

OFFSITE DRAINAGE MAP

SCALE 1" = 300'

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	(table 8)	cu. ft.	cfs
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	54070	0.28	0.95	1262	1.18
		C	0	0.52	1.71	0	0.00
		D	0	1.34	3.14	0	0.00
		TOTAL	54070			1262	1.18
	100	A	0	0.53	1.56	0	0.00
		B	54070	0.78	2.28	3515	2.83
		C	0	1.13	3.14	0	0.00
		D	0	2.12	4.7	0	0.00
		TOTAL	54070			3515	2.83
DEVELOPED	10	A	0	0.13	0.38	0	0.00
		B	24070	0.28	0.95	562	0.52
		C	16000	0.52	1.71	693	0.63
		D	14000	1.34	3.14	1563	1.01
		TOTAL	54070			2818	2.16
	100	A	0	0.53	1.56	0	0.00
		B	24070	0.78	2.28	1565	1.26
		C	16000	1.13	3.14	1507	1.15
		D	14000	2.12	4.7	2473	1.51
		TOTAL	54070			5545	3.92

LEGAL DESCRIPTION

LOTS 8 & 9, SOUTH BROADWAY ACRES, UNIT 1

PERMANENT BENCHMARK

ACS 3-M14 ELEVATION 4938.64 (NGVD1929)

GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

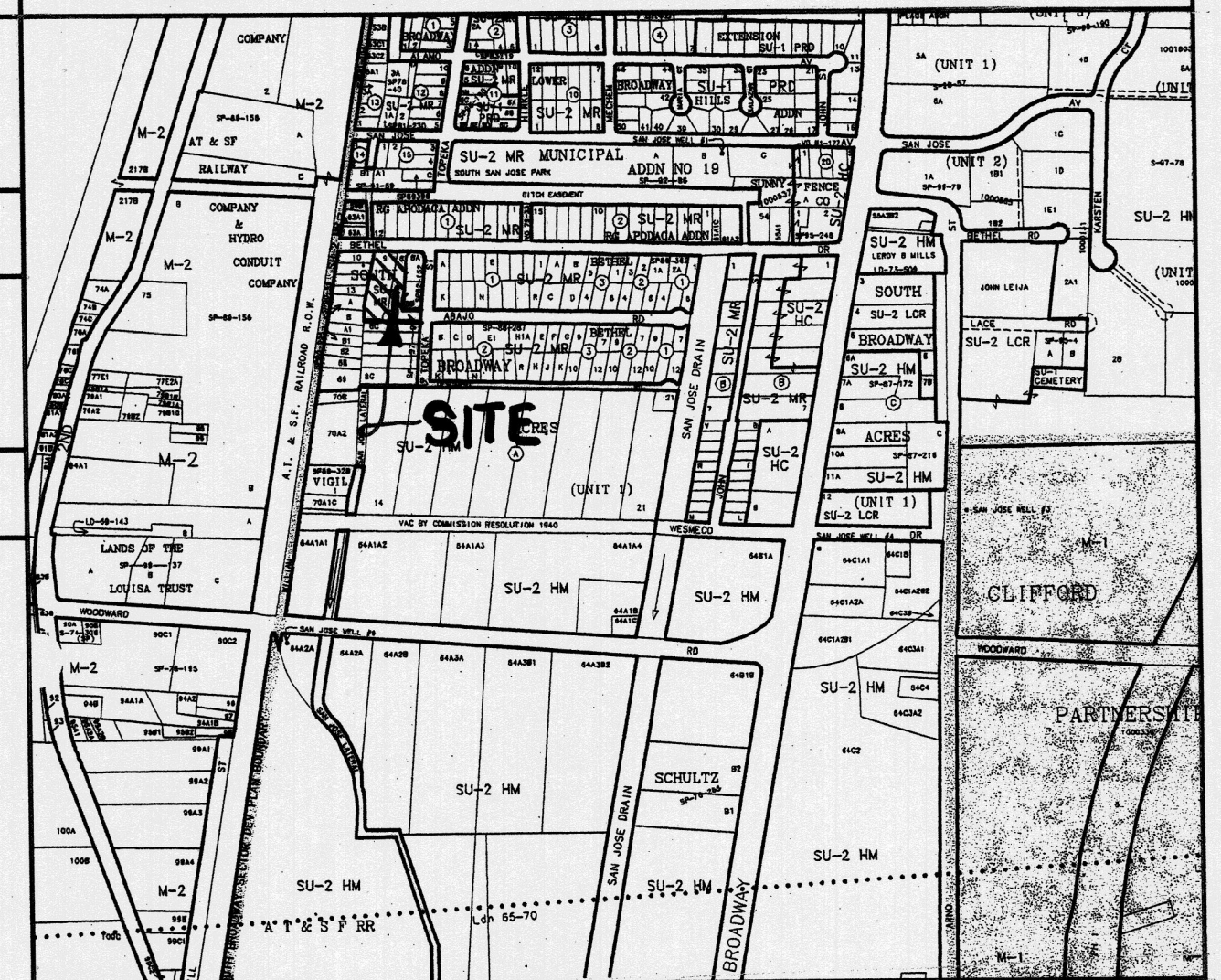
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

