

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 15, 2024

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Love's – Broadway / Sunport
3200 Broadway Blvd SE
Grading and Drainage Plans
Engineer's Stamp Date: 04/02/24
Hydrology File: M14D038A**

Dear Mr. Bohannon:

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 05/09/2024, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the retention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

Planning Department
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Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

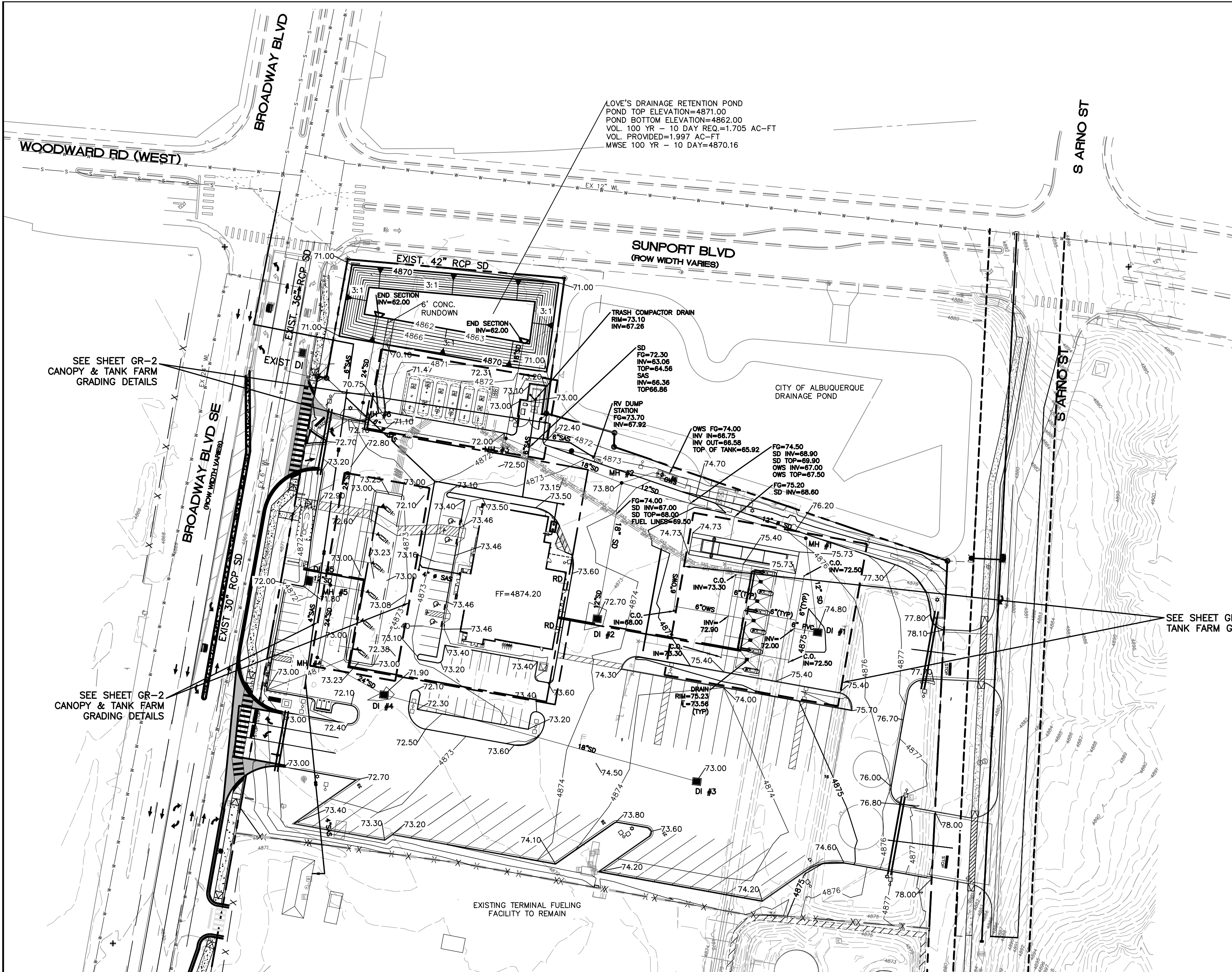
TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



NOTICE TO CONTRACTORS

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2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

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6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

