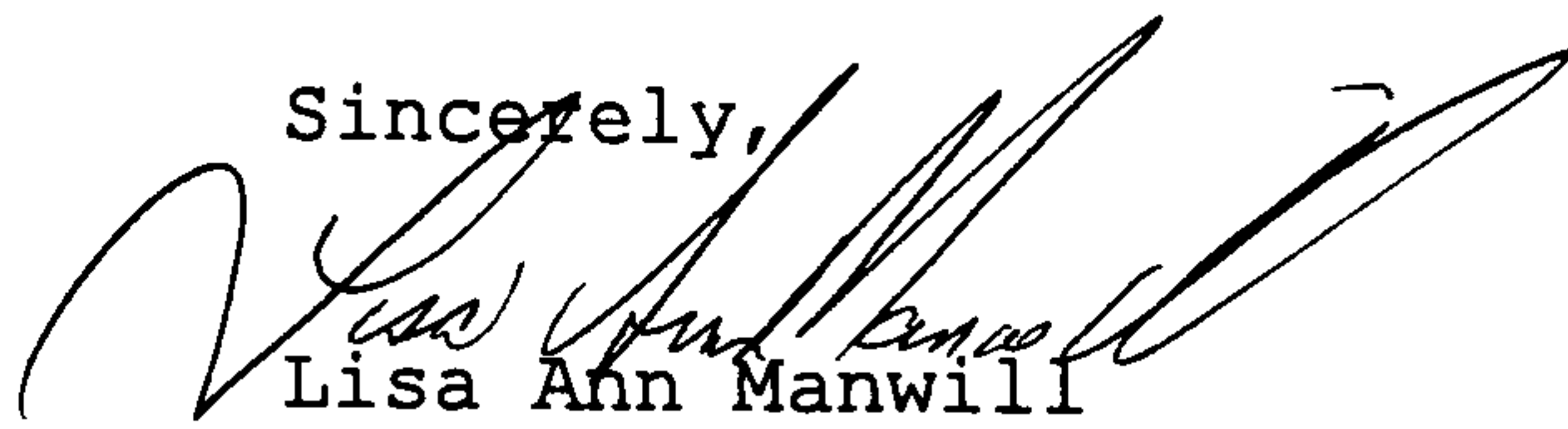
Dear Mr. Mortensen:

Based on the information provided on your December 24, 1996
submittal, the above referenced project is approved for Building
Permit.

An Engineer's Certification will be required prior to certificate of
Occupancy.

If I can be of further assistance, please feel free to contact me at
768-3622.

