

CITY OF ALBUQUERQUE



***Planning Department
Transportation Development Services***

December 21, 2015

Phil Clark
Clark Consulting Engineers
19 Ryan Rd.
Edgewood, NM 87015

Re: Frank Sanchez Warehouses
2339 2nd St., SW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 12-16-15 (M14-D029A)

Dear Mr. Clark,

The TCL submittal received 12-18-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

John Gurule, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Frank Sanchez Warehouse Building Permit #: T2015 City Drainage #: 92854 M.14/D029A
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: _____
 City Address: 2339 2nd St. SW
 Engineering Firm: Clark Consulting Engineers Contact: Phil Clark
 Address: 19 Ryan Rd. Edgewood, NM 87015
 Phone#: 281.2444 Fax#: _____ E-mail: CCEalbg@aol.com
 Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____
 Architect: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____
 Other Contact: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

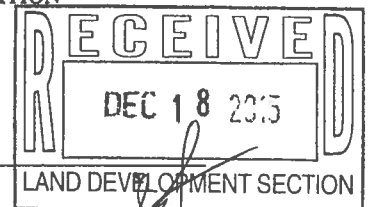
OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

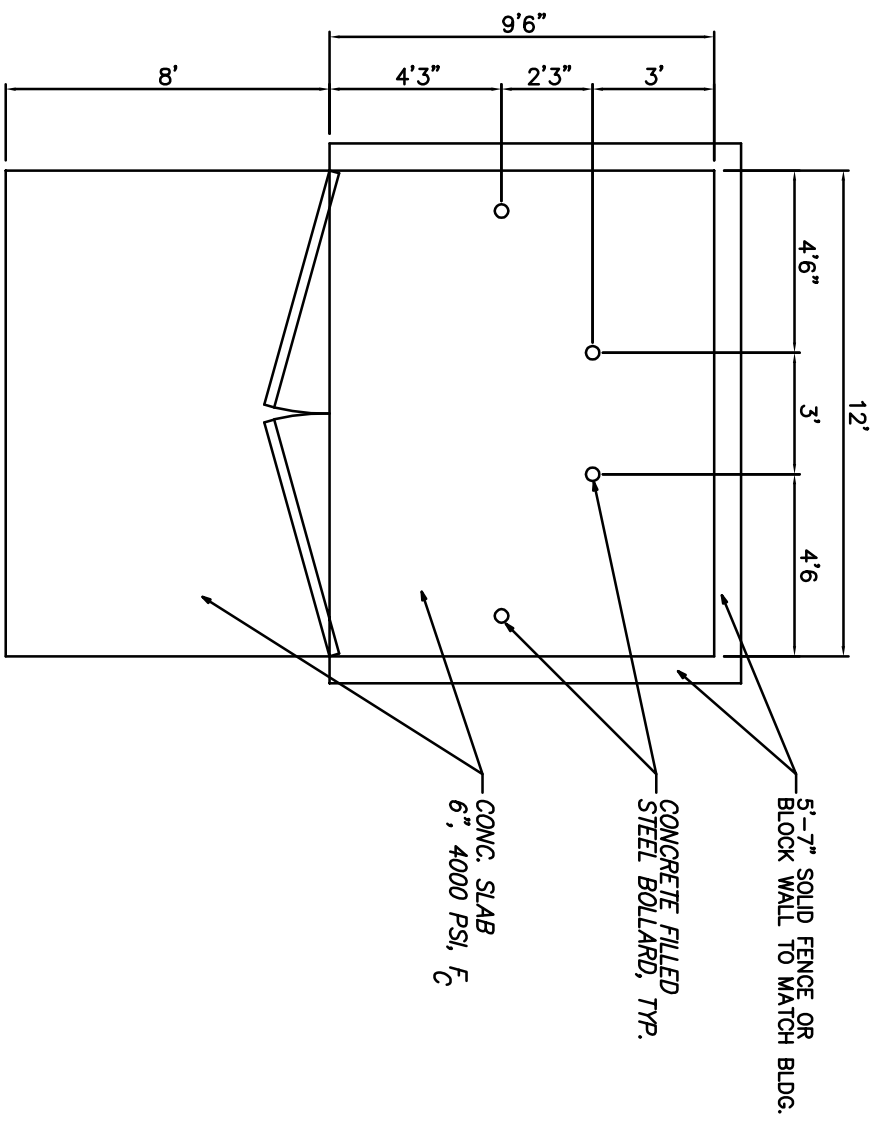
DATE SUBMITTED: electr. 12/17/15 By: [Signature]