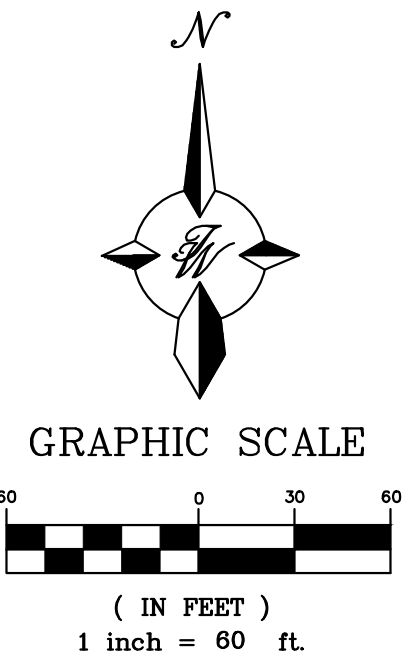
STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH#1	6' DIA	4876.30	4870.61 (IN) 4870.51 (OUT)
MH#2	4' DIA	4873.80	4867.99 (EAST) 4866.18 (SOUTH & NORTH) 4866.08 (WEST)
MH#3	4' DIA	4872.00	4862.41 (IN) 4862.31 (OUT)
MH#4	4' DIA	4872.80	4865.70 (IN) 4865.60 (OUT)
MH#5	4' DIA	4872.40	4864.95 (IN) 4865.44 (SAS TOP)
MH#6	4' DIA	4871.20	4863.78 (IN) 4863.68 (OUT)
DI #1	TYPE D	4874.80	4871.80
DI #2	TYPE D	4872.70	4867.70
DI #3	TYPE D	4873.00	4869.50
DI #4	TYPE D	4871.90	4866.45 (IN) 4866.35 (OUT)
DI #5	TYPE D	4871.80	4869.00

DRAINAGE NARRATIVE:

THE PROPOSED LOVE'S TRAVEL CENTER IS TO BE CONSTRUCTED ON THE NORTHERN 6.71 ACRES OF THE EXISTING TERMINAL FUELING FACILITY. THE SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS, PAVING AND ABOVE GROUND FUEL STORAGE TANKS. THE SITE CURRENTLY GENERALLY DRAINS FROM EAST TO WEST WITH SOME ONSITE PONDING AND SOME RUNOFF ENTERING THE BROADWAY BOULEVARD RIGHT OF WAY. THE EXISTING FACILITIES WITHIN THE NORTHERN 6.71 ACRES WILL BE REMOVED AND THE NEW LOVE'S CONSTRUCTED WITH AUTO AND TRUCK FUELING AREAS, A C-STORE, A CAT SCALE, AND ASSOCIATED PARKING FIELDS. DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO A PROPOSED RETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND WILL HAVE THE CAPACITY TO RETAIN THE 100-YEAR, 10-DAY STORM VOLUME.

DRAINAGE ON THE EXISTING TERMINAL FUELING FACILITY SOUTH OF THE LOVE'S TRAVEL CENTER DEVELOPMENT WILL REMAIN AS IT CURRENTLY EXISTS.



Weighted E Method

Zone 2											
Zone 2											
Developed Basins											
Basin	Basin Area			Treatments				100-Year			
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	
Loves	292,169.0	6.71	0.010	0%	0.00	25%	1.68	0%	0.00	75%	5.03
								1.948	1.089	25.79	
Total	292,169.0	6.707	0.01048	0.00	1.677	0.000	5.030		1.089	25.79	

Equations:

Weighted E = Ea*As + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted E * Total Area