Sincerely,

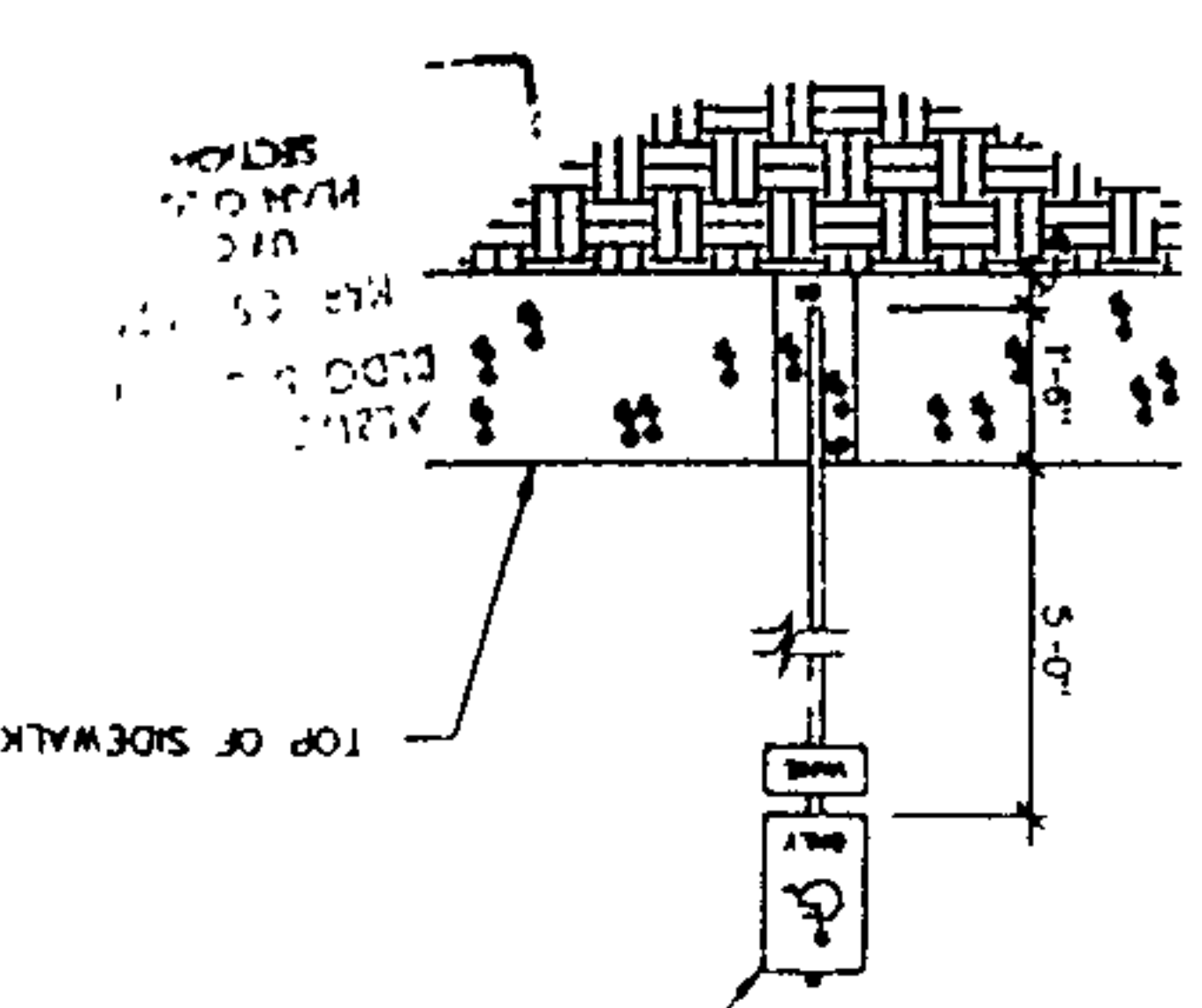


Lisa Ann Manwill
Engineering Assoc./Hyd.

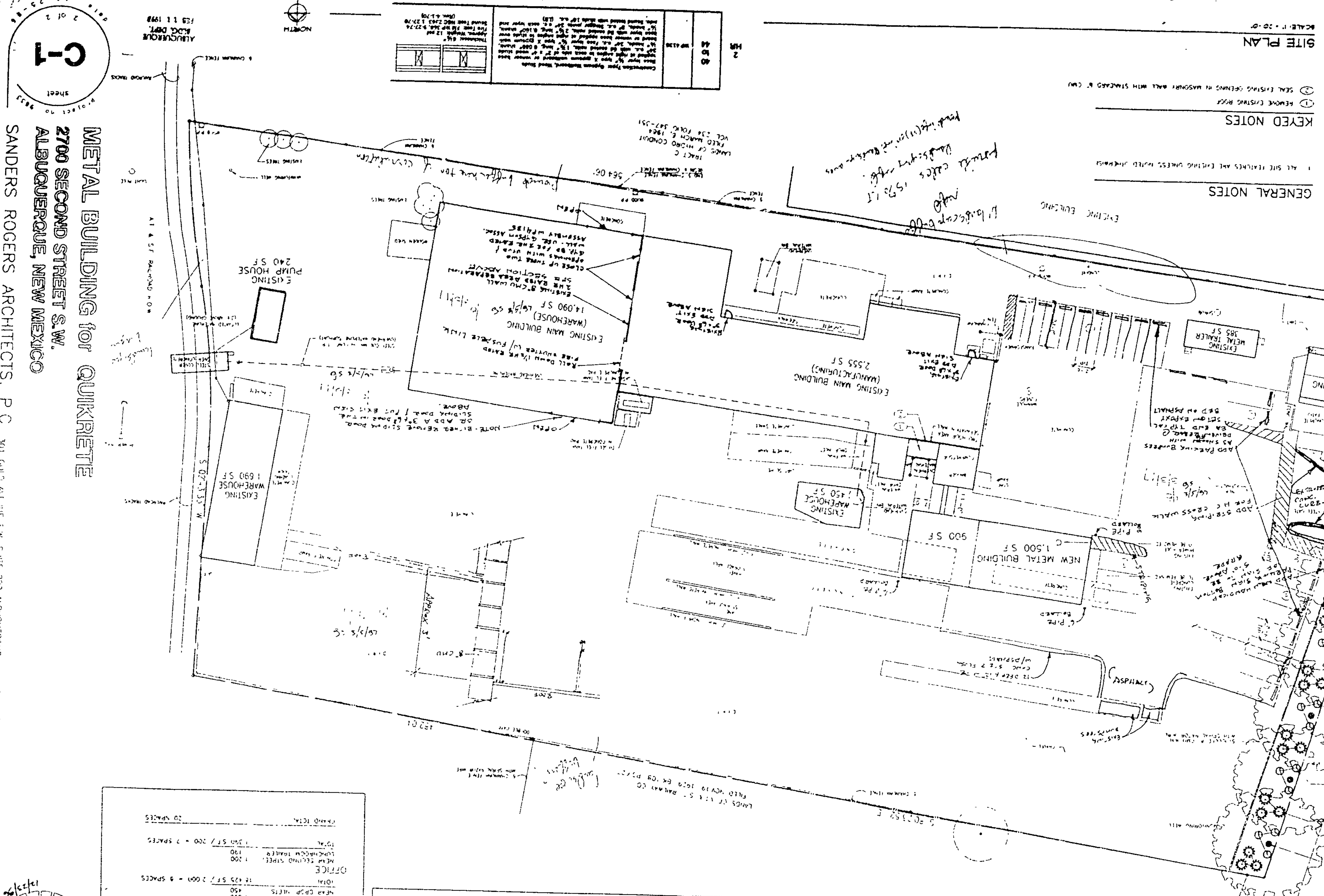
c: Andrew Garcia
File



H.C. SIGN DETAIL



SITE PLAN



- GENERAL NOTES
- 1. ALL SITE FEATURES ARE EXISTING UNLESS NOTED OTHERWISE
 - 2. REMOVE EXISTING ROOF
 - 3. SEAL EXISTING OPENING IN MASONRY WALL WITH STANDARD R.C.W.
- KEYED NOTES

