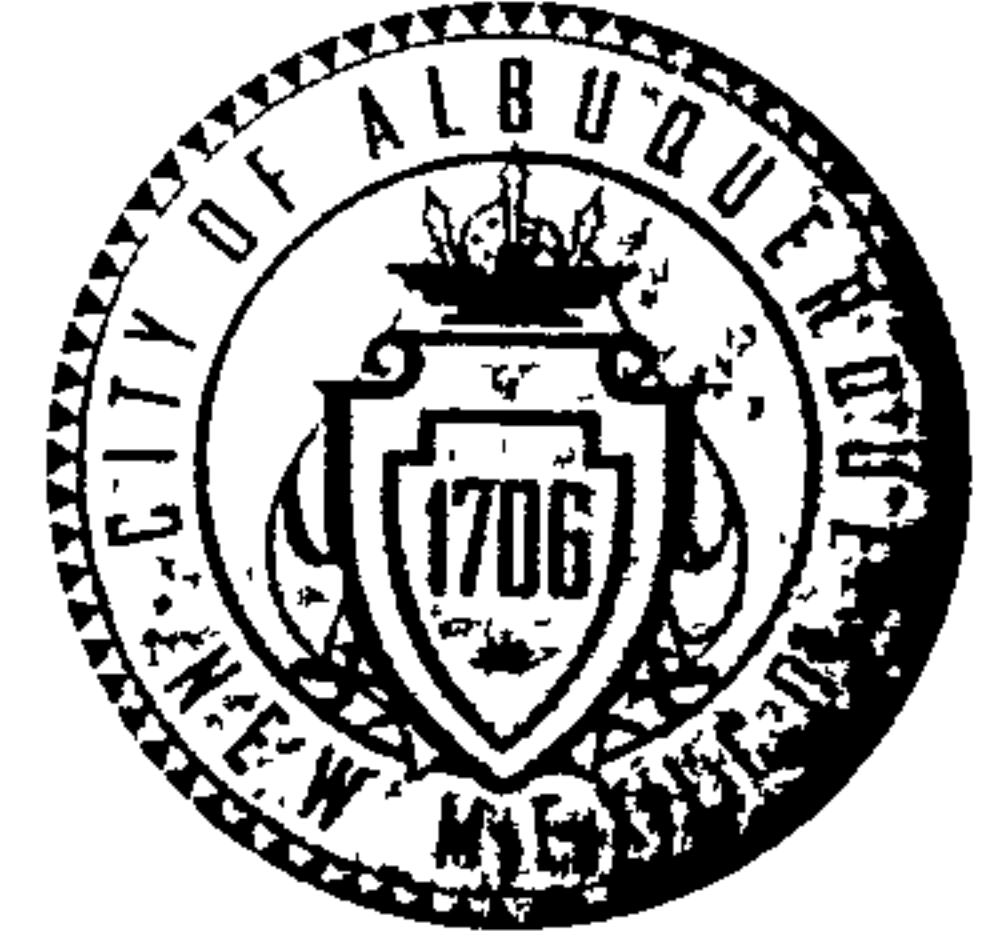


CITY OF ALBUQUERQUE



August 31, 2010

Dennis A Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Bldg 1, Suite 1300
Albuquerque, NM 87110

**Re: Wise Recycling Center Amended Grading and Drainage Plan
Engineer's Stamp date 8-17-10 (M14/D032)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 8-17-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Since a building is not proposed on this plan, Engineer Certification is not required for a Certificate of Occupancy. However, upon completion of the project, please provide an Engineer Certification for our files.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: WISE RECYCLING ZONE MAP: M-14/D032
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 1-A & 2-A, LANDS OF RAYCO
CITY ADDRESS: 2525 BROADWAY BOULEVARD SE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: DENNIS LORENZ
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1300 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: TED WATERMAN CONTACT: T. WATERMAN
ADDRESS: 501 3RD STREET NW PHONE: 248-1705
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

ARCHITECT: RICK BENNETT ARCHITECTS CONTACT: R. BENNETT
ADDRESS: 1104 PARK SW PHONE: 242-1859
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: BRASHER & LORENZ, INC CONTACT: L. MARTINEZ
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1300 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

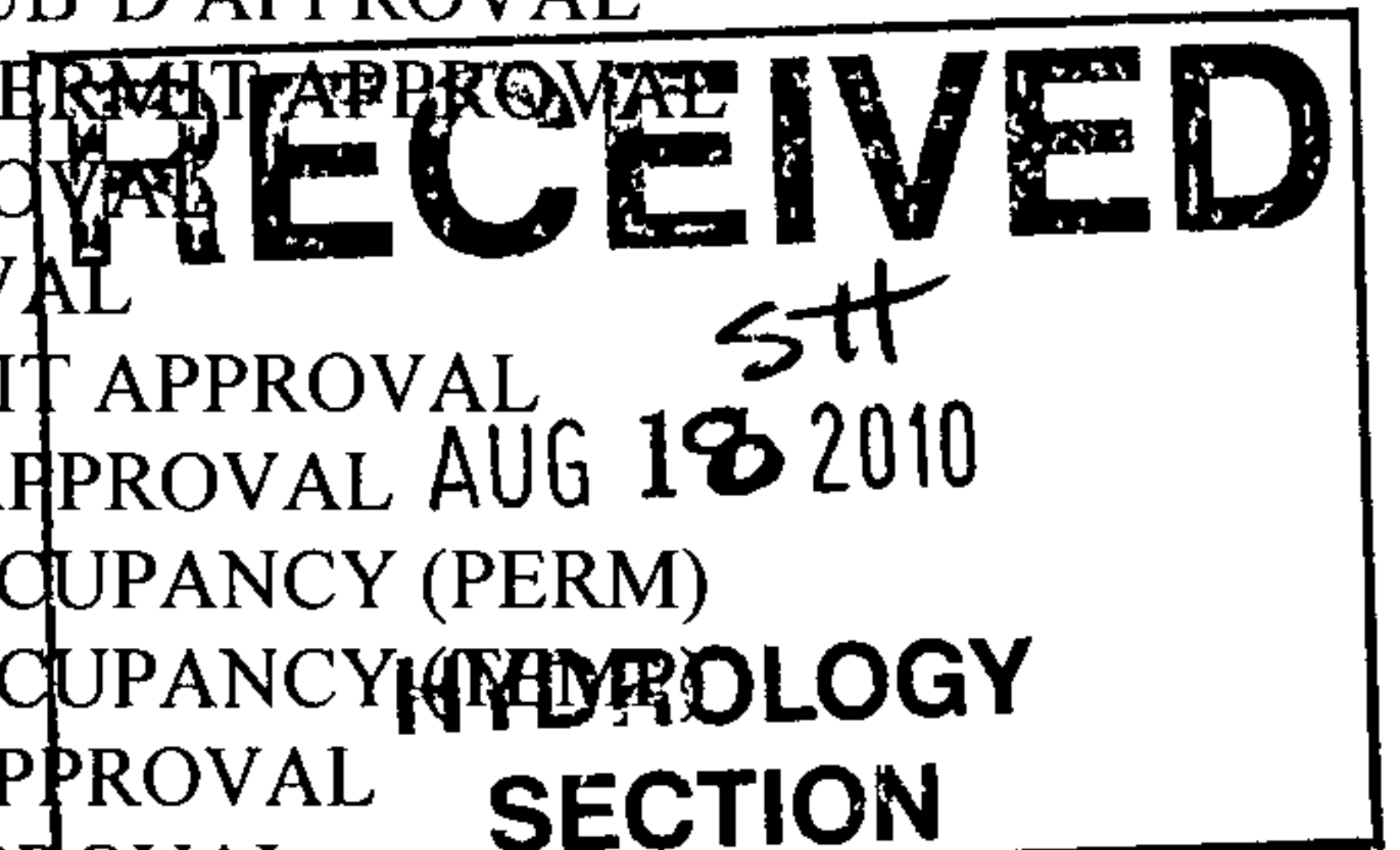
CONTRACTOR: NONE SELECTED TO DATE CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1ST SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (PHYS)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____



WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 8.18.10 BY: DENNIS LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 5, 2007

Dennis A. Lorenz, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro NE
Albuquerque, NM 87110

**Re: Wise Recycling Center Grading and Drainage Plan
Engineer's Stamp dated 5-29-07 (M14/D032)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 5-30-07, the above referenced plan is approved for Preliminary Plat action by the DRB and for Building Permit. However, please address the following items at Work Order.

- The curb around the turnaround in the area of the Type "D" inlet needs to be standard curb and gutter.
- There are discrepancies between the profile and plan views for road sections D/3, E/3, and G/3.
- Provide a profile where Private Street "A" connects to the existing street.
- It appears the invert of the concrete rundown is 0.67 feet below the surface of the apron around the Double "D" inlet.

All storm drain items needed to protect the subdivision are required to be included on the infrastructure list.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Albuquerque, NM 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

If you have any questions, you can contact me at 924-3695.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Sincerely,

Curtis A. Cherne, E.I.

Engineering Associate, Planning Dept.
Development and Building Services

C: file
Brad Bingham

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Wise Recycling Center ZONE MAP/DRG. FILE # M14/D032
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 1-A AND 2-A, LANDS OF RAYCO
 CITY ADDRESS: BROADWAY BLVD SE

ENGINEERING FIRM: BRASHER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBQ, NM