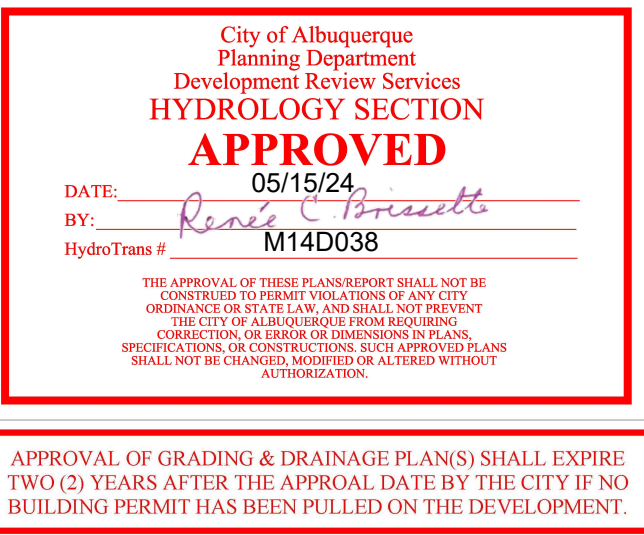
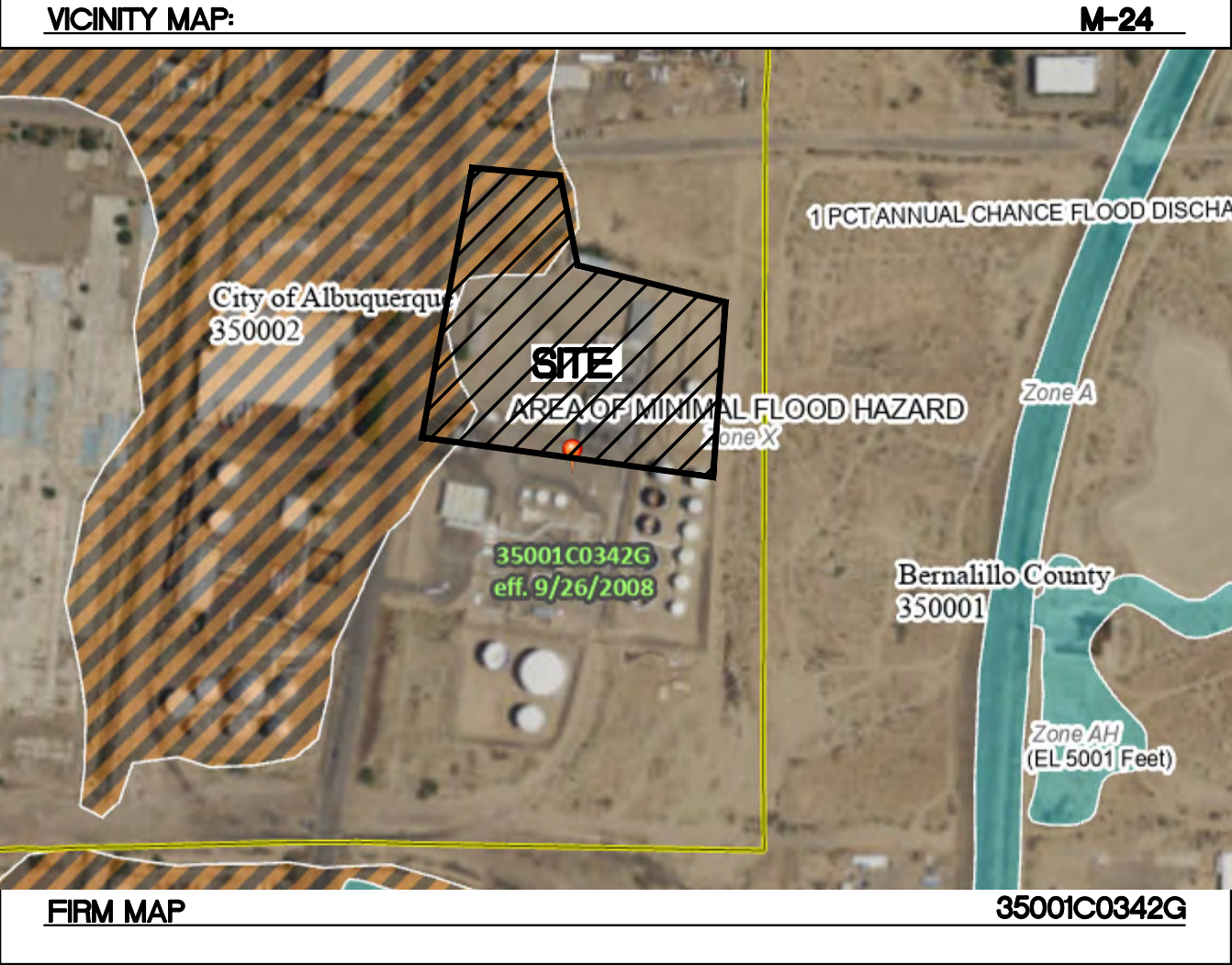
Flow = Qa * As + Qb * Ab + Qc * Ac + Qd * Ad

V10DAY = VDR * A0 (P10DAY - PDR)^(1/2) INFT

P10DAY = 3.67 IN

PDR = 2.20 IN

LOVE'S POND 100YR, 24HR 47,417 CU.FT.
100YR, 10DAY 74,260 CU.FT.



LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	PARKING LOT LIGHT FIXTURE

ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	LOVE'S BROADWAY/ SUNPORT BLVD GRADING PLAN	DRAWN BY sb
		DATE 04-02-24
 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # GR-1
		JOB # 2022031

LEGEND

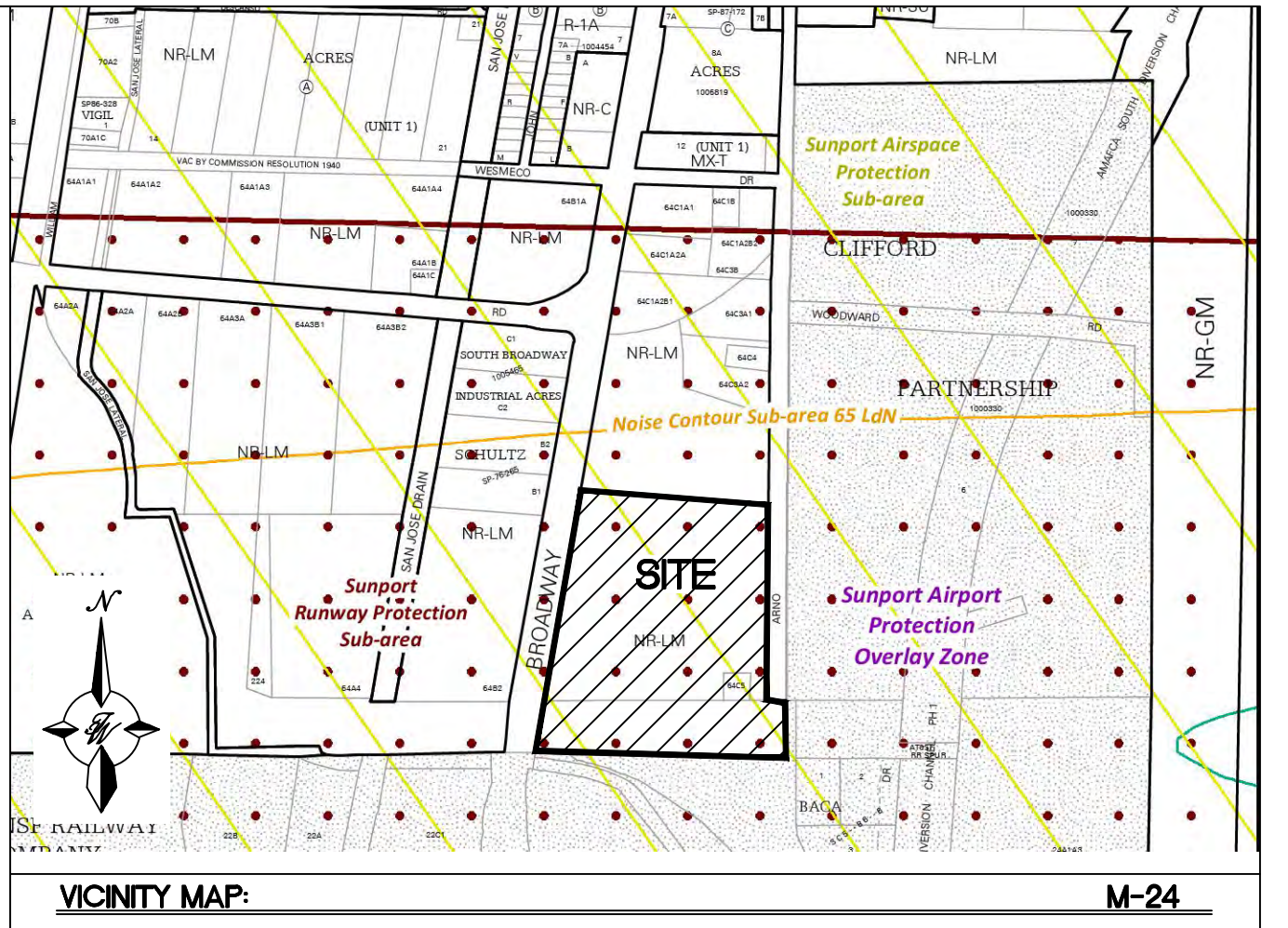