PLANTING LEGEND

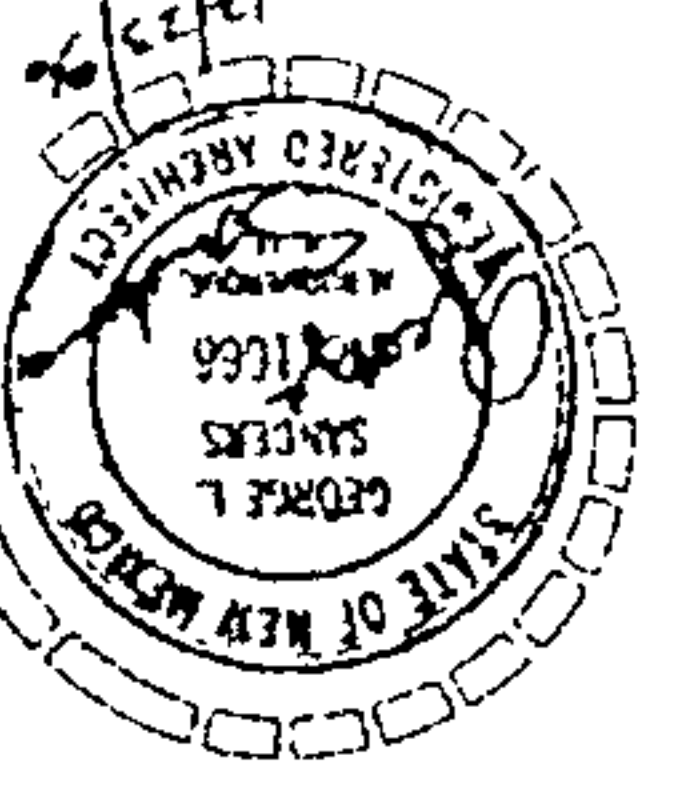
SYMBOL	DESCRIPTION
(Symbol)	NO. CRANES COTTONWOOD
(Symbol)	CHINA
(Symbol)	PROSTATE SQUIRREL
(Symbol)	PLANTING

MULCHES

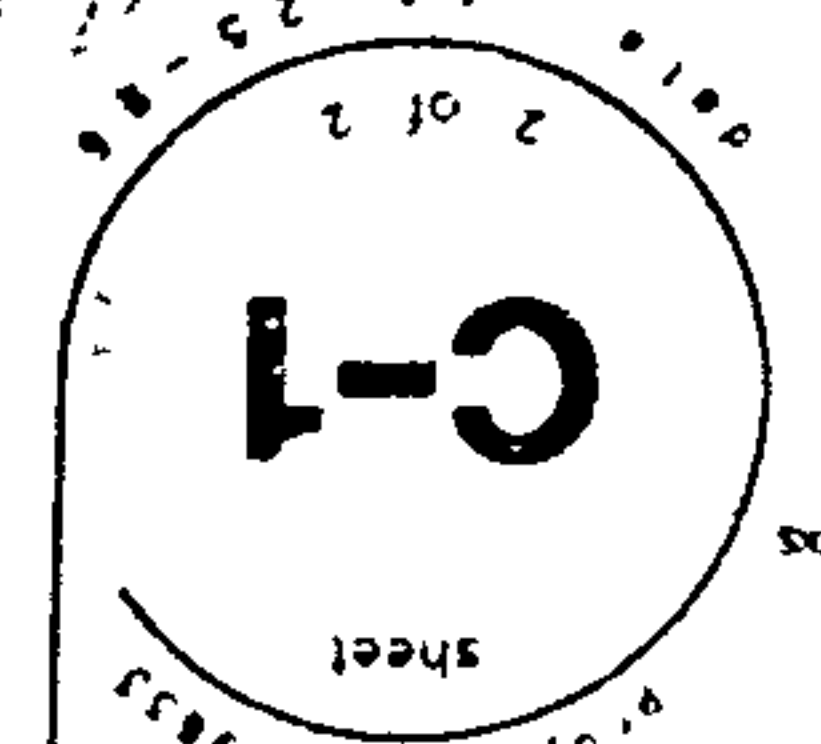
SYMBOL	DESCRIPTION
(Symbol)	CRUSHED HICK OR PINE W/ FILTER FABRIC
(Symbol)	ALL SHRUBS TO HAVE CHIP MULCH ONE PER SHrub
(Symbol)	ALL TREES TO HAVE CHIP MULCH TWO PER TREE