CONTACT: D. LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

OWNER: TED WATERMAN
 ADDRESS: 501 THIRD STREET SW
 CITY, STATE: ALBQ, NM

CONTACT: SAME AS OWNER
 PHONE: 888-6088
 ZIP CODE: 87102

ARCHITECT: RICK BENNETT
 ADDRESS: 1104 PARK AVENUE SW
 CITY, STATE: ALBQ, NM

CONTACT: RICK BENNETT
 PHONE: 242-6630
 ZIP CODE: 87102

SURVEYOR: ANTHONY L. HARRIS
 ADDRESS: 2412 - D MONROE STREET NE
 CITY, STATE: ALBQ, NM

CONTACT: ANTHONY HARRIS
 PHONE: _____
 ZIP CODE: 87110

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

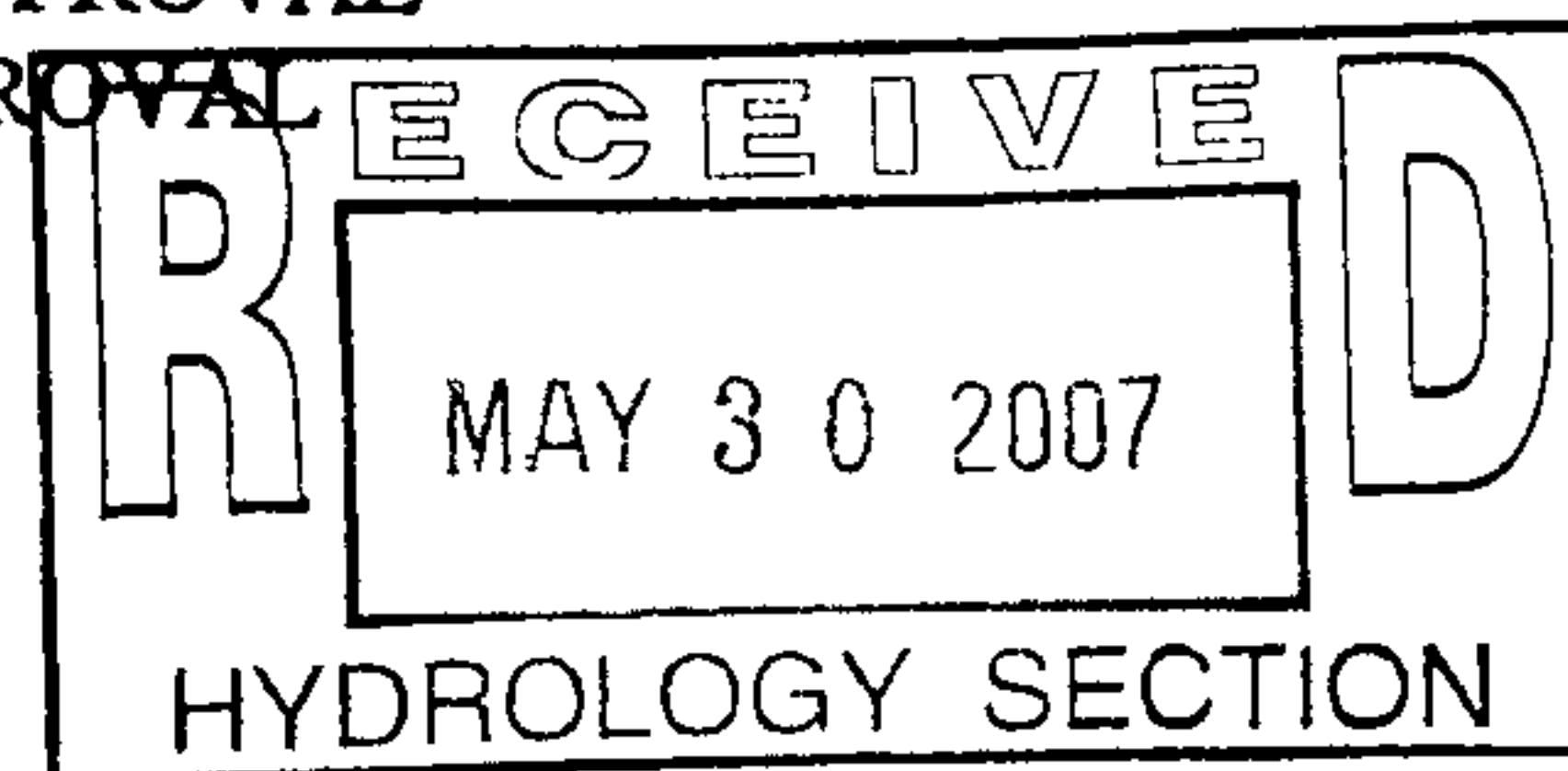
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: D. Lorenz DATE: 5.30.07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

May 29, 2007

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services
P.O. Box 1293
Albuquerque, NM 87103

Re. Wise Recycling Center Grading and Drainage Plan
Development and Building Services comments dated 4-23-07 (M14/D032)

Dear Mr. Cherne,

The comments received on 4-23-07 were reviewed and the following changes have been made in this re-submittal in order to obtain approval of the Preliminary Plat action by the DRB or Building Permit:

- Commercial lot:
 - For the developed condition, assume the entire lot will be paved.
 - ✓ In the AHYMO table located in the Drainage Report, recalculation of the 100 yr 6 hr flowrate was done for Basin C assuming the entire lot will be paved (Type D) under the developed condition.
 - Provide calculations for the swale along the west edge of the lot.
 - ✓ Changed detail to Rectangular Channel. See calculations in drainage report.
 - Provide the Finished Floor elevation for the existing building.
 - ✓ The Finish Floor elevation for the existing building is located on the Grading and Drainage Plan.
 - It appears there is a grade difference of 18" or greater between the commercial and residential lots in some areas. Grade differences of 18" or greater require a retaining wall.
 - ✓ The residential lots were adjusted to reduce the grade difference

between the lots.

- Show the swale in detail B-4.
 - ✓ The swale is shown in detail F-4 on sheet 4 of 4.
 - There is a discrepancy along the east edge of the parking lot; build note (6) is for curb, but the legend indicates a wall.
 - ✓ The wall located near the curb was placed a couple feet away to make the curb more visible.
- Residential lots:
 - The high point in Street "A" is not high enough to prevent runoff from Street "B" entering Street "A".
 - ✓ High point on Street "A" was adjusted to provide a 6" water block.
 - Numerous street sections are provided on Sheet 3 of 4. Specify which ones are to be built on the grading plan.
 - ✓ ~~The street~~ sections are shown on the Grading and Drainage plan.
 - The valley gutter detail on Sheet 3 of 4 specifies mountable curb and gutter where the valley gutter should be.
 - ✓ A 4' special valley gutter per COA standard drawing 2422 is now specified in the detail.
 - A cross-lot drainage easement will be required if the driveways are to drain as indicated.
 - ✓ Easements will be granted by replat as required.

Sincerely,



Lorena Gutierrez, E.I.
Staff Engineer
Brasher & Lorenz, Inc

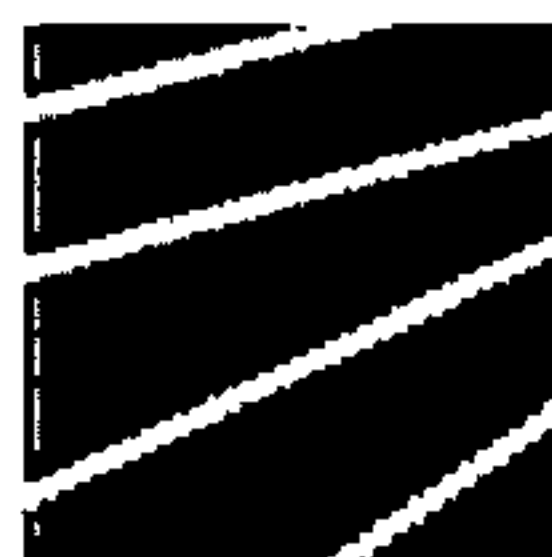
DRAINAGE REPORT
FOR
WISE RECYCLING CENTER

Albuquerque, New Mexico

Prepared For:

TED WATERMAN
501 Third St. SW
Albuquerque, New Mexico 87102

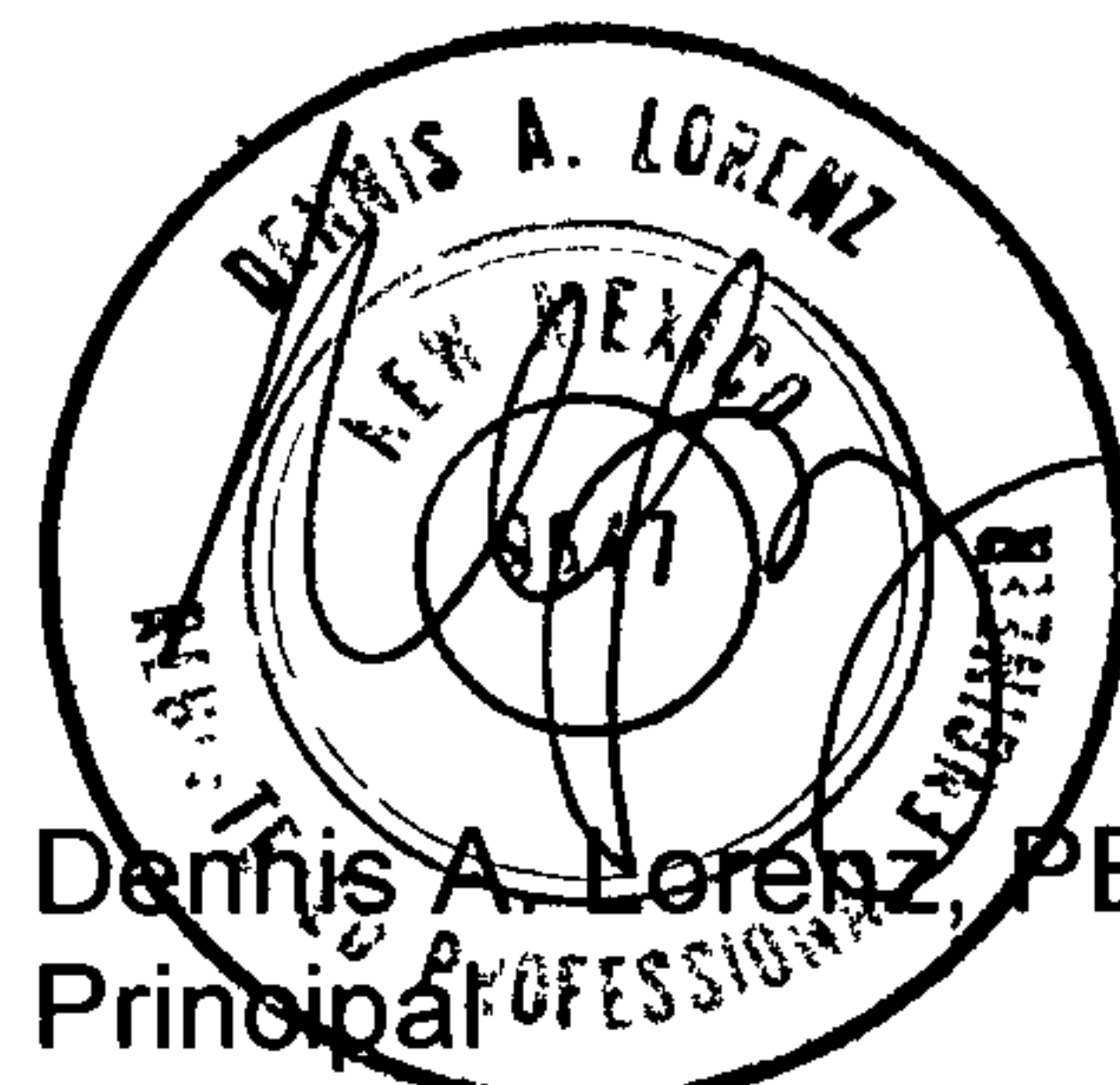
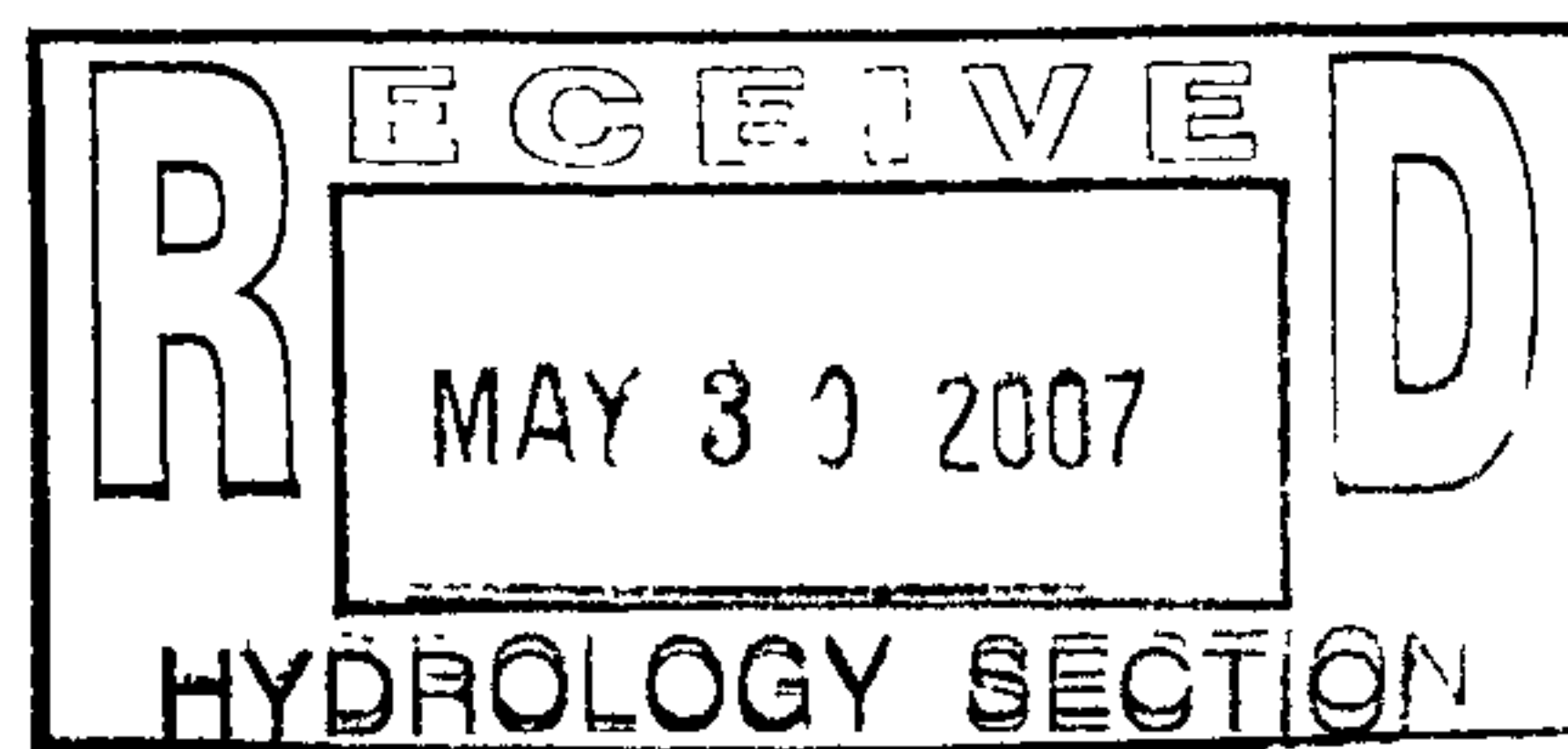
Prepared by:



BRASHER AND LORENZ, INC.

Consulting Engineers

2201 San Pedro NE, Building 1, Suite 1300
Albuquerque, New Mexico 87110



Dennis A. Lorenz, PE
Principal

5.29.07

May 2007

TABLE OF CONTENTS

TITLE	PAGE NO.
PURPOSE AND SCOPE	1
SITE DESCRIPTION	1
EXISTING DRAINAGE CONDITIONS	1
PROPOSED CONDITIONS	2
TEMPORARY EROSION CONTROL	2

APPENDIX

MAPS

VICINITY MAP - FIGURE 1
FLOOD INSURANCE RATE MAP - FIGURE 2
ON-SITE DRAINAGE BASIN MAP, DEVELOPED CONDITIONS, FIGURE 3

CALCULATIONS

STREET DEPTHS
STORM DRAINS
AHYMO

EXHIBITS (Located in back pocket)

CONNECTION AGREEMENT, EXHIBIT A
GRADING & DRAINAGE PLAN, SHEET 1
GRADING, DRAINAGE, & WALL DETAILS, SHEET 2
STORM INLETS, STORM SEWER PLAN & PROFILE, SHEET 3
STREET PAVING DETAILS, SHEET 4

PURPOSE AND SCOPE

Pursuant to City of Albuquerque Development Process Manual, this Drainage Report is presented to outline the drainage management criteria for controlling developed runoff generated by the project site, and to identify the storm drainage infrastructure recommended to protect the site from off-site runoff. An industrial/residential development is proposed on the existing 7.55-acre site. Access, landscaping, grading, drainage and utility improvements will be provided to support the development. This Drainage Report is presented to support a Preliminary Plat request, including Infrastructure List and Grading Plan approval by the Development Review Board, and subsequent building permit application.

SITE DESCRIPTION

Presently, the project site is undeveloped. The site is located at 2525 Broadway Boulevard SE in Albuquerque, New Mexico (see the Vicinity Map). The site slopes from east to west at approximately 2 percent. Recent demolition, of structures that were present on the site, has disturbed the natural vegetation and topography. Presently, on-site is a small building with an adjacent parking lot that is located on the southwest corner. The site is bounded by residential housing in the south and west. Wheeler Avenue SE is also located on the west property line. A parking lot is located to the north of the site and Broadway Boulevard to the east.

EXISTING DRAINAGE CONDITIONS

The site presently drains from east to west. On-site runoff flows to the west boundary where a portion of the flow drains onto Wheeler Avenue SE, another portion leaks under the fence on the west property line and the remainder drains into a regional detention pond that is located just west of the northwest quadrant of the property. The pond accepts flows from a 72 inch public storm drain originating in Broadway Boulevard SE. The storm drain flows along the north property line of the site.

The site is not impacted by any off-site flows from the north, south, east or west. All flows from the east are collected by the drainage improvements in Broadway Boulevard.

As shown by the FIRM Panel for this area, this property is located within a Zone X (500 year) flood zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the development of the property into a recycling center and residential homes. Paving, water, sanitary sewer, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations and details required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

The Grading and Drainage Plan (see Sheet 1 located in back pocket) recommends construction of drop inlets to assist with draining the on-site runoff from the residential and recycling center.

The On-site Drainage Map – Developed Conditions (see Drainage Basin Map – Figure 3), illustrates the on-site drainage basins that will impact the project site. Each on-site basin is described as follows:

1. Basin A is comprised of the residential area that will drain west to Wheeler Ave SE.
2. Basin B is comprised of the residential area and parking lot that will drain east to the drop inlet located at AP-1.
3. Basin C will drain northwest to the drop inlet located at AP-2.

The peak developed flow from Basin 'A' is less than the historic flow draining to Wheeler Avenue SE, therefore, free discharge of Basin 'A' is valid. Developed flow from Basin 'A' drains west within Wheeler Avenue SE. Wheeler flows drain west and are collected by the public storm drains in Topeka Street.

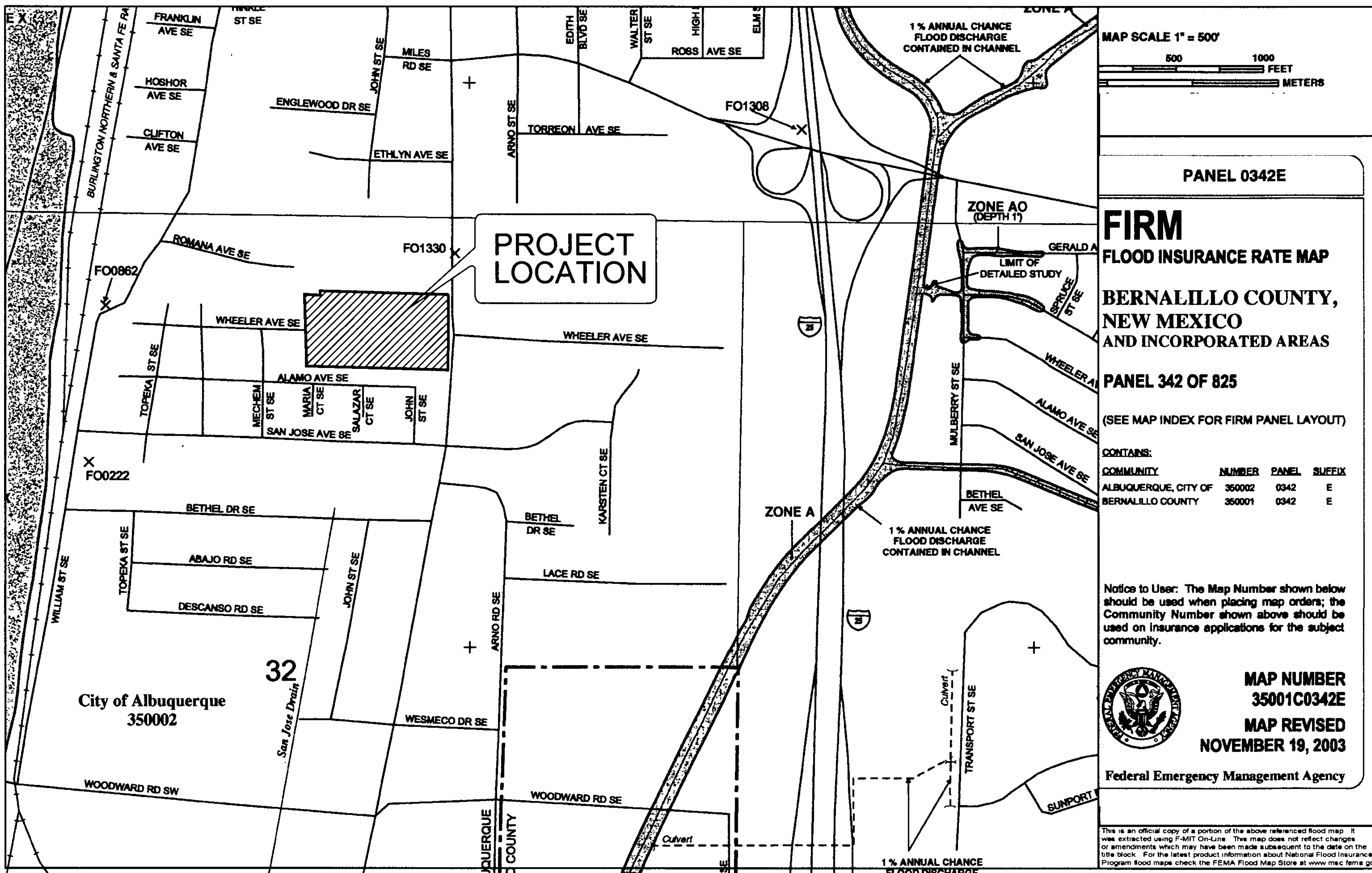
Basins 'B' and 'C' drain to the existing public 72-inch storm drain that outfalls at the regional detention pond. Connection to the 72-inch storm drain is allowed by agreement between the city and the property owner (See Exhibit 'A').

TEMPORARY EROSION CONTROL

As required by the City of Albuquerque and the Environmental Protection Agency a detailed Storm Water Pollution Prevent Plan (SWPPP) will be prepared to outline criteria for the management of storm water flows and the discharge of potential pollutants, both during the construction phase and long term life of the project. The SWPPP will be completed and available for inspection prior to construction commencement.