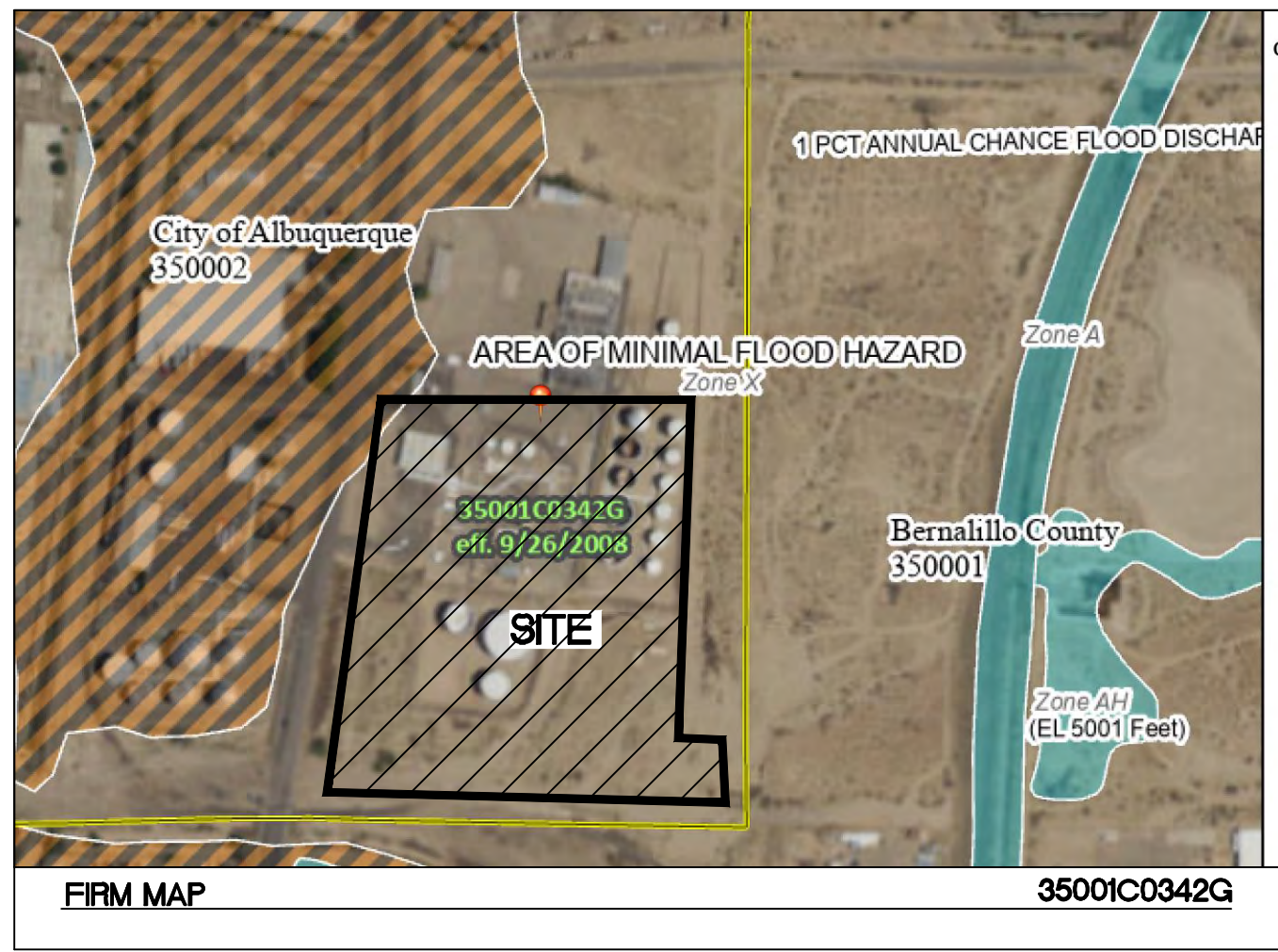
- ===== CURB & GUTTER
----- BOUNDARY LINE
===== RIGHT-OF-WAY
===== BUILDING
===== SIDEWALK
-----5010----- CONTOUR MAJOR
-----5011----- CONTOUR MINOR
x 5048.25 SPOT ELEVATION
----- FLOW ARROW
----- EXISTING CURB & GUTTER
----- EXISTING BOUNDARY LINE
-----5010----- EXISTING CONTOUR MAJOR
----- EXISTING CONTOUR MINOR