PARKING REQUIREMENTS

MANUFACTURING	WAREHOUSE	OFFICE	TOTAL
2,555	1,690	1,200	5,445
NEW METAL Bldg	EXISTING WAREHOUSE	NEW OFFICE Bldg	
2,555	1,690	1,200	5,445
4,295 S.F. / 1,000 = 5 SPACES	16,425 S.F. / 2,000 = 8 SPACES	1,200 S.F. / 200 = 6 SPACES	
TOTAL 20 SPACES			



METAL BUILDING for QUIKRETE
2700 SECOND STREET S.W.
ALBUQUERQUE, NEW MEXICO
SANDERS ROGERS ARCHITECTS, P.C.
301 GUILD AVENUE S.W. SUITE 202 ALBUQUERQUE, NM 87102 (505) 247-1106 FAX (505) 247-0262



CITY OF ALBUQUERQUE

COMMISSION EXPLAINS: 10/1/78
The photo of the building and was created in the planning department of the city of Albuquerque, New Mexico. The photo of the building and was created in the planning department of the city of Albuquerque, New Mexico.

C-1

Commission expire
October 20
Magawana

[illegible]

Construction Notes

Two (?) working days prior to any relocation contractor must contact New Mexico One Call System 260-1990 (Altavoz/At-a) 400-571-4141(R[25]) (Statewide) for location of existing utilities

Prior to construction, the contractor shall evaluate and, if needed, the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay.

3. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
4. All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Ordinance and Procedures.

[illegible][illegible]

S 802352 E

DATE	DESCRIPTION	AMOUNT	BALANCE
1963	1/1		0.00
1963	1/2	100.00	100.00
1963	1/3	50.00	50.00
1963	1/4	25.00	25.00
1963	1/5	12.50	12.50
1963	1/6	6.25	6.25
1963	1/7	3.12	3.12
1963	1/8	1.56	1.56
1963	1/9	0.78	0.78
1963	1/10	0.39	0.39
1963	1/11	0.19	0.19
1963	1/12	0.09	0.09
1963	1/13	0.05	0.05
1963	1/14	0.02	0.02
1963	1/15	0.01	0.01
1963	1/16	0.00	0.00
1963	1/17	0.00	0.00
1963	1/18	0.00	0.00
1963	1/19	0.00	0.00
1963	1/20	0.00	0.00
1963	1/21	0.00	0.00
1963	1/22	0.00	0.00
1963	1/23	0.00	0.00
1963	1/24	0.00	0.00
1963	1/25	0.00	0.00
1963	1/26	0.00	0.00
1963	1/27	0.00	0.00
1963	1/28	0.00	0.00
1963	1/29	0.00	0.00
1963	1/30	0.00	0.00
1963	1/31	0.00	0.00
1963	2/1	0.00	0.00
1963	2/2	0.00	0.00
1963	2/3	0.00	0.00
1963	2/4	0.00	0.00
1963	2/5	0.00	0.00
1963	2/6	0.00	0.00
1963	2/7	0.00	0.00
1963	2/8	0.00	0.00
1963	2/9	0.00	0.00
1963	2/10	0.00	0.00
1963	2/11	0.00	0.00
1963	2/12	0.00	0.00
1963	2/13	0.00	0.00
1963	2/14	0.00	0.00
1963	2/15	0.00	0.00
1963	2/16	0.00	0.00
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1963	2/21	0.00	0.00
1963	2/22	0.00	0.00
1963	2/23	0.00	0.00
1963	2/24	0.00	0.00
1963	2/25	0.00	0.00
1963	2/26	0.00	0.00
1963	2/27	0.00	0.00
1963	2/28	0.00	0.00
1963	2/29	0.00	0.00
1963	2/30	0.00	0.00
1963	2/31	0.00	0.00
1963	3/1	0.00	0.00
1963	3/2	0.00	0.00
1963	3/3	0.00	0.00
1963	3/4	0.00	0.00
1963	3/5	0.00	0.00
1963	3/6	0.00	0.00
1963	3/7	0.00	0.00
1963	3/8	0.00	0.00
1963	3/9	0.00	0.00
1963	3/10	0.00	0.00
1963	3/11	0.00	0.00
1963	3/12	0.00	0.00
1963	3/13	0.00	0.00
1963	3/14	0.00	0.00
1963	3/15	0.00	0.00
1963	3/16	0.00	0.00
1963	3/17	0.00	0.00
1963	3/18	0.00	0.00
1963	3/19	0.00	0.00
1963	3/20	0.00	0.00
1963	3/21	0.00	0.00
1963	3/22	0.00	0.00
1963	3/23	0.00	0.00
1963	3/24	0.00	0.00
1963	3/25		

PROJECT BENCHMARK
STATION IS AN ACS 3 1/4" ALUMINUM CAP STAMPED
13-811 198" STATION IS BENT TO A 90°
PROJECTING 9.2 FEET ABOVE THE GROUND. 1.1 INCHES
SOUTH OF THE INTERSECTION OF STATION 0+00 AND
SECOND STREET. STATION IS APPROXIMATELY
25 FEET EAST OF THE CENTRAL OF SECOND STREET
ELEVATION = 4939.24 FEET (1615.2')

LEGAL DESCRIPTION

A 12' CORRELLED ON TOP OF A CONCRETE DOOR AS SHOWN ON THE DRAWING
ELEVATION = 4604 07 FLET (M.S.D.)