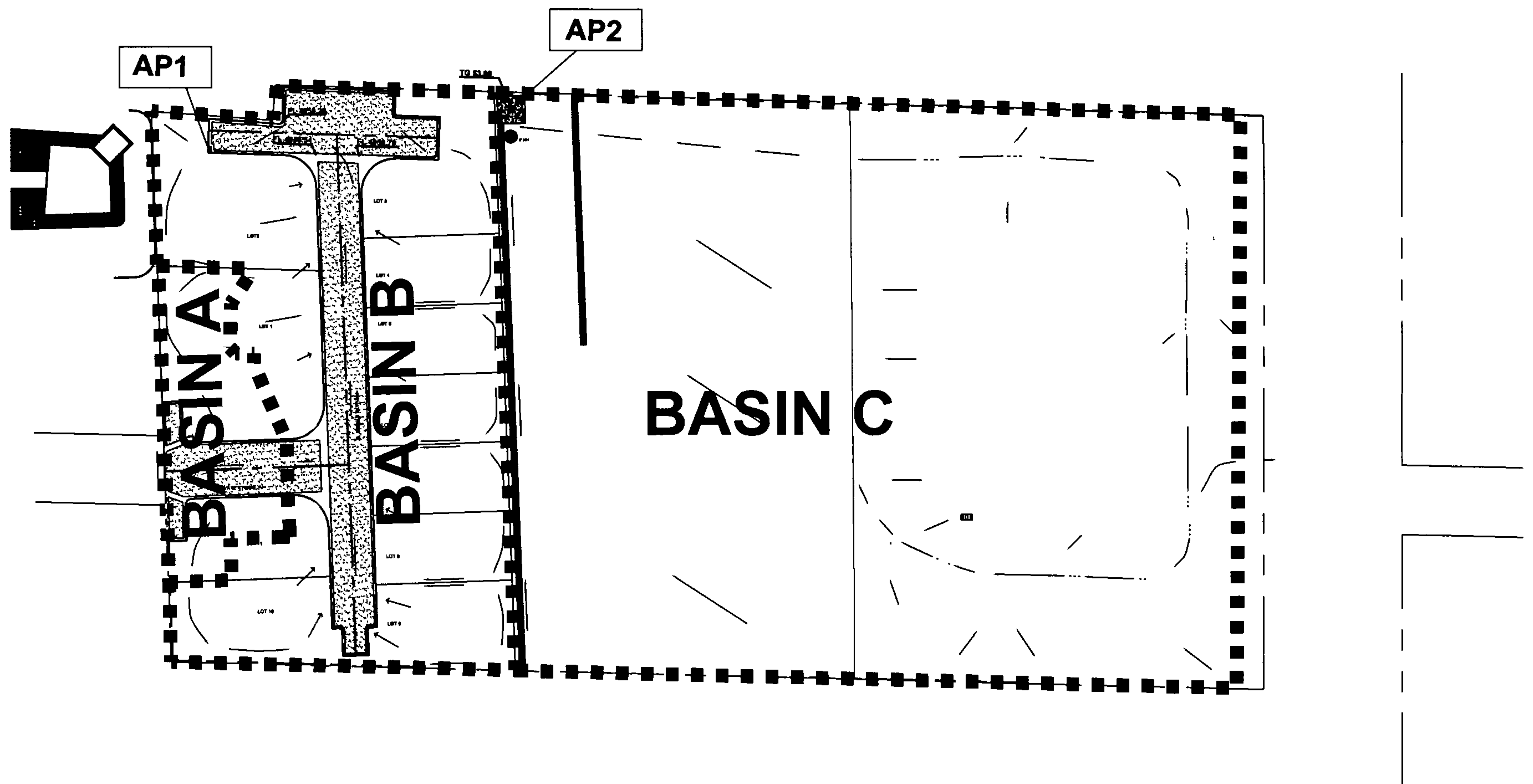
APPENDIX

MAPS



FIRM PANEL

FIGURE 2



ON-SITE DRAINAGE BASIN MAP, DEVELOPED CONDITIONS

FIGURE 3

CALCULATIONS

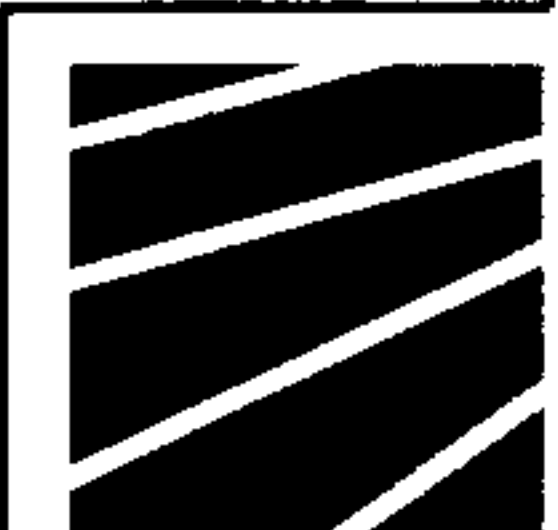
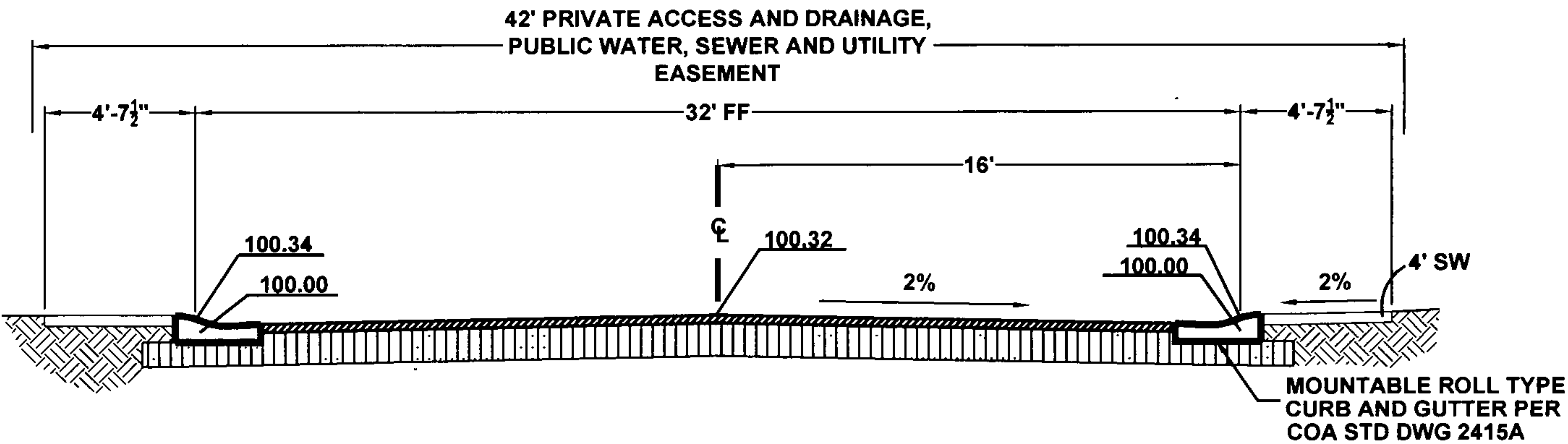
STREET DEPTHS

	WISE RECYCLING CENTER	06567	
	STREET DEPTH	05-07	

FOR STREET: NATURAL CHANNELS
Y - FLOW ELEVATION, Q - FLOWRATE, S - CHANNEL SLOPE

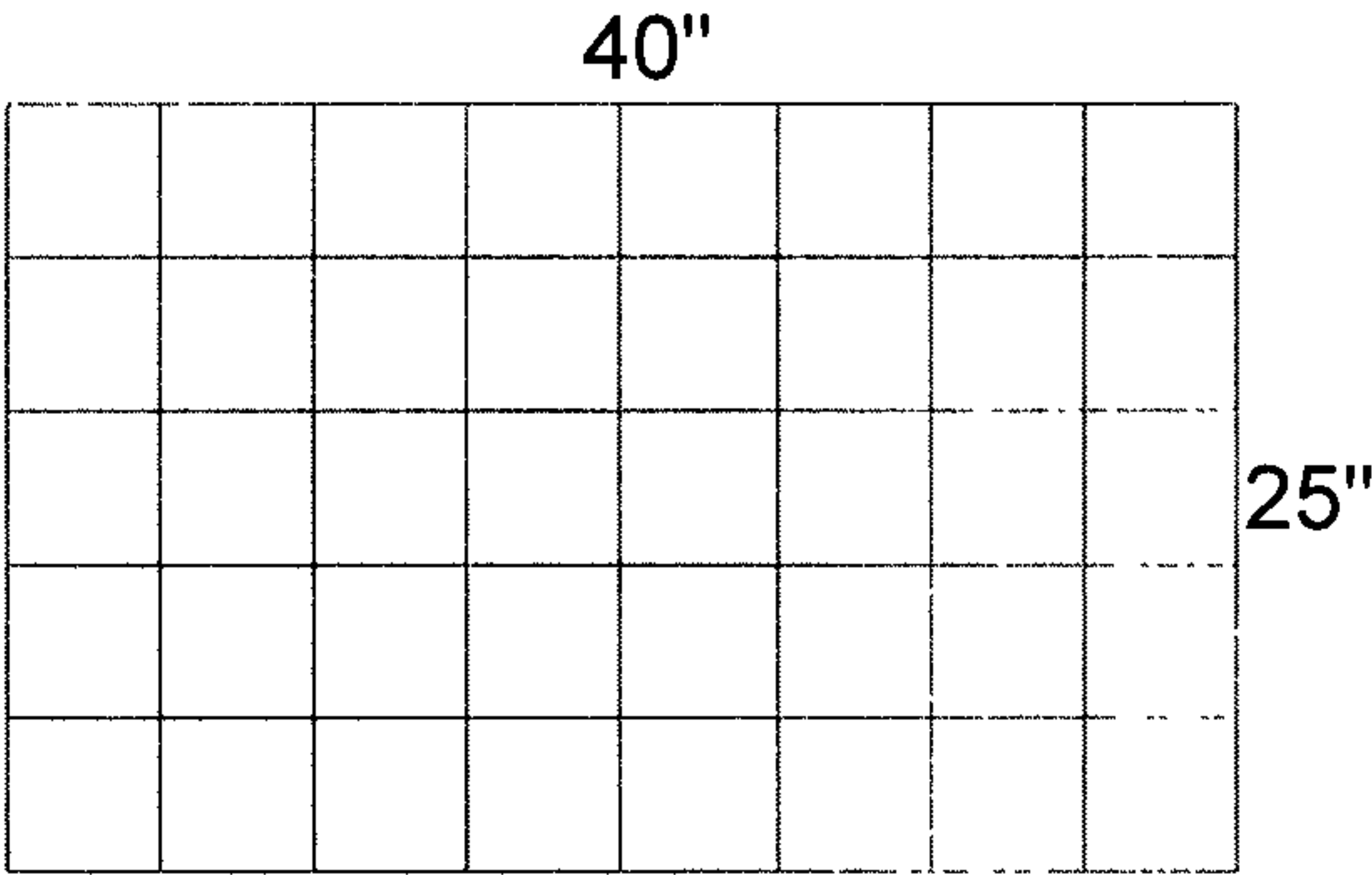
GIVEN: Q = 8.3 cfs	DIST (ft)	ELEV (ft)	COEFF	
S = 0.005 ft/ft	0	100.34	0.017	
	0	100.00	0.017	
	16	100.32	0.017	
	32	100.32	0.017	
	32	100.34	0.017	

OUTPUT: Y = 100.31 ft, V = 1.77 fps, Fr = 0.80 (SUB-CRITICAL FLOW)



STORM DRAINS

CHECK SINGLE GRATE 'D' (PER COA DWG 2206)



PERIMETER, P = 130" = 10.83'
OPEN AREA, A = 4.31 sf
PER PLAN H = 8" = 0.67'

FOR BASIN B ANALYSIS POINT 1 (AP1, SEE DRAINAGE BASIN MAP FOR LOCATION):

A. CHECK BY WEIR:	B. CHECK BY ORIFICE:
GIVEN: $Q_{100} = 8.3$ cfs, $C = 2.5$, $H = 0.67'$	GIVEN: $Q_{100} = 8.3$ cfs, $C = 0.6$, $H = 0.67'$
$Q = CLH^{3/2}$	$Q = CA(2gH)^{1/2}$
$Q = 2.5 \cdot 10.83 \cdot (0.67)^{3/2}$	$Q = 0.6 \cdot 4.31 \cdot (2 \cdot 32.2 \cdot 0.67)^{1/2}$
$Q = 14.8$ cfs	$Q = 17.0$ cfs

$Q_{max} = 17.0$ cfs

50% closing

OF GRATES = $Q_{100} / Q_{max} = 8.3 / 14.8 = 0.5$ GRATES USE 1 GRATE (FS= 2.0)