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



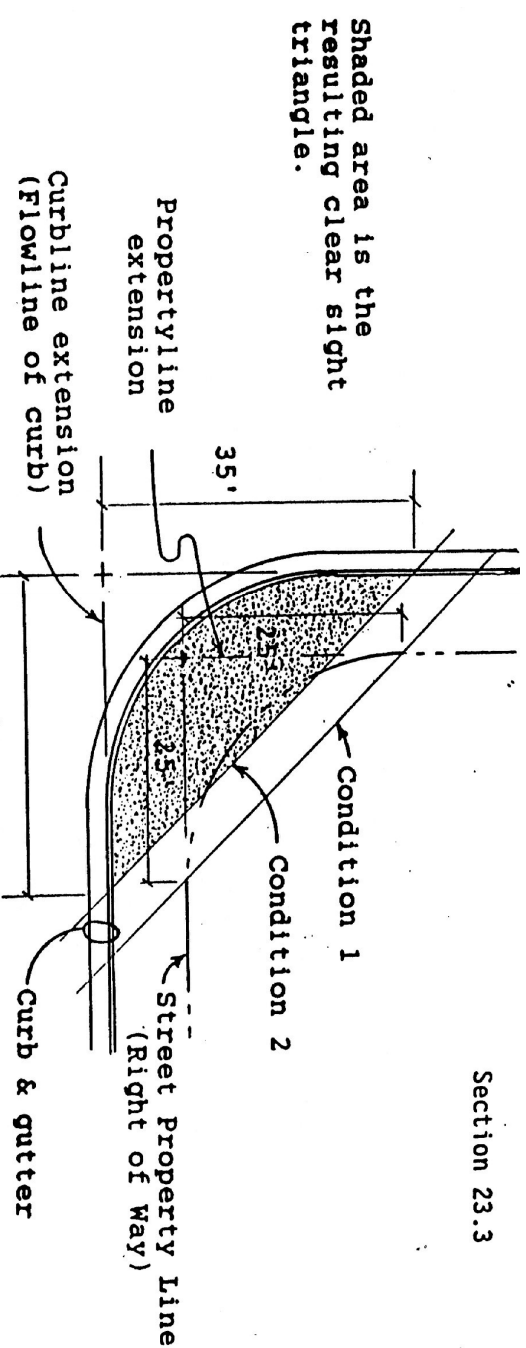
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



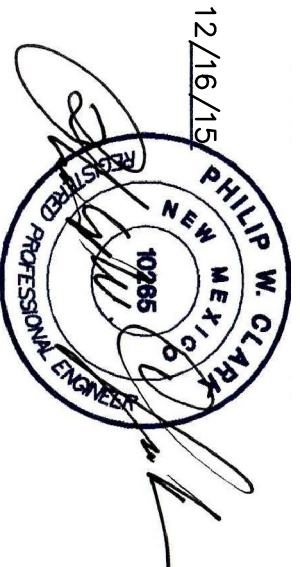
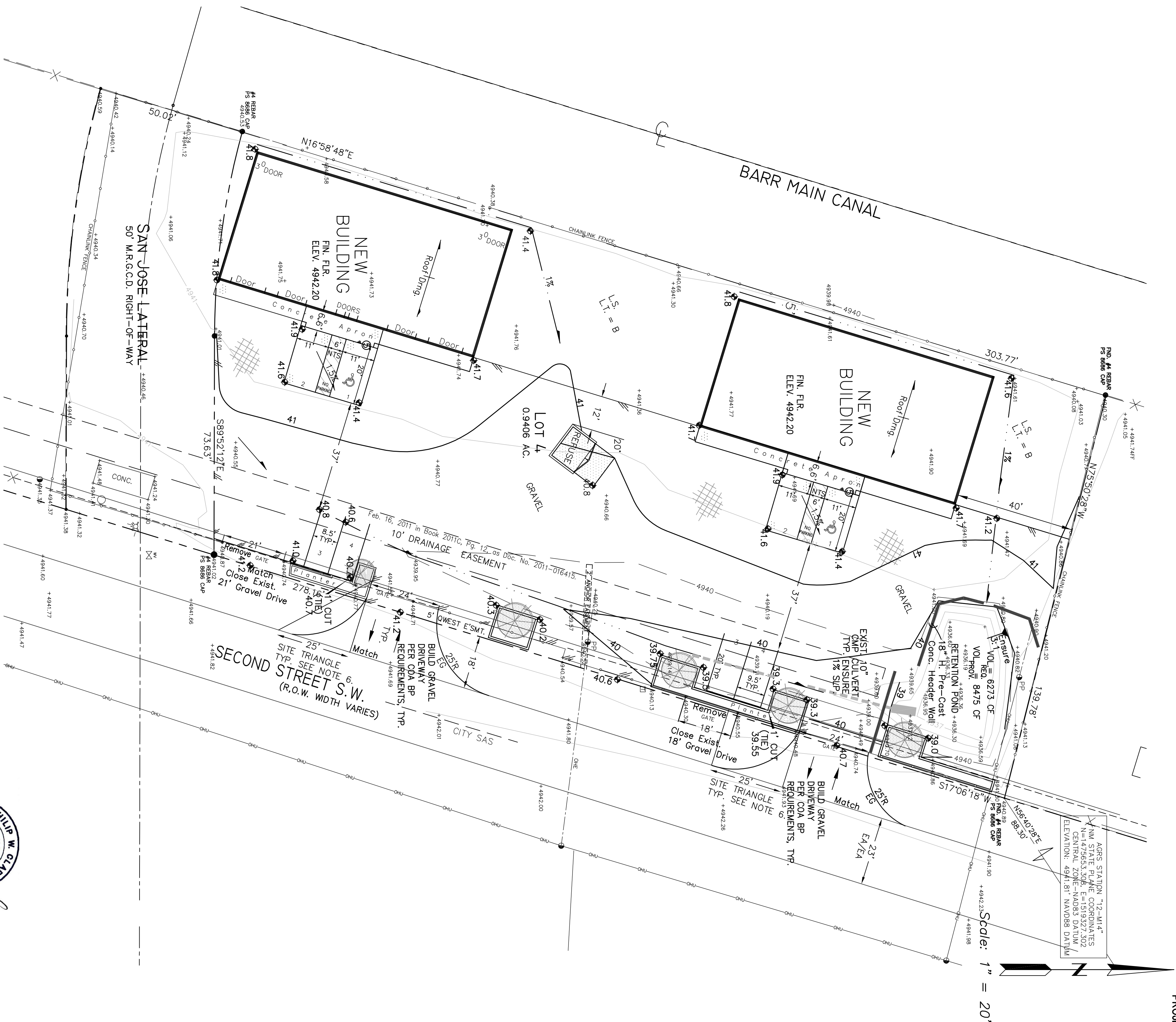
REFUSE ENCLOSURE

PARKING CALCULATIONS - C2 ZONING
 8000 SF/2000.....4 PKG SPACE
 560/200.....OFFICE3 PKG SPACE
 PARKING SPACES PROVIDED: 8

- TRAFFIC NOTES:**
1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 2. ALL TRAFFIC ELEMENTS SHOWN SHALL BE CONSTRUCTED FROM THIS SHEET, AND REQUIRED FOR CERTIFICATE OF OCCUPANCY. A TEMPORARY C.O. SHALL NOT BE ISSUED.
 - ③ TRUNCATED-DOMES PER ANSI-A117.1-2009- & ADAAG.
 - ④ TYPICAL RAMP SLOPE 12:1 MIN. EXISTING WITH BROOM FINISH CONCRETE.
 - ⑤ ADA VAN ACCESSIBLE SIGN SHALL HAVE THE REQUIRED VERBAGE OF "VOLATILES ARE SUBJECT TO A FINE AND/OR TOWING", PER 66-7-352.4C NMSA 1978.
 6. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS, SIGNS, WALLS, TREES AND SHRUBS BTWN 3-8 FEET TALL ARE NOT ACCEPTABLE WITHIN THIS AREA. SEE DETAIL BELOW.



SITE TRIANGLE DETAIL



NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1986, 9TH UPDATE.
2. AN PAVING/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL ASPHALT/GRAVEL PARKING AREA SHALL DRAIN DIRECTLY TO NEW RETENTION POND

VICINITY MAP ZONE M-14



LEGEND

- EXIST. SPOT ELEVATION +24.0
- EXIST. CONTOUR 10
- NEW SPOT ELEVATION 24.0
- NEW CONTOUR 12
- NEW SHALE
- DRAINAGE DIRECTION, EXISTING
- NEW CONCRETE CURB OR R.R. TILE (0.5' HEIGHT)
- NEW P.C.C., CONCRETE
- FLOWLINE
- EXISTING POWER POLE O.P.P.
- EDGE OF ASPHALT EA

PROJECT DATA

- LEGAL DESCRIPTION**
 LOT 4, LANDS OF FRANK S. SANCHEZ
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
- PROJECT BENCHMARK**
 TOP OF AGRS MONUMENT OFF THE PROJECT NORTHEAST CORNER.
 ELEV. 4941.81, SEE PLAN, NAVD83.
- TOPOGRAPHIC DESIGN SURVEY**
 PROVIDED BY ALPHA PRO SURVEYING, LLC. DATED NOVEMBER 2015

Clark Consulting Engineers
 19 Ryan Road
 Edgewood, New Mexico 87015

Tel: (505) 281-2444	LOT 4, LANDS OF FRANK S. SANCHEZ	Tel: (505) 281-2444
DATE	REVISION	DATE
11/27/15	EXP. DW TO	11/27/15
1/3/15	24" PER COA	1/3/15
1/8/15	COMMIT	1/8/15
	DEL. (2) DW	
	ADD REFUSE	

TRAFFIC Circulation LAYOUT

DESIGNED BY: PWC DRAWN BY: CCE JOB # SANCHEZ-FRA
 CHECKED BY: PWC DATE: NOV2015 FILE # TOL 1 OF 1