TRACT A LAKES OF ALGONQUIN TOWNSHIP AND SANTA FE METAL CO. AND LAKES OF ALGONQUIN CONSTRUCTION FILED JUNE 8, 1988 C39-73

CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	319.08'	72.31'	72.16'	S 02°45.5' E
C2	673.64'	74.53'	74.45'	S 25°44.58' E

NOTES:

- 1 THIS IS NOT A RECENT SURVEY. APPARENT PROPERTY CORNER ARE SHOWN FOR THE 1900'S. LATVIA SECTION IS BASED UPON THE PLAT OF RECORD PERFORMED DURING THE 1920'S.
- 2 WATER AND SANITARY LINES SHOWN ARE BASED ON RECORDS OF THE CITY OF MINNEAPOLIS. THE 1900'S. LATVIA SECTION IS BASED UPON THE PLAT OF RECORD PERFORMED DURING THE 1920'S.
- 3 THE 1900'S. LATVIA SECTION IS BASED UPON THE PLAT OF RECORD PERFORMED DURING THE 1920'S.

TRACT A, LOTS OF ALCHISON, TOWNSHIP 18 AND SANTA FE
HALLWAY CO. AND LOTS OF WINDY CONDUIT CORPORATION
FILED JUNE 8, 1969, C.19-73

GRADING PLAN
SCALE 1" = 20' "

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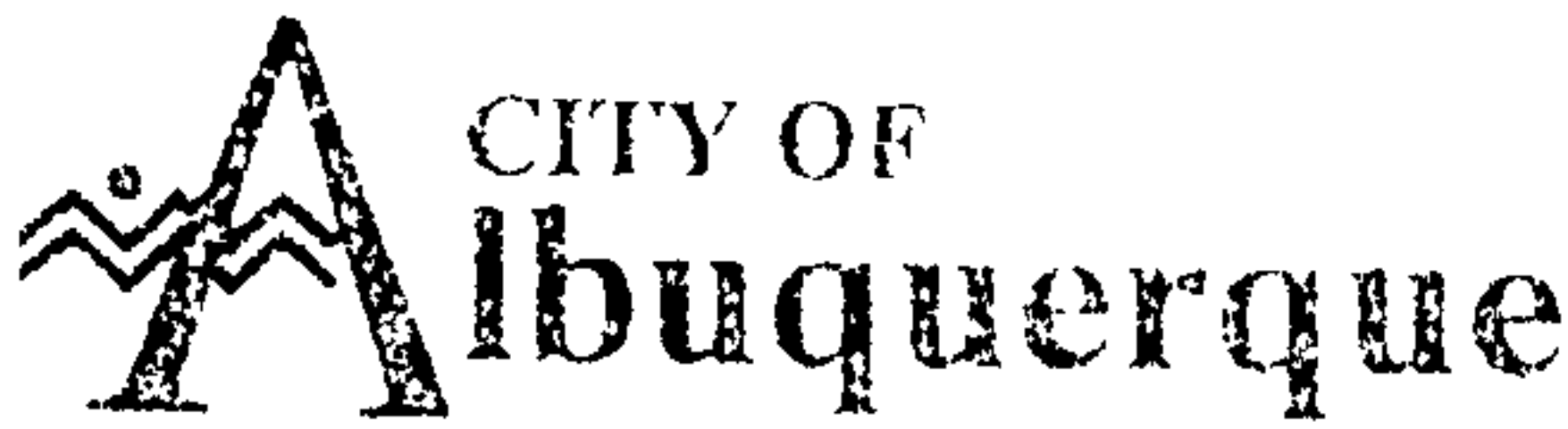
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CITY OF ALBUQUERQUE
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CONSTRUCTION ADDRESS 2700 SECOND STREET S.W.



BUILDING SAFETY DIVISION

APPLICANT TO PROVIDE ALL INFORMATION BELOW

TYPE OF APPLICATION:
☒ NEW BUILDING ☐ REPAIR
☐ ADDITION ☐ DEMOLITION
☐ ALTERATION ☐ OTHER

LEGAL DESCRIPTION:
LOT NO. _____ BLOCK NO. _____
SUBDIVISION ATCHISON TERRACE-SANTAFE RAILWAY HYDRO CONDUIT
TRACT A PARCEL _____ UNIT _____

OWNER: QUICKRETE PHONE: 242-4599
ADDRESS: 2700 SECOND ST S.W. CITY: ALBUQUERQUE
ADDRESS: ALBUQUERQUE NM 87102 ZIP: 87102

ARCHITECT, ENGINEER OR DESIGNER: SANPERS ROGERS ARCH PHONE: 247-1168
ADDRESS: 301 CAD. AVE SW SUITE 202 CITY: ALBUQUERQUE NM 87102 ZIP: 87102

CONTRACTOR: DV BAY CONSTRUCTION INC PHONE: 866-765-7777
ADDRESS: 4330 BROADWAY SE CITY: ALBUQUERQUE NM 87105 ZIP: 87105

STATE LICENSE NO. # 31705
STATE TAX NO. 02-146865-001
CITY TAX NO. 02-146865-002

CONSTRUCTION DATA:
NUMBER OF STORIES: 1
SQUARE FOOTAGE: 21,430.4
VALUATION OF WORK: 1
NO. OF APARTMENT UNITS: _____ NO. OF BUILDINGS: _____
OWNERSHIP: ☒ PRIVATE ☐ PUBLIC