GIVEN: $Q_{100} = 8.3$ cfs, $C = 0.6$	FOR D = 18"	$Q = CA(2gH)^{1/2}$
		$8.3 = 0.6 \cdot 1.77 \cdot (2 \cdot 32.2 \cdot H)^{1/2}$
		$H = 0.9' = 10.8"$

	FOR D = 24"	$Q = CA(2gH)^{1/2}$
		$8.3 = 0.6 \cdot 3.14 \cdot (2 \cdot 32.2 \cdot H)^{1/2}$
		$H = 0.3' = 3.6"$



WISE RECYCLING CENTER		06567
FOR STORM WATER DROP INLETS		05-07
CHECK SINGLE GRATE 'D' (PER COA DWG 2206)		
<div><div>40"</div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div></div><div>25"</div></div>		PERIMETER, P = 130" = 10.83' OPEN AREA, A = 4.31 sf PER PLAN H = 8" = 0.67'
FOR BASIN C ANALYSIS POINT 2 (AP2, SEE DRAINAGE BASIN MAP FOR LOCATION):		
A. CHECK BY WEIR:		B. CHECK BY ORIFICE:
GIVEN: Q ₁₀₀ = 20.7cfs, C = 2.5, H = 1.0'		GIVEN: Q ₁₀₀ = 20.7 cfs, C = 0.6, H = 1.0'
Q = CLH ^{3/2}		Q = CA(2gH) ^{1/2}
Q = 2.5*10.83*(1.0) ^{3/2}		Q = 0.6*4.31*(2*32.2*1.0) ^{1/2}
Q = 27.1 cfs		Q = 20.8 cfs
Q _{max} = 20.8 cfs		
50% clogging is done		
# OF GRATES = Q ₁₀₀ /Q _{max} = 20.7/20.8 = 1 GRATE USE 2 GRATE (FS= 2.0)		
GIVEN: Q ₁₀₀ = 20.7 cfs, C = 0.6		FOR D = 18" Q = CA(2gH) ^{1/2}
		20.7 = 0.6*1.77*(2*32.2*H) ^{1/2}
		H = 6' = 72"
		FOR D = 24" Q = CA(2gH) ^{1/2}
		20.7 = 0.6*3.14*(2*32.2*H) ^{1/2}
		H = 2' = 24"
BRASHER & LORENZ, INC.		



CHANNEL

WISE RECYCLING CENTER	06567	
6' CONCRETE CHANNEL	05-07	

FOR SWALE ALONG THE WEST EDGE OF LOT:

USING MANNING'S EQUATION:

Y - FLOW ELEVATION, Q - FLOWRATE, S - LONGITUDINAL CHANNEL SLOPE

n - MANNING'S COEFFICIENT, L - LENGTH OF CHANNEL, R - HYDRAULIC RADIUS

A - AREA OF CHANNEL, P - WETTED PERIMETER

GIVEN: L = 234 ft, n = 0.017, Q₁₀₀ = 20.7 cfs, Elevations: 57.00 ft and 55.00 ft

FIND: Q

$A = 6 \times (8/12) = 4 \text{ ft}^2$

$Q = (1.49AR^{2/3}S^{1/2})/n$

$P = 6 + 2 \times (8/12) = 7.33 \text{ ft}$

$Q = (1.49 \times 4 \times (0.5457)^{2/3} \times (0.0085)^{1/2}) / 0.017$

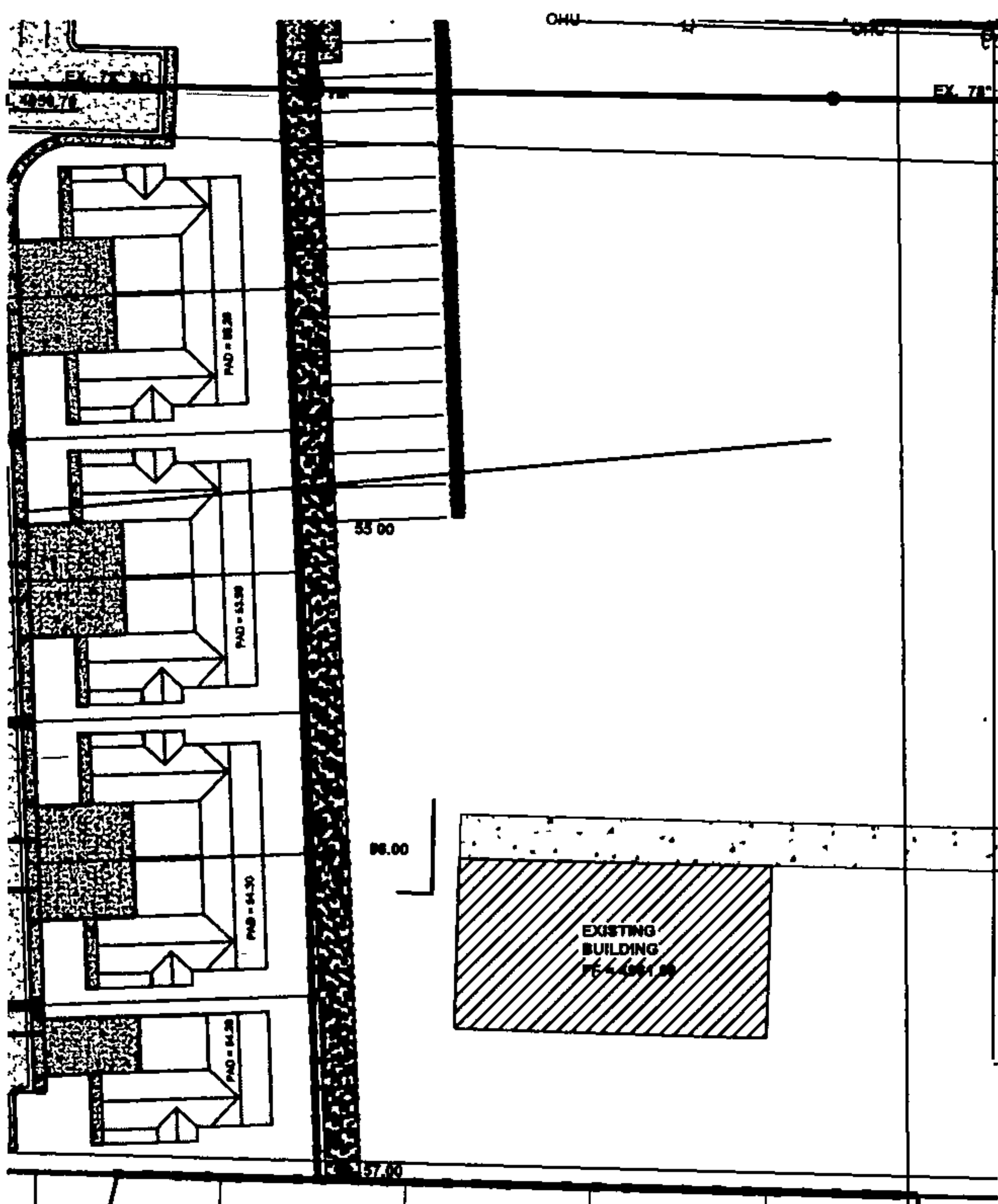
$R^{2/3} = A/P^{2/3} = 4/7.33^{2/3} = 0.5457^{2/3}$

$Q = 21.6 \text{ cfs}$

$S = (57 - 55) / 234 = 0.0085$

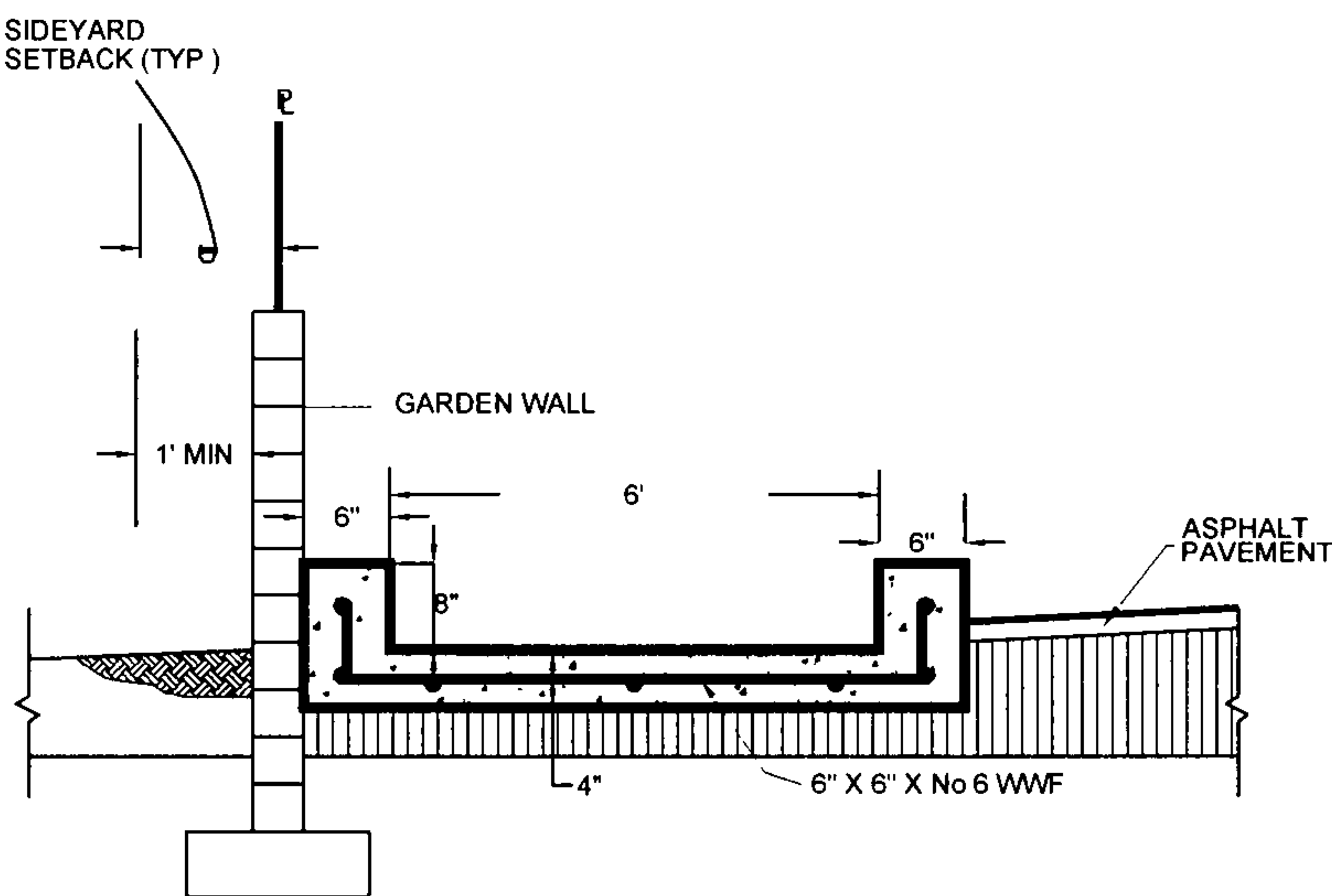
24.5 cfs *28.25 cfs*

Q₁₀₀ = 20.7 cfs is less than Q = 21.6 cfs. good ~~except~~ *Q₁₀₀ = 24.5 cfs*



WEST EDGE OF LOT DETAIL

NTS



CONCRETE CHANNEL DETAIL

NTS

AHYMO

	PROJECT HYDROLOGY	06567	
	AHYMO	05-07	

--	--

--	--

ZONE:	2	WISE RECYCLING CENTER
P ₆ HOUR	2.35"	
P ₁₀ DAY	3.95"	

--	--

	UNDEVELOPED:
--	--------------

BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac - ft)
SITE	7.55	0.00	0.00	7.17	0.38	1.18	24.3	0.742

--	--

	DEVELOPED:
--	------------

BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac - ft)
A	0.37	0.00	0.00	0.22	0.15	0.57	1.4	0.018
B	1.97	0.00	0.00	0.59	1.38	3.59	8.3	0.590
C	5.21	0.00	0.00	0.00	5.21	2.12	24.5	0.920

--	--



EXHIBIT 'A'

8886183

Return for First American Title Ins. Co. of #

UNDERGROUND DRAINAGE EASEMENT

Grant of Underground Drainage Easement, between Rayco IV Ltd. Co., ("Grantor"), whose address is P.O. Box 6127, 2350 Aztec NE, Albuquerque, NM 87197, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque New Mexico 87103.