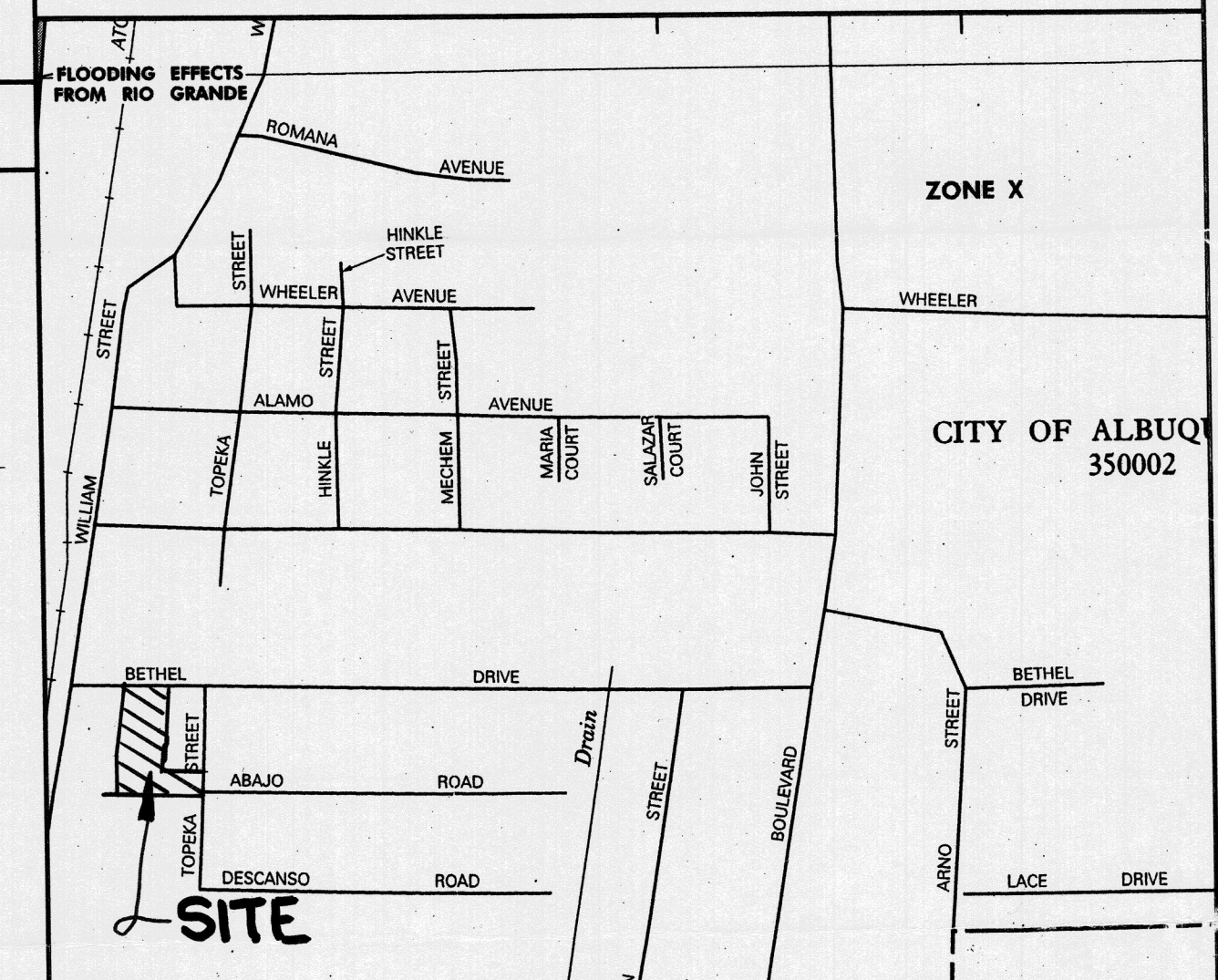
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

- FEMA FLOODPLAIN BOUNDARY
- DRAINAGE BASIN BOUNDARY
- EROSION SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RECORD SPOT ELEVATION

VICINITY MAP NO. M-14



FEMA FIRM PANEL NO. 342



GENERAL NOTES

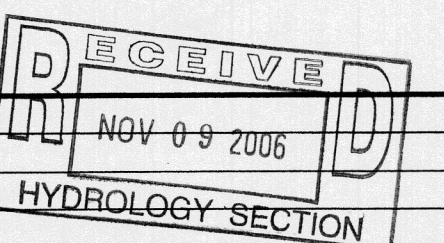
EXISTING CONDITION

THE LAND, PRESENTLY VACANT AND CONTAINING REMNANTS OF OLD CONSTRUCTION IS SITUATED IN A DEVELOPED AREA. LAND SLOPE IS FROM NORTHWEST TO SOUTHEAST AND IS SPARSELY VEGETATED. ADJUTING STREETS ARE COMPLETE WITH PAVING, CURB & GUTTER, SIDEWALKS, WATER, SANITARY SEWER AND STORM DRAINS. THERE IS A LIVE IRRIGATION CANAL ON THE WESTERLY BOUNDARY OF THE PROPOSED DEVELOPMENT WHICH IN ADDITION TO BETHEL DRIVE ON THE NORTHERLY BOUNDARY DIVERT OFF SITE FLOWS FROM THE PROPERTY.

PROPOSED CONDITION

THE LOTS ARE TO BE REDEVELOPED TO MORE NEARLY MATCH THE SURROUNDING NEIGHBORHOOD. THIS WILL REDUCE THE PROPOSED DENSITY OF IMPERVIOUS SURFACE IN THE AREA AND REDUCE RUNOFF TO THE STORM DRAIN SYSTEM.

CONFIGURATION OF THE PROPOSED SUBDIVISION WILL REQUIRE PRIVATE 'BLANKET' DRAINAGE EASEMENTS FROM THE NORTHERLY AND WESTERLY LOT ACROSS THE SOUTHEASTERLY LOT. DUE TO SIZE OF THE LOTS, ANTICIPATED IMPERVIOUS AREAS AND SOIL TYPES THE ACTUAL RUNOFF FROM LOT TO LOT WILL PROBABLY BE SIGNIFICANTLY SMALLER THAN THE CALCULATIONS INDICATE. AS A RESULT THE FLOW TO TOPEKA STREET WILL PROBABLY BE SMALLER THAN INDICATED AS WELL. IN ADDITION, THE THREE UPLAND LOTS ARE DESIGNED WITH WATER HARVESTING FEATURES TO LESSEN THE IMPACT ON THE FOURTH LOT. THE WATER HARVESTING FEATURES HAVE NOT BEEN CONSIDERED TO BE EFFECTIVE IN THE DRAINAGE CALCULATIONS.



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