DESCRIPTION OF WORK: NEW FREE-BOARD PUMP

BUILDING USE:
☐ PUBLIC (BUILT WITH PUBLIC FUNDS)
☐ RES. COMMERCIAL
☐ TRIPLEX
☐ FOURPLEX
☐ APARTMENT COMPLEX (FEWER THAN FOUR UNITS)
☐ FOUNDATION ONLY

Plan Check Application Fee: 45.00 Adjusted Fee: 0.00
Plan Check Application Fee: 22.50 Adjusted Fee: 0.00
Valuation of Work: 750.00
Building Form Fee: 100.00
Building Form Fee: 35.00

City of Albuquerque Building & Safety Division
1000 SECTION

Address (name of information furnished by Requester): 2700
City: ALBUQUERQUE

Provide: ☐ 1. Plan ☐ 2. Form ☐ 3. Fee ☐ 4. Other

In accordance with Submittal Ordinance: 100

Uniform Property Code: 100

Approval Required Prior to Issuance of Certificate of Occupancy: ☒ Yes ☐ No

City Agency: ALBUQUERQUE BLDG & SAFETY

ENVIRONMENTAL HEALTH: 100 100 100
FIRE MARSHALL: 100 100 100
HYDROLOGIST: 100 100 100
MECHANICAL: 100 100 100
PLUMBING: 100 100 100
ELECTRICAL: 100 100 100
DOILER: 100 100 100
ELEVATOR: 100 100 100
REFUSE: 100 100 100
TRANSPORTATION DEVELOPMENT: 100 100 100
UNIFORM BUILDING CODE: 100 100 100
ZONING: 100 100 100

Note: Final inspection is required on all permitted work whether a certificate of occupancy is required or not.

GENERAL NOTES

- Plans and specifications must be kept at building or work site at all time during which the work authorized thereby is in progress.
- City approved street and alley top of curb elevations shall be used when establishing lot grades at front and rear property lines. Should these approved elevations not be used, the City assumes no responsibility for loss of access to property or damage to property line walls upon construction of street and alley curb-gutter-paving.
- Separate permits are required for plumbing, gas and electrical work. The issuance of this permit does not guarantee that the permit holder (owner) will receive a certificate of occupancy to occupy the building upon completion of construction. The permit holder has the duty to comply with all the requirements for a certificate of occupancy including, but not limited to, code requirements, water and sanitary sewer service, electrical service and natural gas service.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the (Utility Development) Div. Public Works Dept. Construction hydrant shall be placed at least 10 feet away from watermeter.
- Gates in walls or fences on private or public property shall not swing over sidewalk, street, alley or public right-of-way.
- Separate sign, wall and fence permits are required.
- For foundation only permits additional plans must be submitted for approval before plumbing or electrical work is started in building slab. Include Uniform Building Code construction type on submittal.

ZONING

Solar Protection - all construction on this site shall be in compliance with the solar regulations of the City Zoning Code. The City approval of this document is not assurance that its contents conform with any private solar rights which may be recorded with the Bernalillo County Clerk.

UNIFORM BUILDING CODE

- In every residential sleeping room, one window with 5.7 S.F. net clear opening area with minimum net clear opening height of 24" minimum net clear opening width of 20" and finished sill height not more than 44" above the floor is required.
- Exhaust fans and/or vents to be connected directly to the outside.
- Finishes to comply with UBC Table 428.
- Pre-fab fireplaces must have listed manufacturers installation instructions at the job site. UBC Sec 3507(a).
- All labeled doors to have labeled frames and closers UBC Sec. 4306(c).
- Door glazing to comply with Federal Standard 16 CFR 1201. Fixed panel glazing to comply with Chapter 54, UBC.
- Suspended Ceiling Framing Systems to Comply with Table 23-P.
- All openings & fixtures in rated ceilings to be protected per UBC or approved tests.
- Where walls require protected openings, pipe penetrations and electrical outlet box installations shall comply with UBC Sec. 4304(e).
- Regardless of the occupant load, there shall be a floor or landing on each side of a door. UBC Sec 3304(f).

UNIFORM PLUMBING, MECHANICAL, ELECTRICAL CODES

- Water heaters, heating and cooling equipment generating a glow or flame capable of igniting flammable vapors may be installed in a residential garage, provided the pilot and burners or heating elements and switches are at least eighteen (18) inches above the floor level.
- Materials exposed within circulating air ducts in other than dwelling units shall have a flame spread rating of not more than 25 and a smoke developed rating of not more than 50.
- Provide ground fault protection on all bathroom, garage, kitchen (island) and exterior electrical outlets.
- Pool placement shall conform to Section 680 & NEC and Section 351-C 1 NESC.
- Do not locate building under power line.
- Sanitary facilities must be provided on each construction job.