Grantor grants to the City an exclusive, permanent underground easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of a public underground storm drain (the "Permanent Improvement"), together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

City shall coordinate with Grantor concerning the timing and construction of the Permanent Improvement and the number and location of stub-outs to be constructed as part of the Permanent Improvement. City hereby grants to Grantor a right of access to the Permanent Improvement for the purpose of connecting to the stub-outs. City agrees to install two (2) twenty-four inch (24") stub-outs for Grantor's benefit at locations to be determined by the approved drainage study for Tracts 1 and 2 of the Grantor's property.

Upon completion of the permanent improvement, City will be financially or otherwise responsible for rebuilding or repairing to the Grantor's reasonable satisfaction the following surface improvements ("Surface Improvements"): road paving, landscaping, curb, gutter and sidewalks, constructed by Grantor upon the Underground Drainage Easement. Except for the surface improvements, Grantor shall not be permitted to construct or place any other improvements, structures or encroachments within the Easement. In the event Grantor constructs or places any improvements, structures or encroachments within the Easement not permitted herein, City shall not be responsible for rebuilding or repairing any damage to the improvements resulting from the City's use of the Easement.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property of any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

EXHIBIT

C

This Easement shall not become effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this 19th day of October, 2000.

GRANTOR:
Rayco IV Ltd. Co., a New Mexico limited liability company

By: Raymond P. Cohen
Its: MANAGER

APPROVED:

[Signature]
City Engineer

Date: 10-21-00

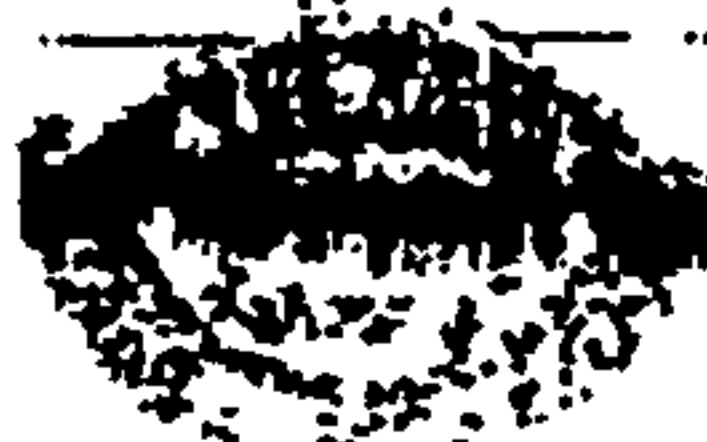
He 1020100

STATE OF New Mexico
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me this 19th day of October, 2000, by Raymond P. Cohen, of Rayco IV Ltd. Co., a New Mexico limited liability company, on behalf of the company.

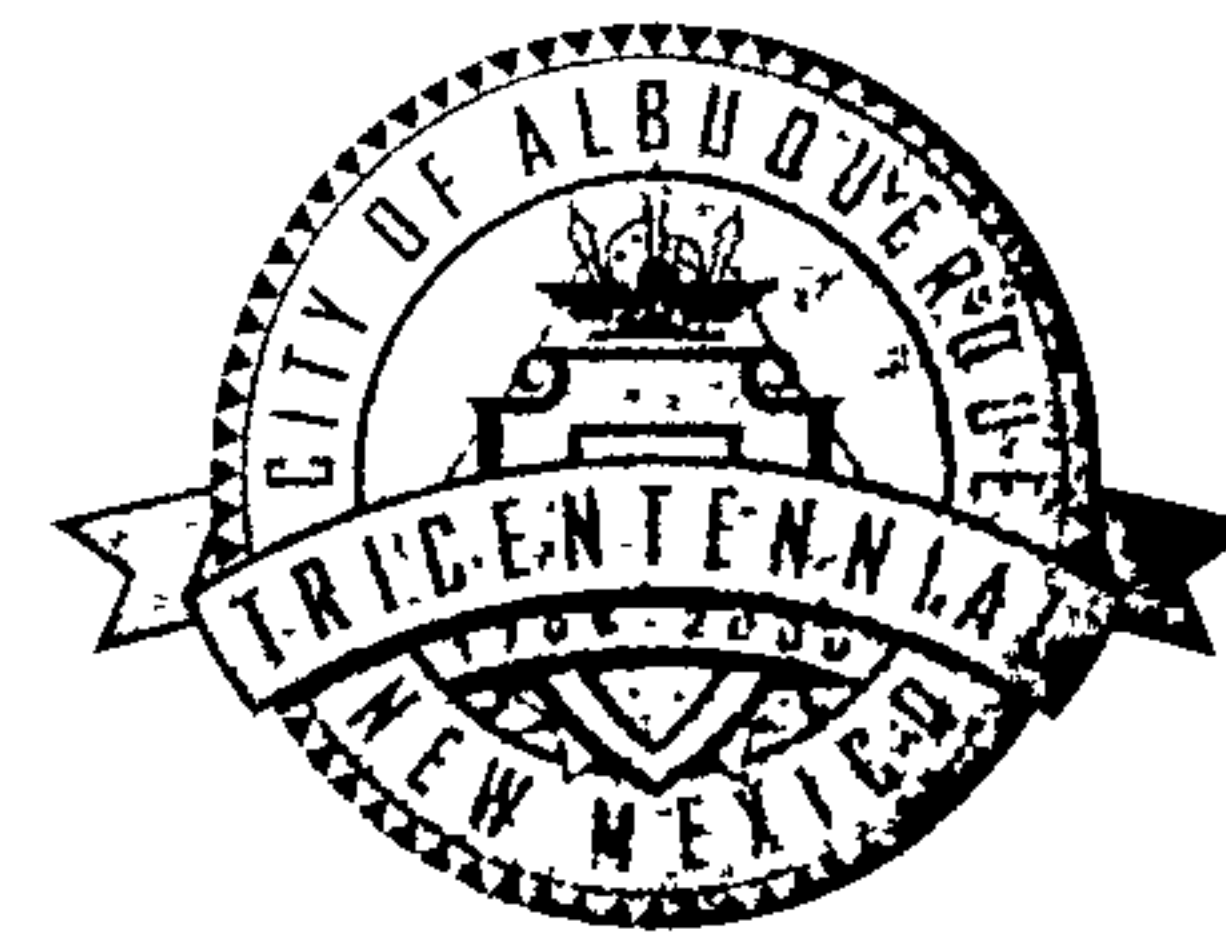
[Signature]
Notary Public

My Commission Expires



My Commission Expires 11/2/2000

CITY OF ALBUQUERQUE



January 15, 2008

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: Wise Recycling Center, 2525 Broadway Blvd SE, (M-14/D032)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Date 11/28/2007
Certification dates: 1-14-2008

Mr. Lorenz:

P.O. Box 1293

Based upon the information provided in your submittal received 1/14/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: WISSE RECYCLING

DRB#: _____ EPC#: _____

ZONE MAP/DRG. FILE # M14 D032

WORK ORDER#: 583382

LEGAL DESCRIPTION: TRACTS 1-A + 2-A LANDS OF RAYCO

CITY ADDRESS: BROADWAY BLVD SE

ENGINEERING FIRM: BRASHER + LORENZ

ADDRESS: 2201 SAN PEDRO NE

CITY, STATE: ALBU, NM

CONTACT: D. LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: TED WATERMAN

ADDRESS: 501 THIRD SW

CITY, STATE: ALBU NM

CONTACT: T. WATERMAN

PHONE: -

ZIP CODE: 87102

ARCHITECT: RICK BENNETT

ADDRESS: 1104 PARK SW

CITY, STATE: ALBU NM

CONTACT: R. BENNETT

PHONE: 242 1859

ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING

ADDRESS: 2412 MONROE NE

CITY, STATE: ALBU NM

CONTACT: T. HARRIS

PHONE: 889-8056

ZIP CODE: 87110

CONTRACTOR: TED WATERMAN

ADDRESS: 501 THIRD ST. SW

CITY, STATE: ALBUQUERQUE

CONTACT: TED WATERMAN

PHONE: _____

ZIP CODE: 87102

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

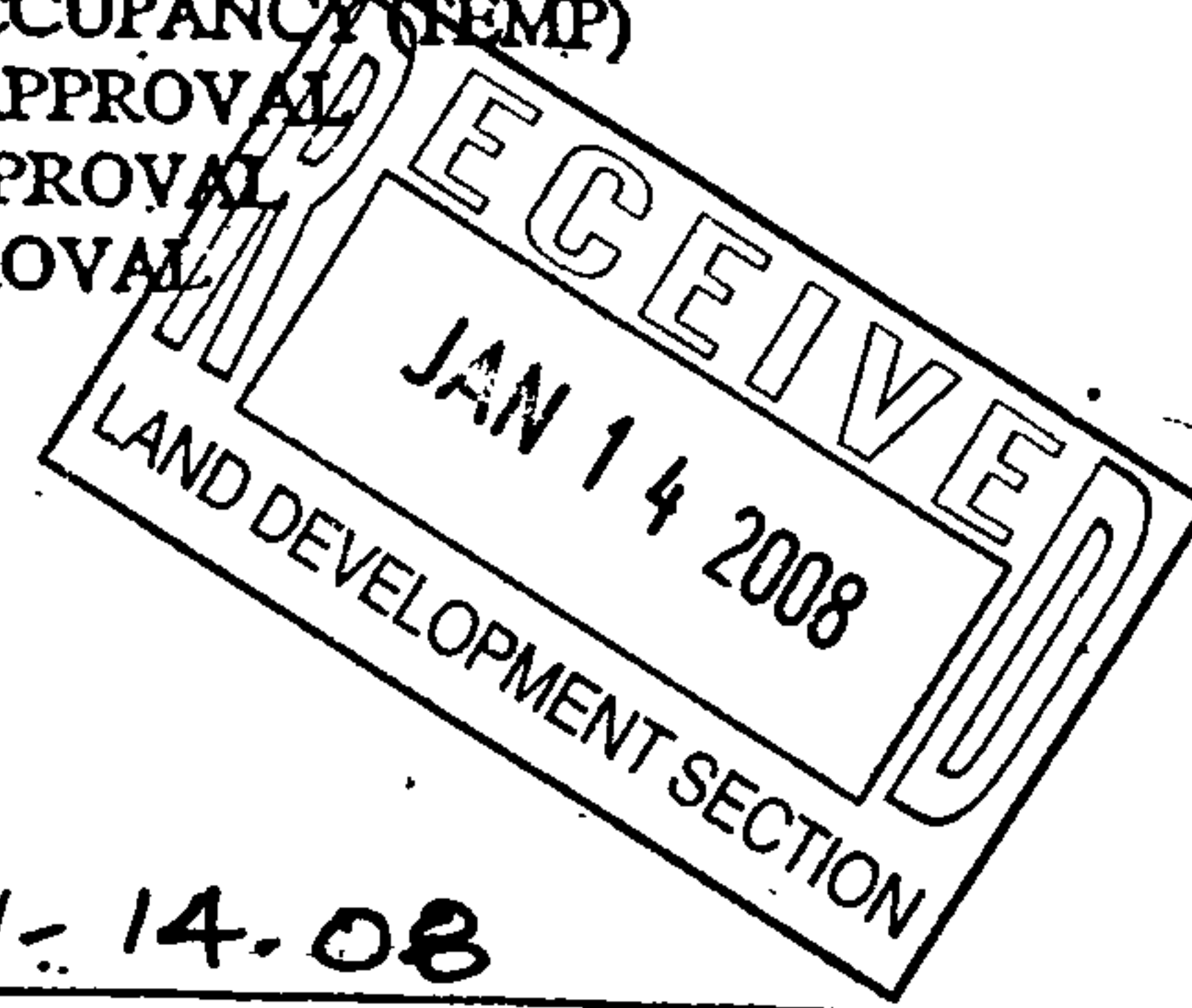
☐ YES

☒ NO

☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ

DATE: 1-14-08



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

January 18, 2008

Rick Bennett, Registered Architect
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Wise Recycling, [M-14 / D032]
2525 Broadway SW
Architect's Stamp Dated 12/27/08