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City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 05/15/24
BY: *Rose C. Brando*
HydroTeam # M14D038

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF ANY CITY ENGINEER'S REVIEW. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

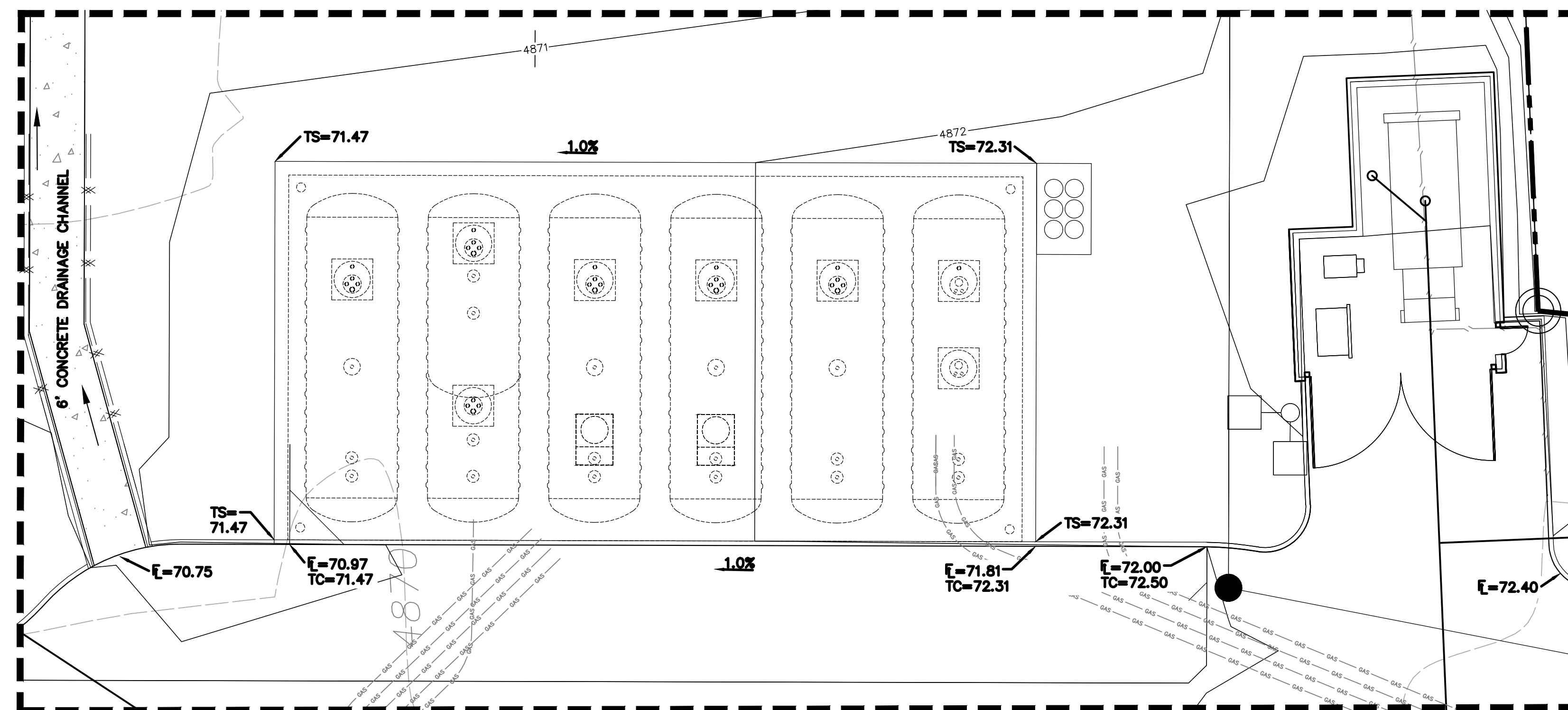
NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD



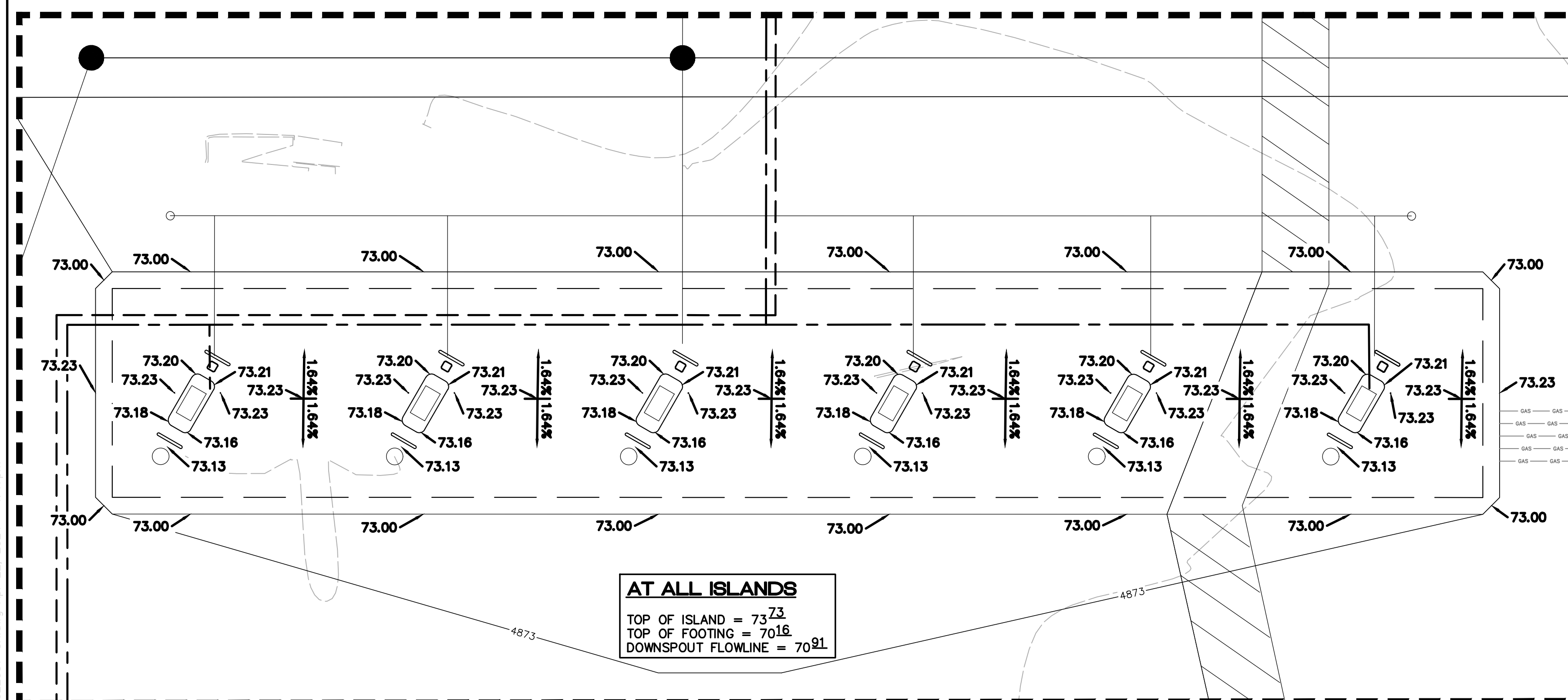
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	GRADING AND DRAINAGE PLAN	DATE 04/02/24
	<i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022031_GR PLAN
VINCENT P. CARRICA P.E. #16212		SHEET # GR-2
		JOB # 2022031