WATER WASTE ORDINANCE

- Landscape irrigation systems shall be designed, installed, and operated to prevent overflow of water onto the public right-of-way or adjacent property. This is required by the City of Albuquerque Water Waste Ordinance (Chapter 8, Article XVI R.O. 1974).
- All remodels for all food service establishments, swimming pools, and other projects related to Environmental Health must be submitted to Environmental Health for Review. Contact: Environmental Health, at 764-1693 to determine if project is related to Environmental Health.
- Permit for demolition of structures in excess of 75,000 cubic feet shall be obtained from Environmental Health.
- All building construction that requires Air Quality registration or issuance of air quality permits must be submitted to the Environmental Health Department for review. Contact the Albuquerque Environmental Health Department, Air Pollution Control Division, at 768-2600 to determine if this project requires registration or issuance of air quality permits.

ENVIRONMENTAL HEALTH

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- Permit for demolition of structures in excess of 75,000 cubic feet shall be obtained from Environmental Health.
- All building construction that requires Air Quality registration or issuance of air quality permits must be submitted to the Environmental Health Department for review. Contact the Albuquerque Environmental Health Department, Air Pollution Control Division, at 768-2600 to determine if this project requires registration or issuance of air quality permits.

5. FIRE MARSHAL

Notes: 1. All apartment, commercial and public buildings are required to have a final inspection by the Fire Marshal's Office before a certificate of occupancy is issued. The building or structure shall be complete and ready to occupy.

2. Conditions, surrounding and in accordance with the Fire Prevention Code regulations adopted by City ordinance.

3. All items listed below shall be installed in accordance with applicable fire codes prior to a building (or portion of a building) being occupied. In addition, an approved adequate water supply shall be provided before any combustible materials are delivered to the building site and all required fire hydrants shall be installed and operable before any building (or portion of the building) is occupied.

NAME OF BUSINESS: _____ STORE OR SPACE #: _____

OCCUPANCY: _____

BUILDING PLANS FOR: ☒ NEW ☐ REPAIR EXISTING ☐ ADDITION ☐

CONSTRUCTION TYPE: _____

FIRE FLOW REQUIRED: _____ FIRE HYDRANTS REQUIRED: _____ ATLAS TAP: _____

NAME (SIGNATURE): _____

PLANS DISAPPROVED: _____ DATE: _____

PLANS APPROVED: _____ DATE: _____

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE):

1. ZONING

City zone: 11-1 zoning map: 11-1 lot area: 11-1
PLAN CHECK: 505-764-1670 DATE: 11-1

1. CAUTION ON LOCATION OF STRUCTURE. City approval is contingent upon correct information being received from the contractor or owner. Zoning approval is given for a structure situated exactly as indicated on the plans. Setbacks are measured from the lot lines. The lot is at street right of way is not necessarily the curb or edge of sidewalk.

2. 11-1 Park Development Fee per Park Dedication and Development Ordinance Sections 11-1-3(A) and (B) 40A 1994. Proposed construction complies with the Comprehensive City Zoning Code 14-16 40A 1994.

PLANS DISAPPROVED: _____ DATE: _____

PLANS APPROVED: _____ DATE: _____

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE):

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE):

1. 11-1 Park Development Fee per Park Dedication and Development Ordinance Sections 11-1-3(A) and (B) 40A 1994. Proposed construction complies with the Comprehensive City Zoning Code 14-16 40A 1994.

PLANS DISAPPROVED: _____ DATE: _____

PLANS APPROVED: _____ DATE: _____

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE):

1A. SOLID WASTE DISPOSAL

(Sections 9-10-1-1 et seq. Revised Ordinances of Albuquerque 1994)

1. This building is required to have a final inspection by the Plan Checker of the Solid Waste Management Department (SWMD). The release of this permit shall be in place prior to the Certificate of Occupancy being issued.

2. Inspection by the Plan Checker of the SWMD is required before pouring of the concrete slab or apron.

3. Each customer shall provide their own container(s) as required by the Plan Checker of the SWMD.

4. The Solid Waste Management Department shall be contacted at least thirty (30) days prior to occupancy to start service.

5. Proposed construction complies with the Albuquerque Municipal House Collection Service Ordinance (Bearing Ordinance 42 1980 as amended).

PLANS DISAPPROVED: _____ DATE: _____

PLANS APPROVED: _____ DATE: _____

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE):

3. TRANSPORTATION DEVELOPMENT

Notes: 1. Control dust and debris during construction.

2. Top soil disturbance permit required ☐ Not Required ☐

3. Top soil permit issued by _____

4. Other ordinance is applicable _____

NAME: _____

PLANS DISAPPROVED: _____ DATE: _____

PLANS APPROVED: _____ DATE: _____

(INDICATE CONSTRUCTION ORDINANCE SECTION REFERENCE):

6. UNIFORM BUILDING CODE

Notes: 1. Fireplaces shall not be located in a room which is not a sleeping room.