Dear Mr. Bennett:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

The TCL / Letter of Certification submitted on January 18, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

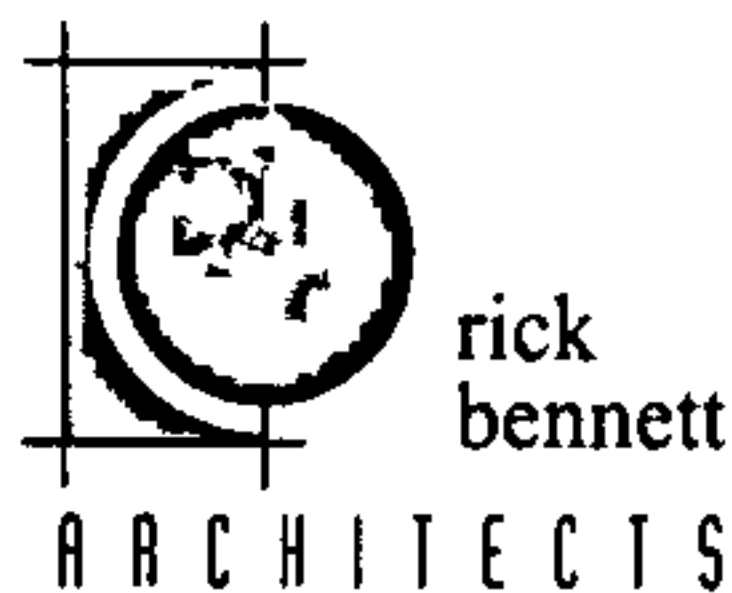
The Final C.O. will issued on the condition that the following items will be addressed within 90 days:

- You need ADA access on sidewalk connection from Broadway to site (wheel chair ramps are needed).
- Entrance drawings don't match site construction entrances (drawings shows private entrance but constructed site shows drivepads).
- North entrance is not ADA accessible and needs to be constructed as curb returns which was part of the original approved plans.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



January 18, 2008


Niló Salgado-Fernández, PE
City of Albuquerque
Planning Department
Development & Building Services Division
600 Second Street NW
Albuquerque, NM 87102
nsalgado@cabq.gov

Re: Wise Recycling
2525 Broadway SE

Dear Mr. Salgado-Fernández,

On January 18th we received your letter dated January 17th and we agree to satisfy the three issues that were addressed. We will build an ADA access from Broadway to the building and stripe it. The entrance drawings will match the site construction drawings. The north entrance will be made ADA accessible with curb returns as shown on our approved site plan. This work will be completed within 30 days. Thank you for issuing our much needed certificate of occupancy. If you have any questions, please call.

Sincerely,



Rick Bennett

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

January 17, 2008

Rick Bennett, Registered Architect,
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Wise Recycling, [M-14 / D032]
2525 Broadway SW
Architect's Stamp Dated 12/27/07

Dear Mr. Bennett:

P.O. Box 1293

The Site Plan submitted on January 17, 2008 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). But a 90 temporary C.O. has been issued to address below comments.

Albuquerque

You need:

- You need ADA access on sidewalk connection from Broadway to site (wheel chair ramps are needed).
- Entrance drawings don't match site construction entrances (drawings shows private entrance but constructed site shows drivepads).
- North entrance is not ADA accessible.

New Mexico 87103

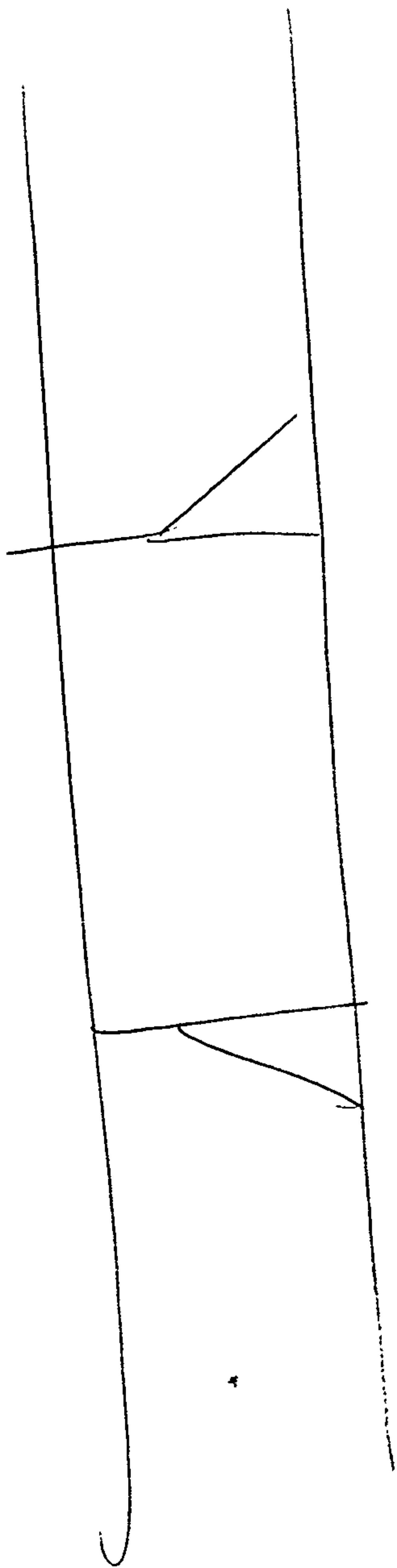
www.cabq.gov

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation (include letter of certification).

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 11/1/2002)

M-14/0032

PROJECT TITLE: WISE RECYCLING

DRB #:

EPC#:

ZONE MAP/DRG. FILE #: M-14-2

WORK ORDER#:

LEGAL DESCRIPTION: TRACTS #1-A AND 2-A OF THE PLAT OF TRACTS 1-A AND 2-A
CITY ADDRESS: 2525 Broadway SW LANDS OF RAY CO

ENGINEERING FIRM: BRASHER & LORENZ, INC.
ADDRESS: 2201 SAN PEDRO NE BLDG 1 ST. 1200
CITY, STATE: ABQ, NM

CONTACT: DENNIS LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: TW INVESTMENTS, LLC
ADDRESS: PO BOX 27560
CITY, STATE: ALBUQUERQUE, NM

CONTACT: TED WATERMAN
PHONE: 248-1688
ZIP CODE: 87125

ARCHITECT: RICK BENNETT ARCHITECTS, INC.
ADDRESS: 1104 PARK AVENUE SW
CITY, STATE: ABQ, NM

CONTACT: RICK BENNETT
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: TONY HARRIS SURVEYING, INC.
ADDRESS: 2412-D MONROE ST. NE
CITY, STATE: ABQ, NM

CONTACT: TONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: WATERMAN, INC.
ADDRESS: 501 3RD SW
CITY, STATE: ABQ, NM

CONTACT: TED WATERMAN
PHONE: 248-1688
ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

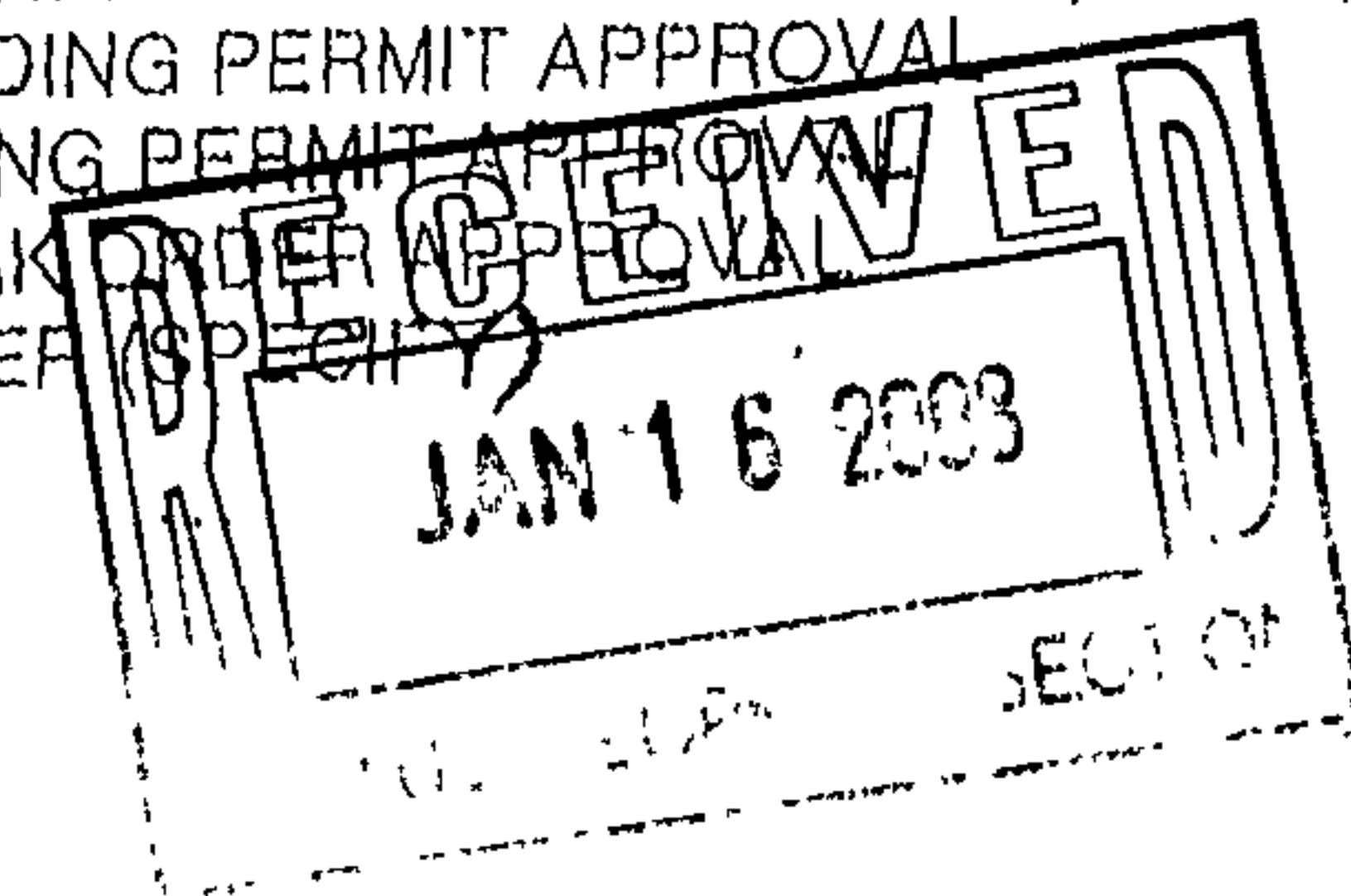
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 01/14/08