UNDERGROUND STORAGE TANKS (UST'S) SLAB GRADING DETAIL
1"=10' SCALE



AUTO ISLAND GRADING DETAIL
1"=10' SCALE

City of Albuquerque
Planning Department
Development Review Services

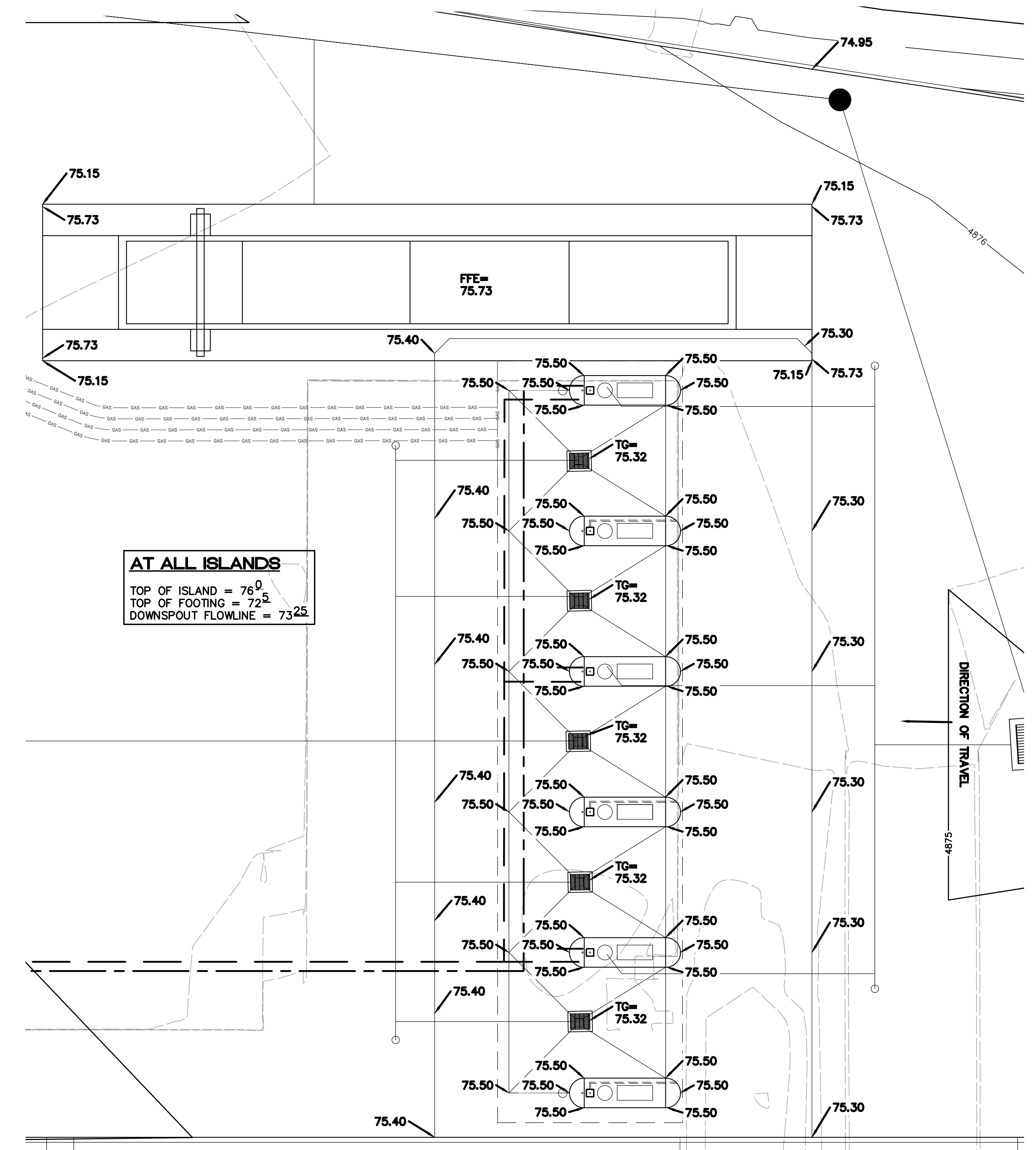
HYDROLOGY SECTION

APPROVED







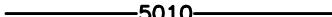





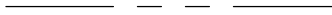

DATE: 05/15/24
BY: *Renee C. Bennett*
HydroTrans # M14AD038

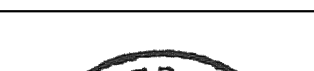

THE APPROVAL OF THESE PLANS/PREPRINT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW AND ANY VIOLATION
OF THE CITY OF ALBUQUERQUE (FROM REQUIRING
CORRECTION, OR PENALTY OF ENFORCEMENT BY PLANS
DEPARTMENT, MAYOR, OR COMMISSIONER OF PLANS AND
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF A BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



TRUCK CANOPY GRADING DETAIL
1"=10' SCALE

- # LEGEND
- | | |
|---|---------------------------|
|  | CURB & GUTTER |
|  | BOUNDARY LINE |
|  | RIGHT-OF-WAY |
|  | BUILDING |
|  | SIDEWALK |
|  | CONTOUR MAJOR |
|  | CONTOUR MINOR |
|  | SPOT ELEVATION |
|  | FLOW ARROW |
|  | EXISTING CURB & GUTTER |
|  | EXISTING BOUNDARY LINE |
|  | EXISTING CONTOUR MAJOR |
|  | EXISTING CONTOUR MINOR |
|  | PARKING LOT LIGHT FIXTURE |

<p>ENGINEER'S SEAL</p>	<p>LOVE'S BROADWAY/ SUNPORT BLVD</p>	<p>DRAWN BY sb</p>
	<p>GRADING DETAILS</p>	<p>DATE 04-02-24</p>
<p>04-02-24</p>	 <p><i>TERRIA WEST, LLC</i></p> <p>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # GR-3</p>
<p>VINCENT P. CARRICA P.E., #16212</p>		<p>JOB # 2022031</p>