2. All windows and doors shall be installed in accordance with the Uniform Building Code.

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 10, 2002

Jeff Mortensen, P.E.
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd NE
Albuquerque, New Mexico 87109

RE: QUIKRETE OF NEW MEXICO (M-14/D24)
(2700 Second Street SW)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 12/20/1996
ENGINEERS CERTIFICATION DATED 5/8/2002

Dear Mr. Mortensen:

Based upon the information provided in your Engineers Certification submittal dated 5/9/2002, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

Hydrology Plan Checker
Public Works Department

C: Vickie Chavez, COA
approval file
drainage file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Quikrete of New Mexico ZONE ATLAS/DRNG. FILE #: M-14/D24
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract A, Lands of Atchison, Topeka and Santa Fe Railway Co., and Lands of Hydro Conduit Corp.
 CITY ADDRESS: 2700 Second Street SW, Albuquerque, NM

ENGINEERING FIRM: Jeff Mortensen & Assoc., Inc. CONTACT: Chris Sholtis
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Quikrete of NM CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Sanders Rogers Architects, PC CONTACT: George Sanders
 ADDRESS: 301 Gold Ave. SW, Ste. 202 PHONE: (505) 247-1168
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Jeff Mortensen & Assoc., Inc. CONTACT: Charles G. Cala
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Acumen Construction CONTACT: Bronson Cummins
 ADDRESS: 4373 Altura Vista NE PHONE: (505) 480-4280
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

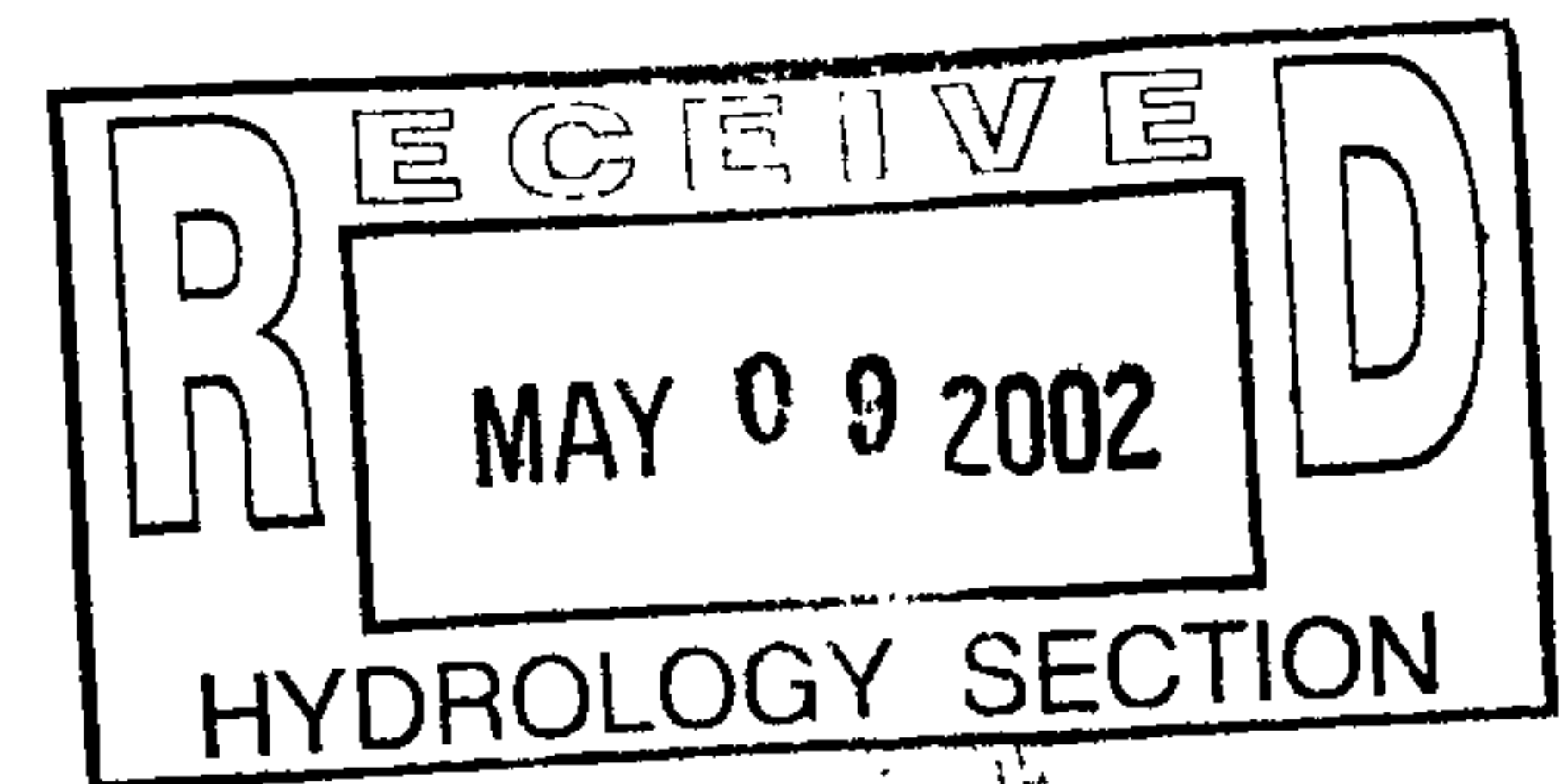
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 5-9-02 BY: Christian J. Sholtis



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.