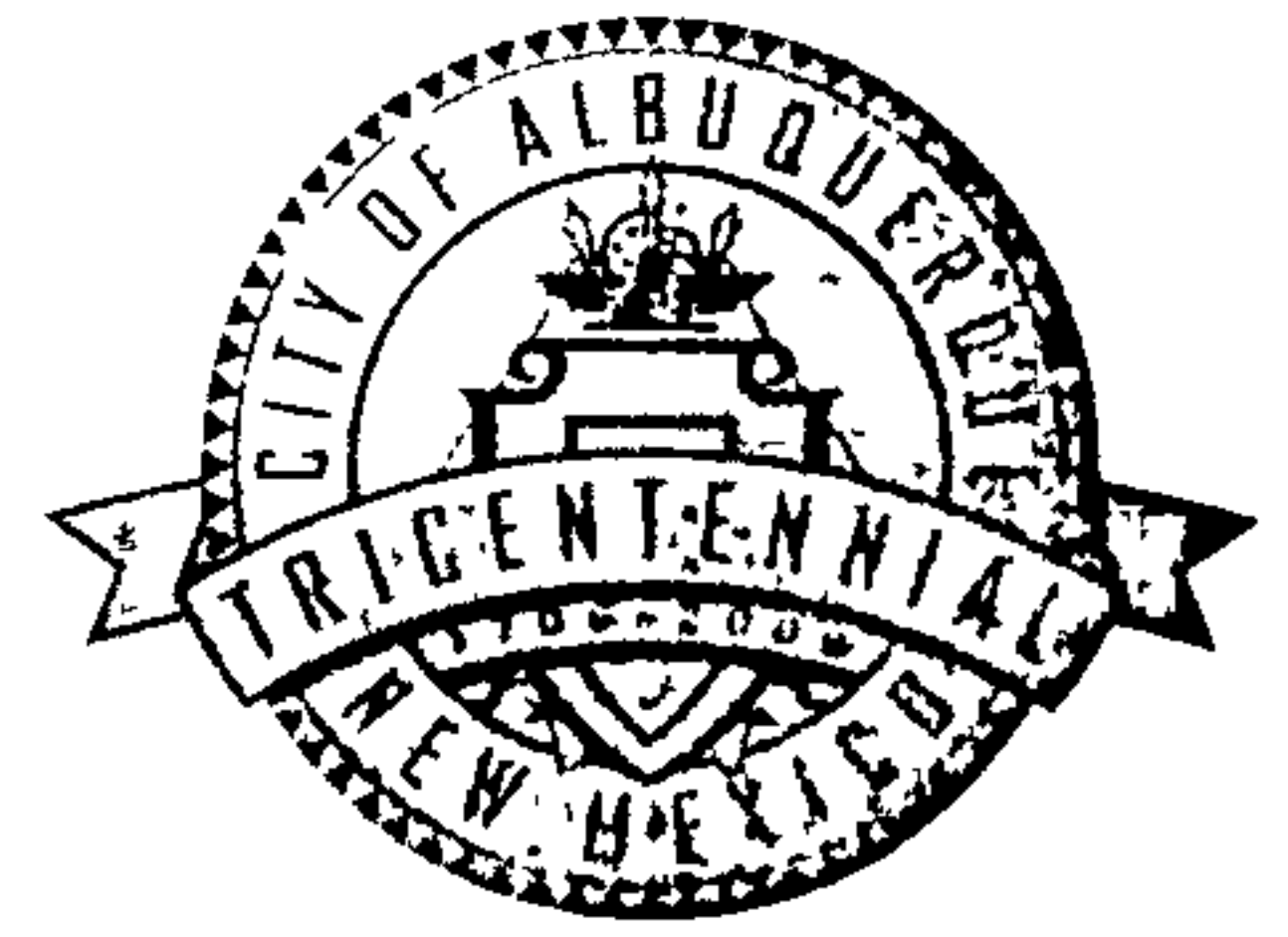
BY: *[Signature]*



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



May 17, 2007

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

Re: WISE Recycling, 2525 Broadway Blvd SE, Traffic Circulation Layout
Architect's Stamp dated 5-08-07 (M14-D32)

Dear Mr. Bennett,

The TCL submittal received 5-08-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

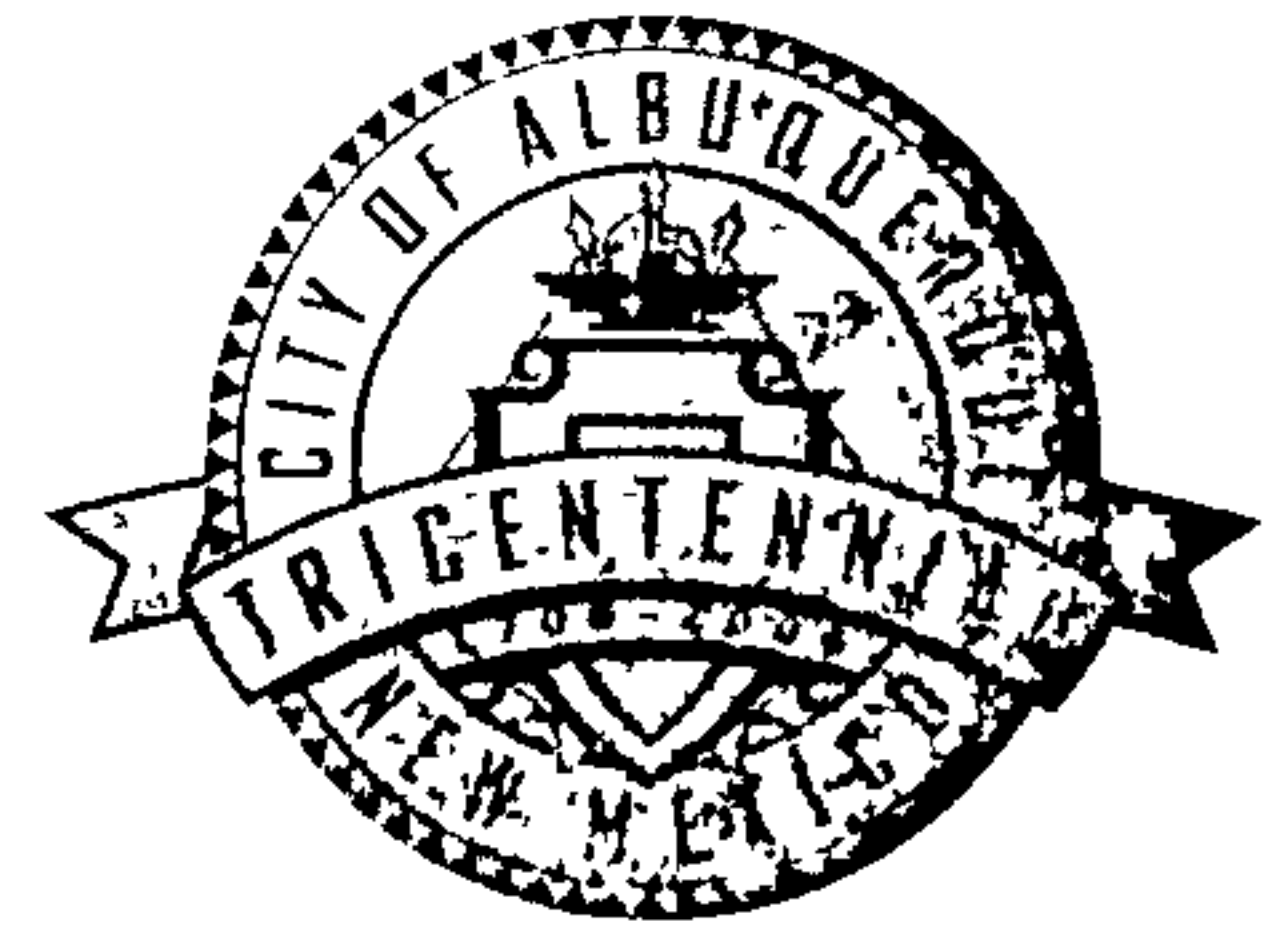
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



March 26, 2007

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

**Re: WISE Recycling, 2525 Broadway Blvd SE, Traffic Circulation Layout
Architect's Stamp dated 2-27-07 (M14-D32)**

Dear Mr. Bennett,

Based upon the information provided in your submittal received 3-05-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. List all curve radii.
2. Where is the parking for the existing building?
3. Please clarify the area east of the proposed building. The truck scale appears to block passage through the gate. Is this area meant for heavy vehicles only? Will passenger cars be entering / exiting the gate?

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



February 7, 2007

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

Re: WISE Recycling, Traffic Circulation Layout
No Architect's Stamp (M14-D32)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 1-25-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
- ✓ 2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. Clarify existing versus proposed conditions.
4. Is there a dumpster on this site? - rolls to street
- ✓ 5. Is there an existing sidewalk along Broadway? Please show the sidewalk in this area.
- ✓ 6. All residential work shown on the western lot must be done through the platting and work order process. Therefore, no work can be done under building permit for the western site.
- ✓ 7. Provide a copy of the plat.
- ✓ 8. Call out the major cross streets on the vicinity map.
- ✓ 9. Correct the spelling errors in "Vivinity" Map and "Legeal" Description.
- ✓ 10. What is the width of the driveways? Specify whether the driveways are proposed or existing. Please ensure all ramps are ADA compliant.
- ✓ 11. Provide the address for the site.
12. The keyed notes refer to details on sheet C-2. Please include this sheet for information.
- ✓ 13. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
- ✓ 14. Is there a median break at the site?

If you have any questions, you can contact me at 924-3981.

Area E of proposed building
- clarify circulation
- only heavy vehicles?
- passenger cars allowed?

C: File

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

Where is the parking
for the existing bldg?

CITY OF ALBUQUERQUE



April 24, 2007

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

**Re: WISE Recycling, 2525 Broadway Blvd SE, Traffic Circulation Layout
Architect's Stamp dated 4-17-07 (M14-D32)**

Dear Mr. Bennett,

Based upon the information provided in your submittal received 4-18-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

1. Since Broadway Boulevard is an arterial roadway in this area, the entrance must have a minimum radius of 30 feet at the flowline to accommodate a WB-40 vehicle (tractor trailer-50' long-wheel base 40'). For additional information, please see the *Development Process Manual*, Chapter 23, Section 6, Part B.9.
2. The truck scale appears to block employee passage through the gate. Please demonstrate how passenger vehicles will be able to access the gate.

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

January 3, 2008

✓ Rick Bennett, Registered Architect,
Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Wise Recycling, [M-14 / D032]
2525 Broadway SW
Architect's Stamp Dated 12/27/07

Dear Mr. Bennett:

P.O. Box 1293

The TCL / Letter of Certification submitted on December 27, 2007 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). But a 90 temporary C.O. has been issued to address below comments.

Albuquerque

You need to submit a legible copy; private entrance wheelchair ramps (was a permit issued for construction/inspection and does landing contain detectable warning surfaces).

New Mexico 87103

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk