

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 26, 2024

Vincent Carrica, PE
Tierra West LLC
5571 Midway Park Place
Albuquerque, NM 87109

vcarrica@tierrawestllc.com

Re: Broadway / Sunport Blvd. travel center
3200 Broadway Blvd SE
Traffic Circulation Layout
Engineer's Stamp Dated 7-1-24 (M14D038)

Dear Mr. Carrica,

The TCL submittal received 8-21-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

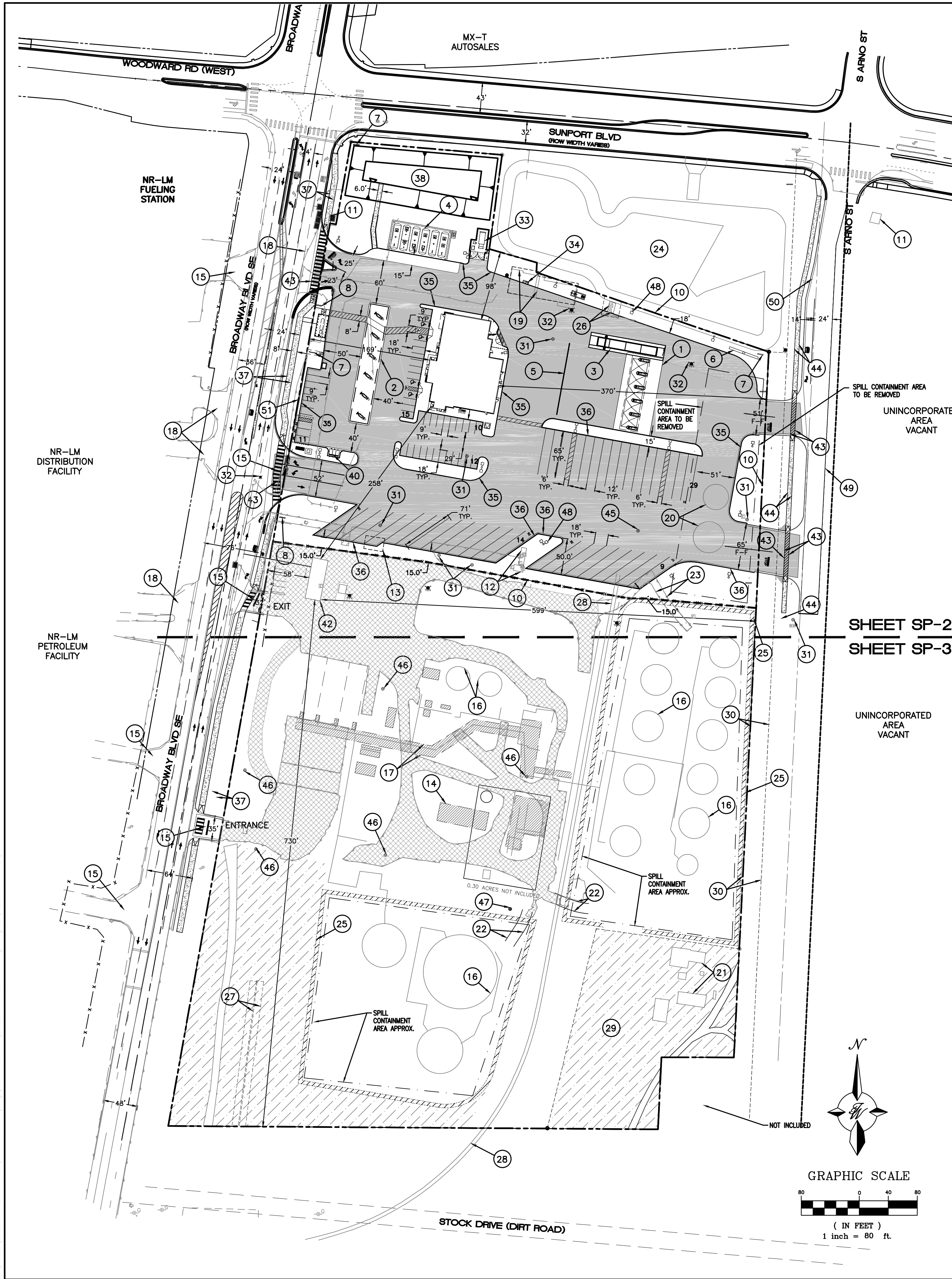
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



KEYED NOTES: TRAVEL CENTER (NEW)

- 1 TRUCK CANOPY (51' x 108')
- 2 AUTO CANOPY (29' x 168')
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANKS
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 11 EXISTING INLET PROTECTION
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 13 EXISTING CAR PORT TO BE REMOVED
- 18 EXISTING NON-GATED ACCESS
- 19 EXISTING BUILDING TO BE REMOVED
- 20 EXISTING ABOVE GROUND STORAGE TANK TO BE REMOVED
- 23 EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR (REF. ARCHITECTUAL PLANS FOR DETAILS)
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' PAVED TRAIL
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 48 AREA LIGHTS (TYP) 30' MAXIMUM
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' OPAQUE SCREEN WALL

- INDEX TO DRAWINGS
- TCL1. OVERALL TRAFFIC CIRCULATION PLAN
 - TCL2. TRAVEL CENTER TRAFFIC CIRCULATION PLAN
 - TCL3. FUELING DEPOT AS-BUILT SITE PLAN
 - DET-1 DETAIL SHEET
 - DET-2 SITE DETAILS

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- EXISTING UNDISTURBED SOIL
- EXISTING ASPHALT
- ASPHALT & CONCRETE PAVING AREA
- SPILL CONTAINMENT AREA
- PARKING LOT LIGHT FIXTURE

KEYED NOTES: FUELING DEPOT (TO REMAIN)

- 14 EXISTING BUILDING TO REMAIN
- 15 EXISTING GATED ACCESS
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 EXISTING ABOVE GROUND PIPING TO REMAIN
- 21 EXISTING CONCRETE PADS TO REMAIN (TYP)
- 22 EXISTING CONTAINMENT AREA ACCESS TO REMAIN
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- 28 EXISTING RAIL SPUR TO REMAIN
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- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 47 NEW MONITORING WELL LOCATION

TRAFFIC CIRCULATION
LAYOUT APPROVED

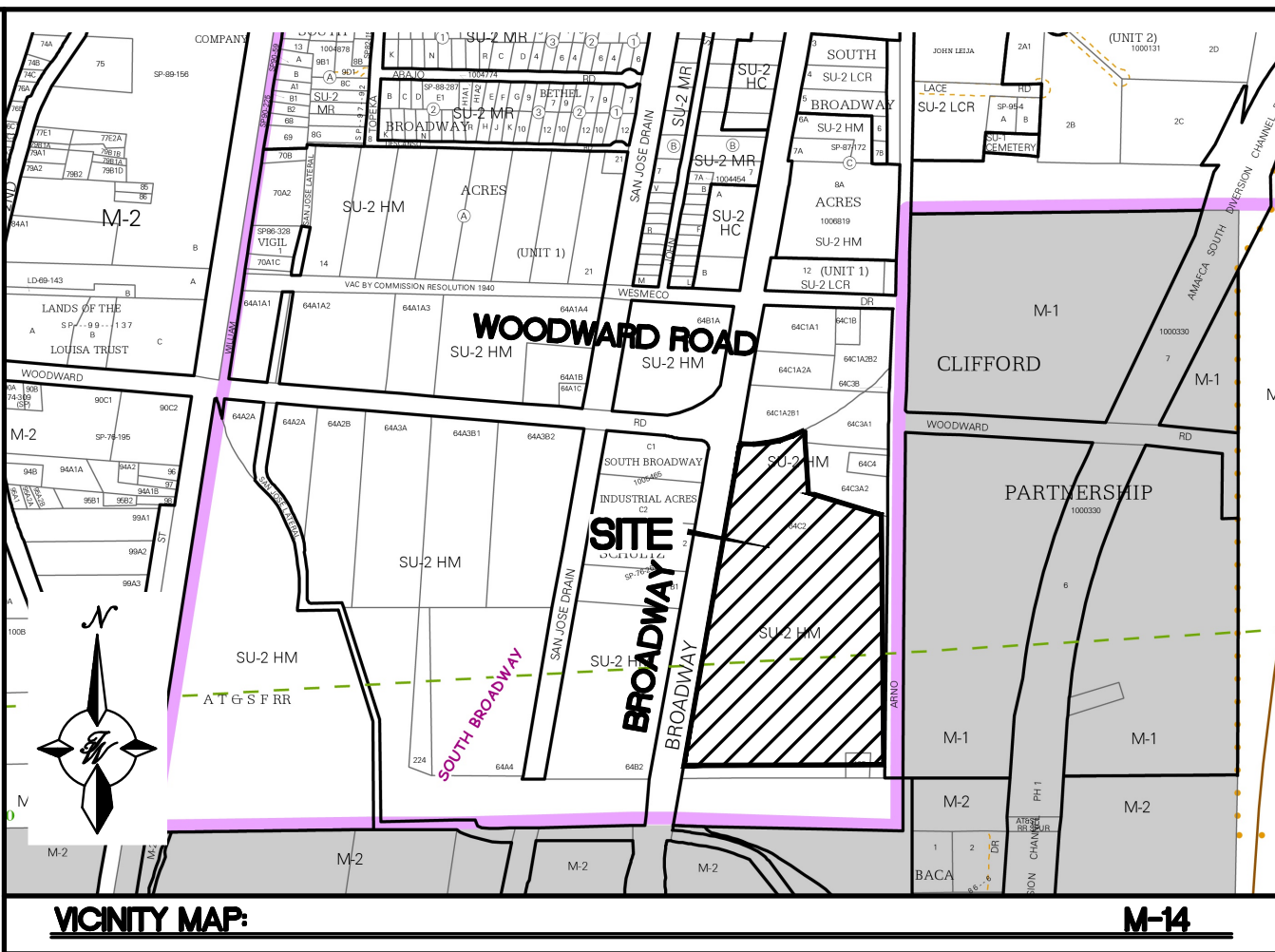
Sertil A. Kanbar 8/26/24

EXECUTIVE SUMMARY

THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF BROADWAYS BLVD AND SUNPORT BLVD. THE EXISTING APPROXIMATE 18 ACRE SITE HAS BEEN OPERATING AS A FUELING TERMINAL SINCE THE 1950'S. THE UNDERUTILIZED NORTHERN 6.7 ACRES OF THE SITE WILL BE RE-DEVELOPED INTO A LOVE'S TRAVEL CENTER WITH AUTO AND TRUCK FUELING FACILITIES AND A CONVENIENCE STORE. ACCESS TO THE PROPOSED TRAVEL CENTER WILL BE OFF OF BROADWAY BLVD TO THE WEST AND ARNO ST TO THE EAST. ACCESS TO THE FUELING TERMINAL WILL REMAIN AS IS. A TRAFFIC STUDY WAS RECENTLY APPROVED FOR THIS SITE BY COA, BERNALILLO COUNTY AND NMDOT. THE APPROVED TRAFFIC STUDY RECOMMENDATIONS FOR IMPROVEMENTS TO BROADWAY AND ARNO WILL BE FOLLOWED AND IMPACT TO ADJACENT ROADWAY SYSTEM AS WELL AS IMPACT TO SURROUNDING PROPERTIES WILL BE MINIMAL. SIGN VARIANCES WERE APPROVED BY ENVIRONMENTAL PLANNING COMMISSION FOR INCREASES TO SIGN SIZE, HEIGHT AND QUANTITY. THE APPROVED VARIANCES ARE NOTED ON THIS SHEET.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGAL DESCRIPTION:
LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE: INDUSTRIAL
ZONE: NR-LM
LOT AREA: 786,522 SF (18.06 ACRES)
ADDRESS: 3200 BROADWAY BLVD. S.E. ALBUQUERQUE, N.M. 87105

VARIANCES:

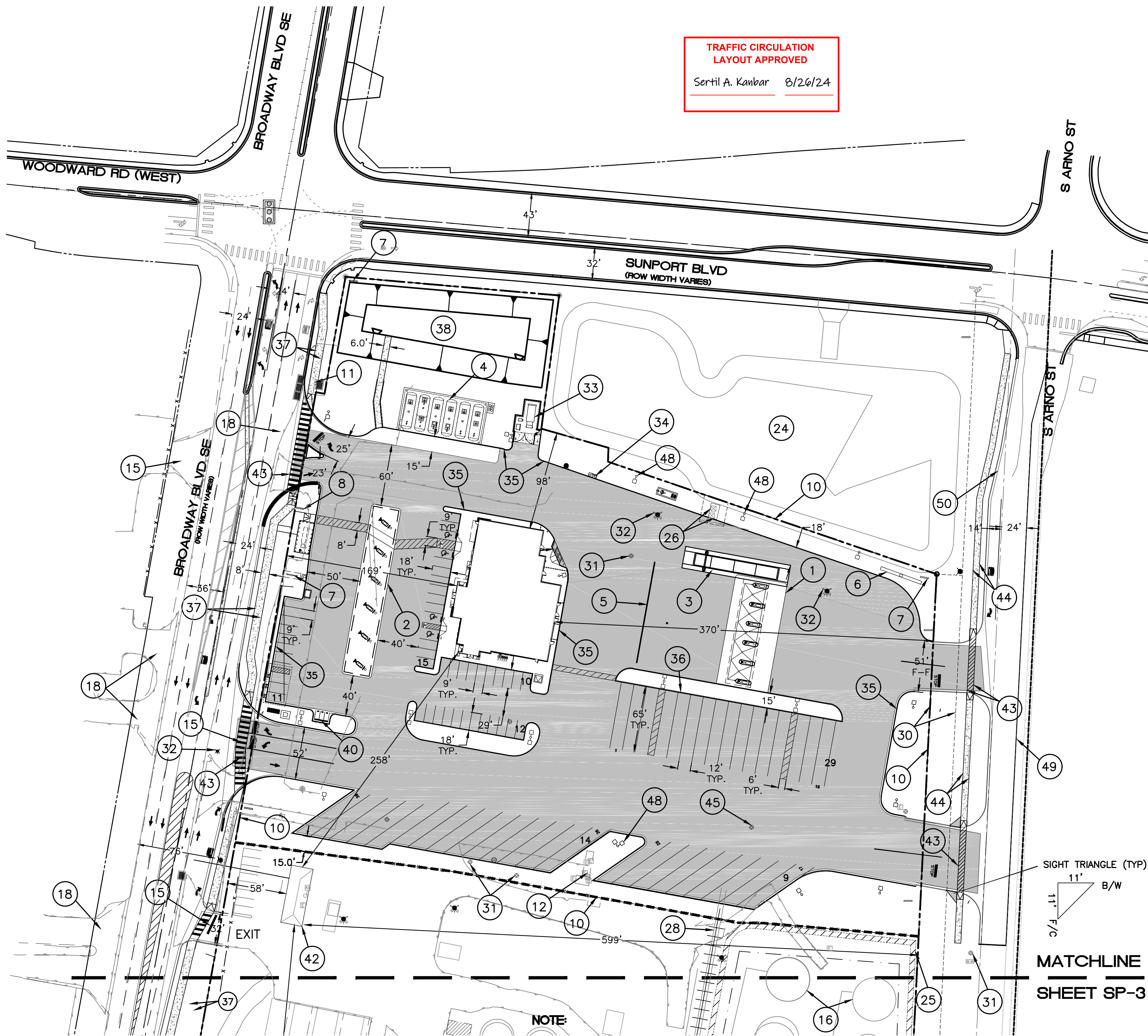
- 1. VARIANCE TO ALLOWABLE SIGN AREA (CAT SCALE SIGN, 107.75 SF)
- 2. VARIANCE TO ALLOWABLE SIGN AREA (PRICER SIGNS, 148.33 SF)
- 3. NUMBER OF FREESTANDING SIGNS (5 SIGNS) INCREASE OF 2 SIGNS
- 4. NUMBER OF ELECTRONIC SIGNS (2 SIGNS) INCREASE OF 1 SIGN

NOTE:

- 1 - ALL APO 3-3(C) USE REGULATIONS ARE MET/BEING FOLLOWED 3-3(B)(1) AIR SPACE PROTECTION SUB-AREA: THIS SUB-AREA UNDERLIES A HORIZONTAL SURFACE ESTABLISHED AT A HEIGHT OF 150 FEET ABOVE THE HIGHEST POINT OF THE USABLE LANDING AREA AT EACH AIRPORT, RESULTING IN A HORIZONTAL SURFACE AT 5,504.9 FEET IN ELEVATION FOR THE ALBUQUERQUE INTERNATIONAL SUNPORT. THE BASE OF THE ELEVATION IS OVER 650' BELOW THE ELEVATION OF RUNWAY
- 2 - A CUMULATIVE IMPACT ANALYSIS WAS CONDUCTED PURSUANT TO 5-2(E) AND THE IMPACTS OF THIS DEVELOPMENT ARE MITIGATED TO THE GREATEST EXTENT PRACTICABLE THE TIS HAS BEEN SUBMITTED AND REVIEWED BY THE COA, NMDOT AND BERNALILLO COUNTY. THE MITIGATION MEASURES ARE BEING REVIEWED BY THE THREE AGENCIES AND WILL BE MADE PART OF THE APPROVAL OF THE EXPANSION OF THE TRAVEL CENTER PRIOR TO THE FINAL APPROVAL OF THE TIS.
- 3 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 4 - SIGN MATERIAL AND ANY FEATURES THERE IN COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY
- 5 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS
- 6 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

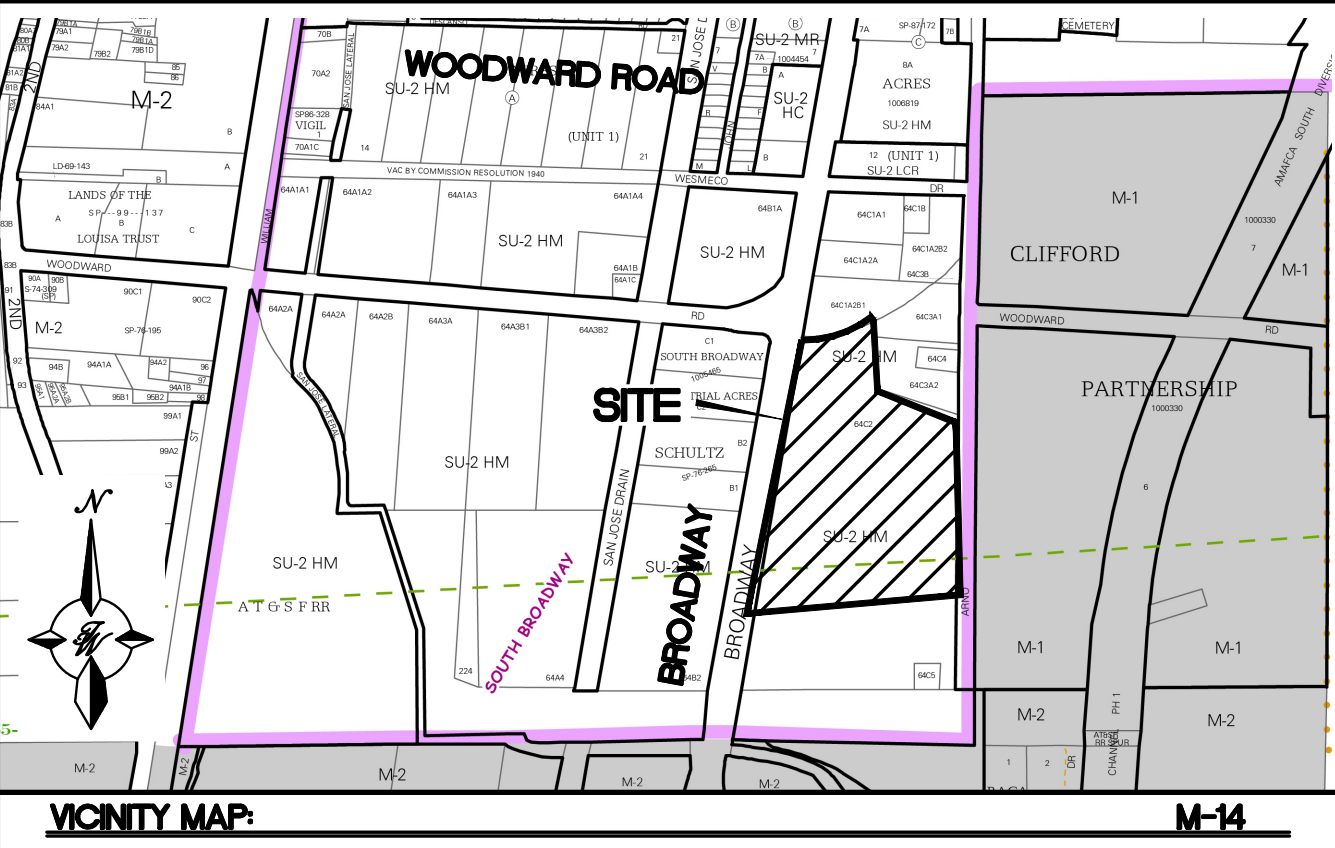
<div>ENGINEER'S SEAL</div> <div></div>	BROADWAY/SUNPORT BLVD		DRAWN BY PM
	OVERALL TRAFFIC CIRCULATION PLAN		DATE 7-1-24
	<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com</div>		2022031 TCL-PM
			SHEET # TCL-1
		JOB # 2022031	

7.1.2023\2022031 Love's Support Station\Drawn\Construction\2022031 TCL-PM.dwg, Aug 26, 2024 = 3.10pm



KEYED NOTES

- 1 TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
- 2 AUTO CANOPY (29' x 168') (LIGHT VEHICLE)
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANK FARM
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 15 EXISTING GATED ACCESS W/ CROSS WALK STRIPE
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 PEDESTRIAN CONNECTION STRIPING
- 18 EXISTING NON-GATED ACCESS W/ CROSS WALK STRIPE
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
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- 50 STANDARD CURB & GUTTER
- 51 3' HIGH OPAQUE SCREEN WALL



SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	
LOVE'S TRAVEL STOP	292,169 SF (6.707 ACRES)
FUELING DEPOT	494,353 SF (11.353 ACRES)
OVERALL	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 S.F.
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING)
	40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
	*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING
	24 SPACES (8 SPACE/1000 SQ. FT GFA FOR RESTAURANT)
	74 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO
	41 SPACES - TRUCK
	89 SPACES - TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
FUTURE PARKING FUELING DEPOT	8 SPACES

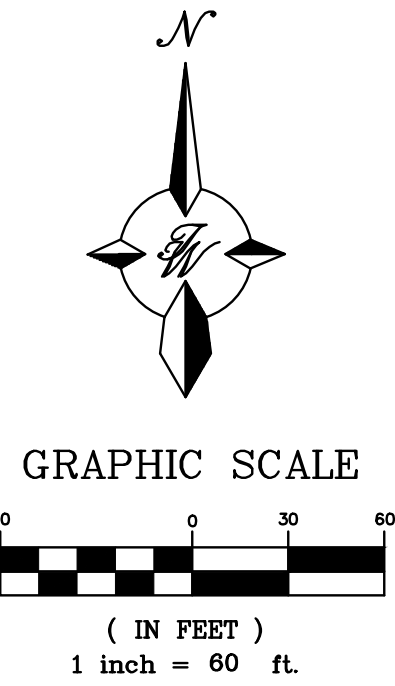
LEGEND

CURB & GUTTER	EXISTING LANE
BOUNDARY LINE	EXISTING STRIPING
EASEMENT	ASPHALT PAVING AREA
CENTERLINE	SPILL CONTAINMENT AREA
RIGHT-OF-WAY	PARKING LOT LIGHT FIXTURE
BUILDING	EXISTING TRAFFIC SIGNAL
SIDEWALK	
RETAINING WALL	
STREET LIGHTS	
LANE	
STRIPING	
EXISTING CURB & GUTTER	
EXISTING BOUNDARY LINE	

CAUTION

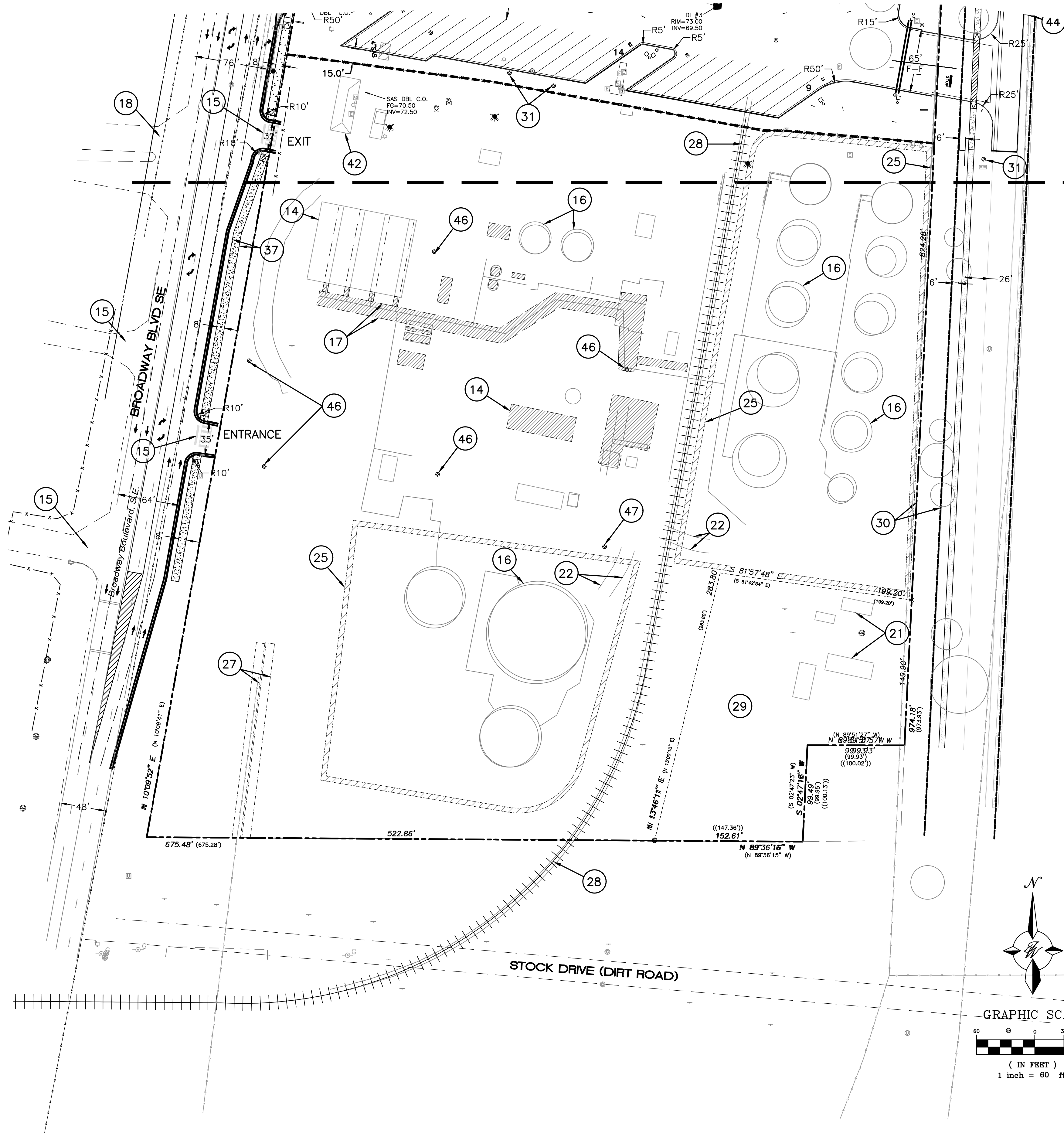
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- 1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 35 FT HEIGHT
- 2 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY
- 4 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS
- 5 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 6 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS



ENGINEER'S SEAL	BROADWAY/SUNPORT BLVD	DRAWN BY PM
VINCENT P. CARRIA NEW MEXICO 16212 REGISTERED PROFESSIONAL ENGINEER	TRAVEL CENTER TRAFFIC CIRCULATION PLAN	DATE 7-1-24
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierowestllc.com	2022031 TCL-PM
		SHEET #
		TCL-2
		JOB # 2022031

7.1.2023\\2022031 Lowes Support Station\\Data\\Construction\\2022031 TCL.dwg Apr. 02, 2024 - 3:07pm



TRAFFIC CIRCULATION
LAYOUT APPROVED
Sortil A. Kanbar 8/26/24

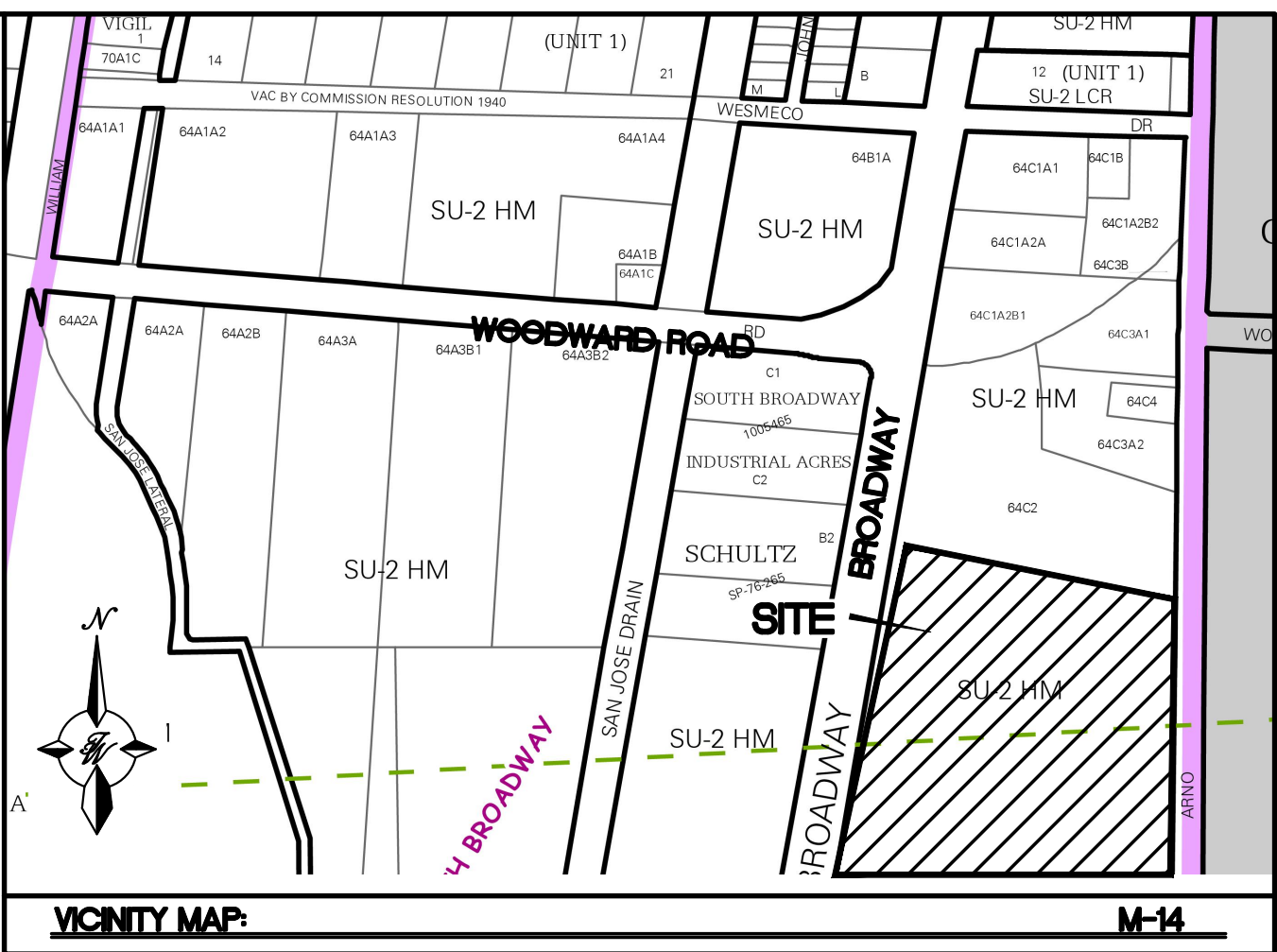
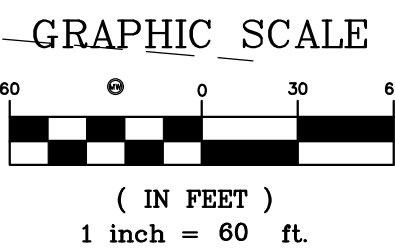
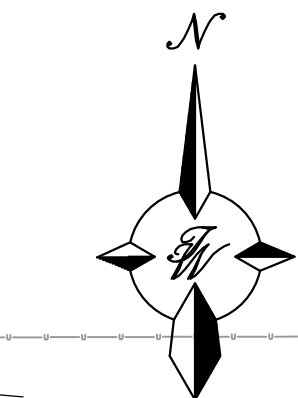
SHEET TCL-2
MATCHLINE

KEYED NOTES

- 14 EXISTING BUILDING TO REMAIN
- 15 EXISTING GATED ACCESS
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 EXISTING ABOVE GROUND PIPING TO REMAIN
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- 28 EXISTING RAIL SPUR TO REMAIN
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- 30 EXISTING 25' UTILITY EASEMENT
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- 37 8' PAVED TRAIL
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 47 NEW MONITORING WELL LOCATION

NOTE:

—EXISTING FUELING DEPOT ON THE SOUTHERN ~15 ACRE PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS PLAN AS AN AS-BUILT TRAFFIC CIRCULATION PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD.



LEGAL DESCRIPTION:

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

EXISTING USAGE: INDUSTRIAL
ZONE: NR-LM
LOT AREA: 494,353 S.F. (11.353 ACRES)

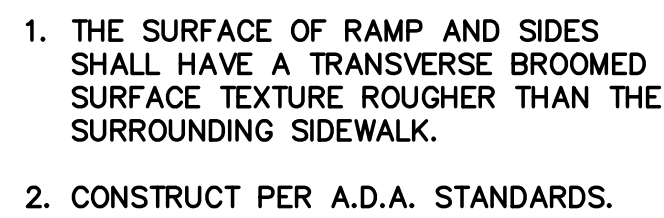
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- EXISTING FENCE

CAUTION

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<div>ENGINEER'S SEAL</div> <div></div> <div>VINCENT P. CARRICA P.E. #16212</div>	BROADWAY/SUNPORT BLVD		DRAWN BY SB
	FUELING DEPOT AS-BUILT SITE PLAN		DATE 11-22-23
	<div></div> <div>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>		SHEET # TCL-3
			JOB # 2022031



NOT TO SCALE



NTS



NTS



BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

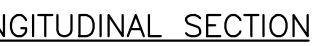


CC – CENTER TO CENTER SPACING 2.35"
BB – BASE TO BASE SPACING 1.48" MIN


$$1'' = 1'$$

$$\overline{1''} = 1'$$

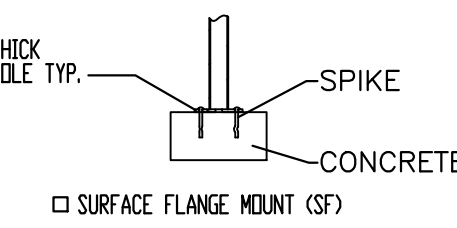

NTS





MADRAX DIVISION

GRABER MANUFACTURING, INC.
1080 UNIEK DRIVE
WAUNAKEE, WI 53597
P(800) 448-7931, P(608) 849-1080, F(608) 849-108
WWW.MAIRAX.COM, E-MAIL: SALES@MAIRAX.COM



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SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

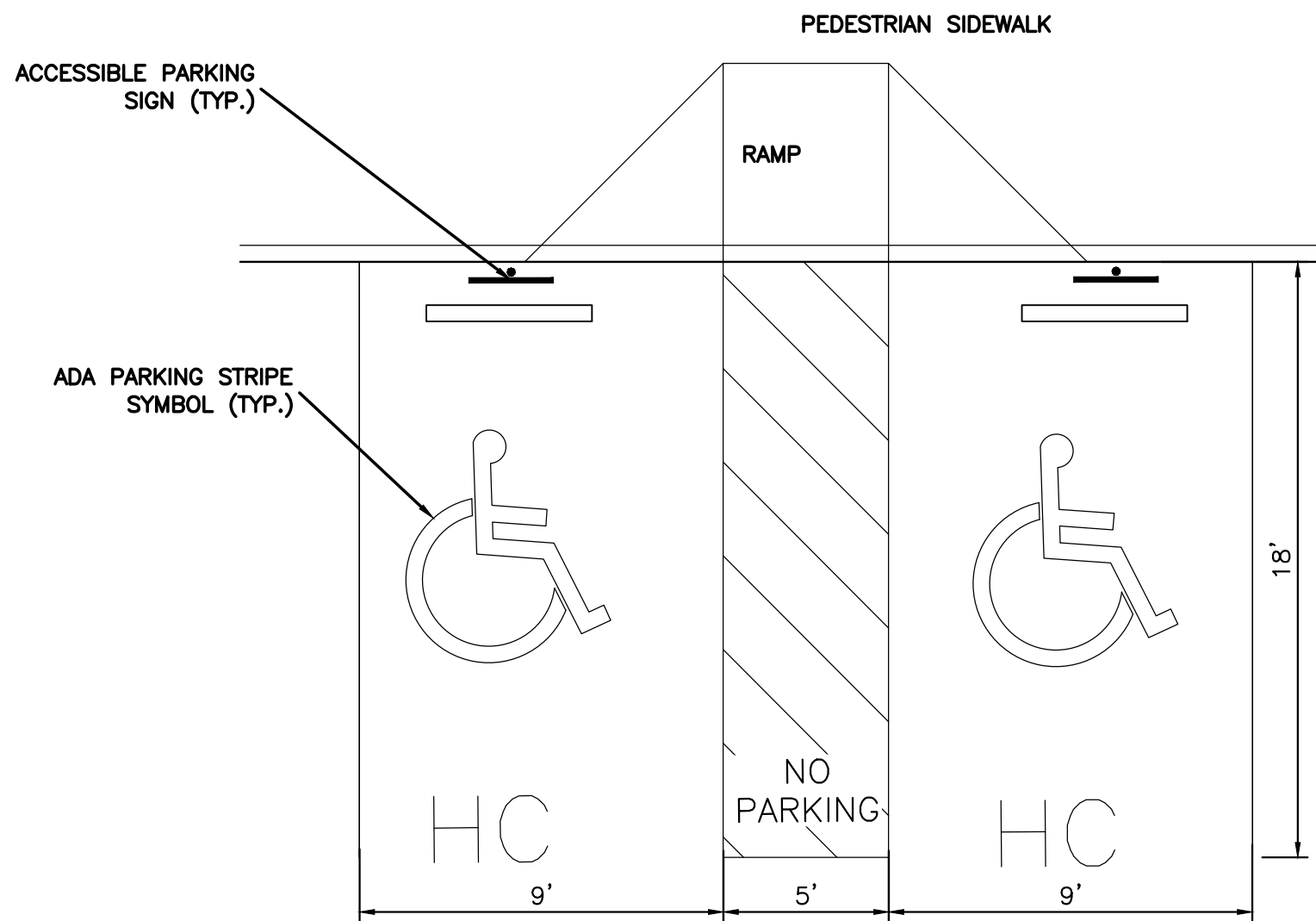
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SCALE: NONE

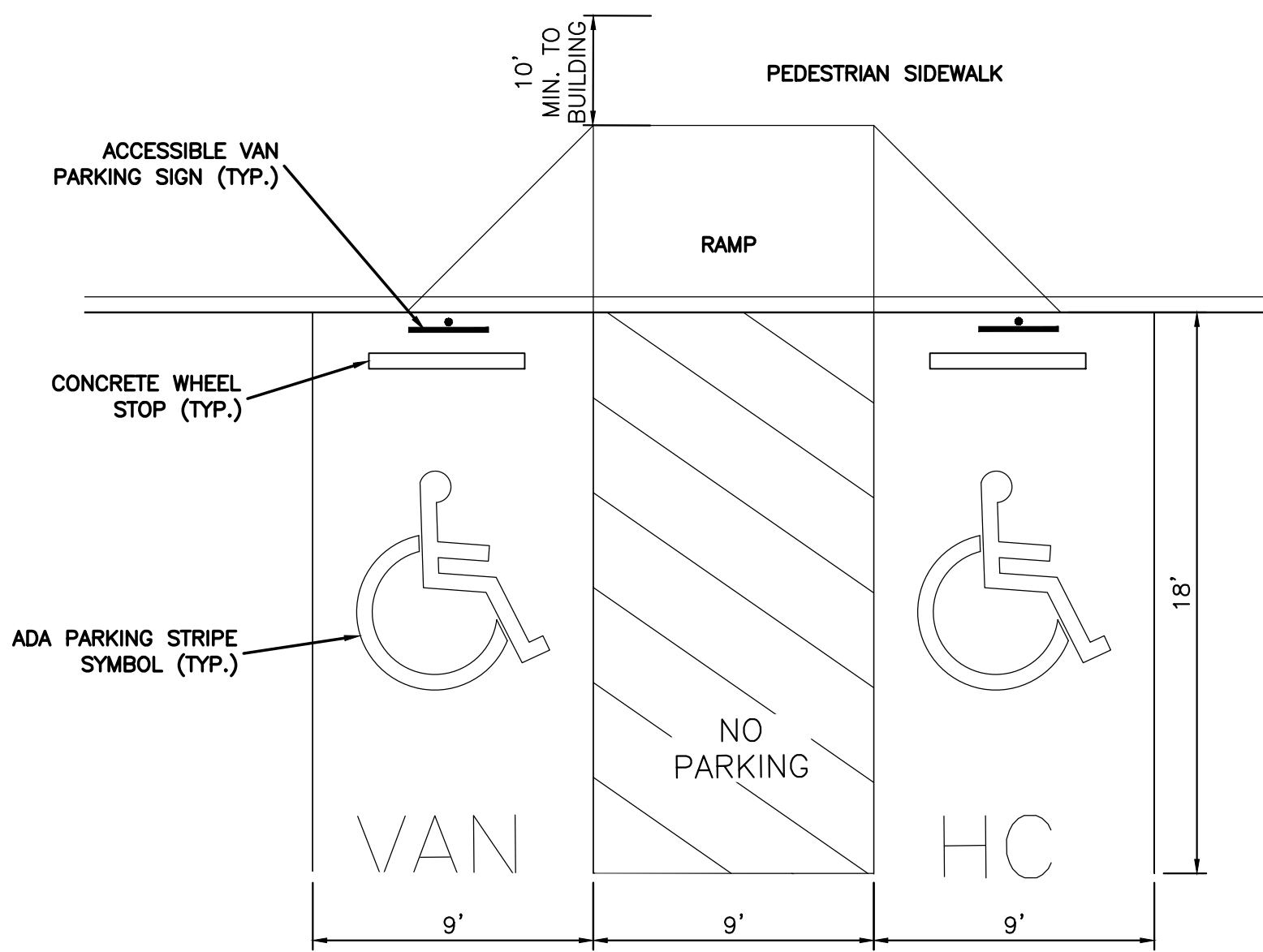


NTS

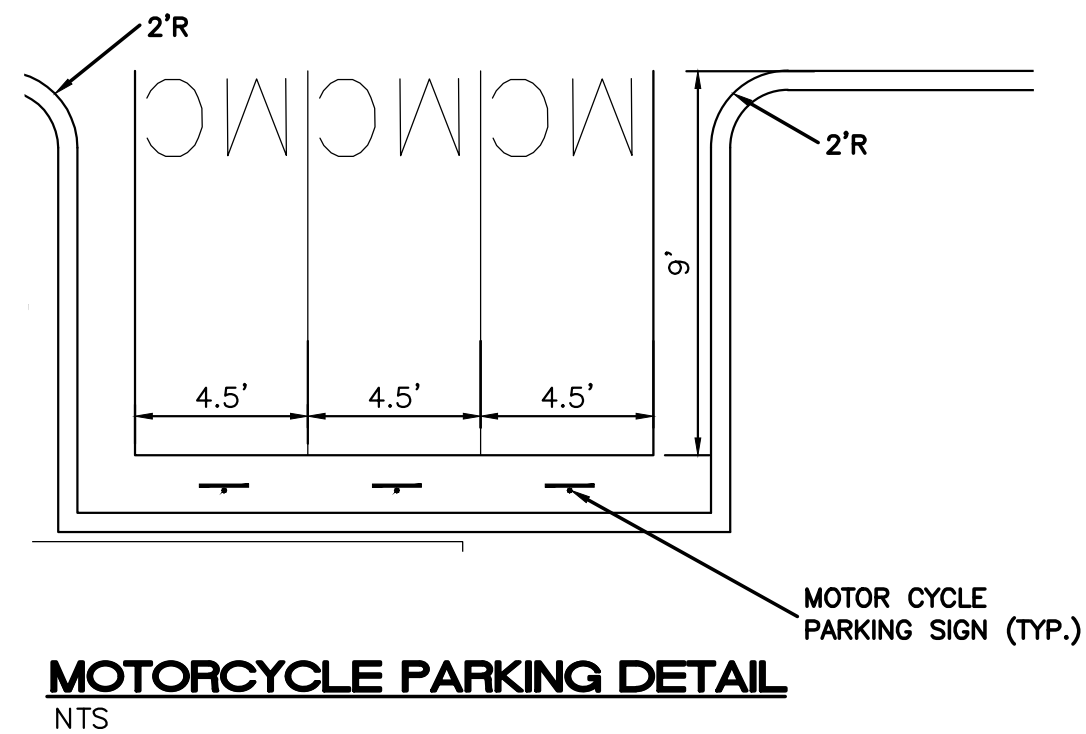
CONCRETE SIDEWALK SECTION:



ACCESSIBLE PARKING DETAIL
NTS

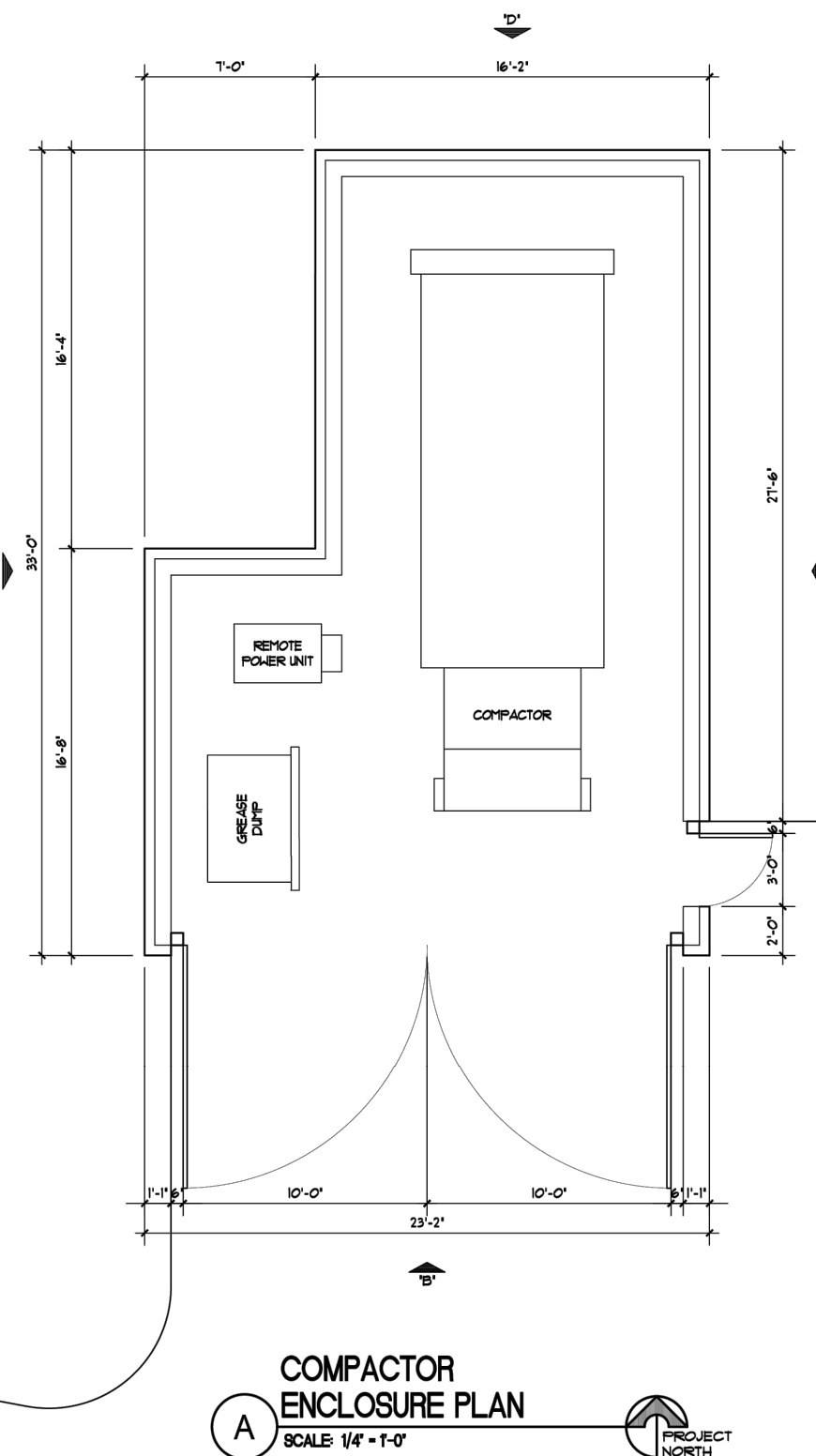


ACCESSIBLE VAN PARKING DETAIL
NTS

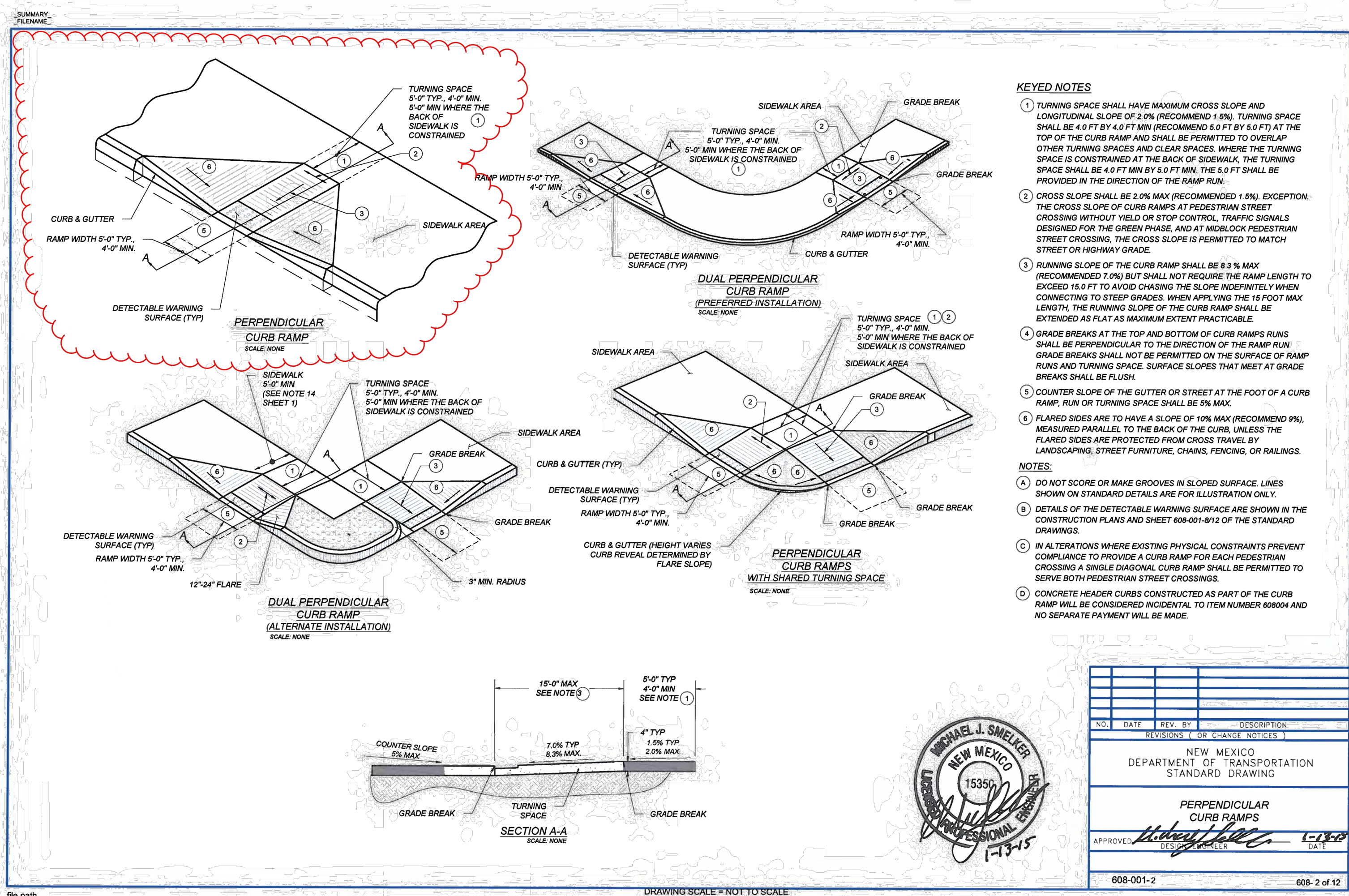
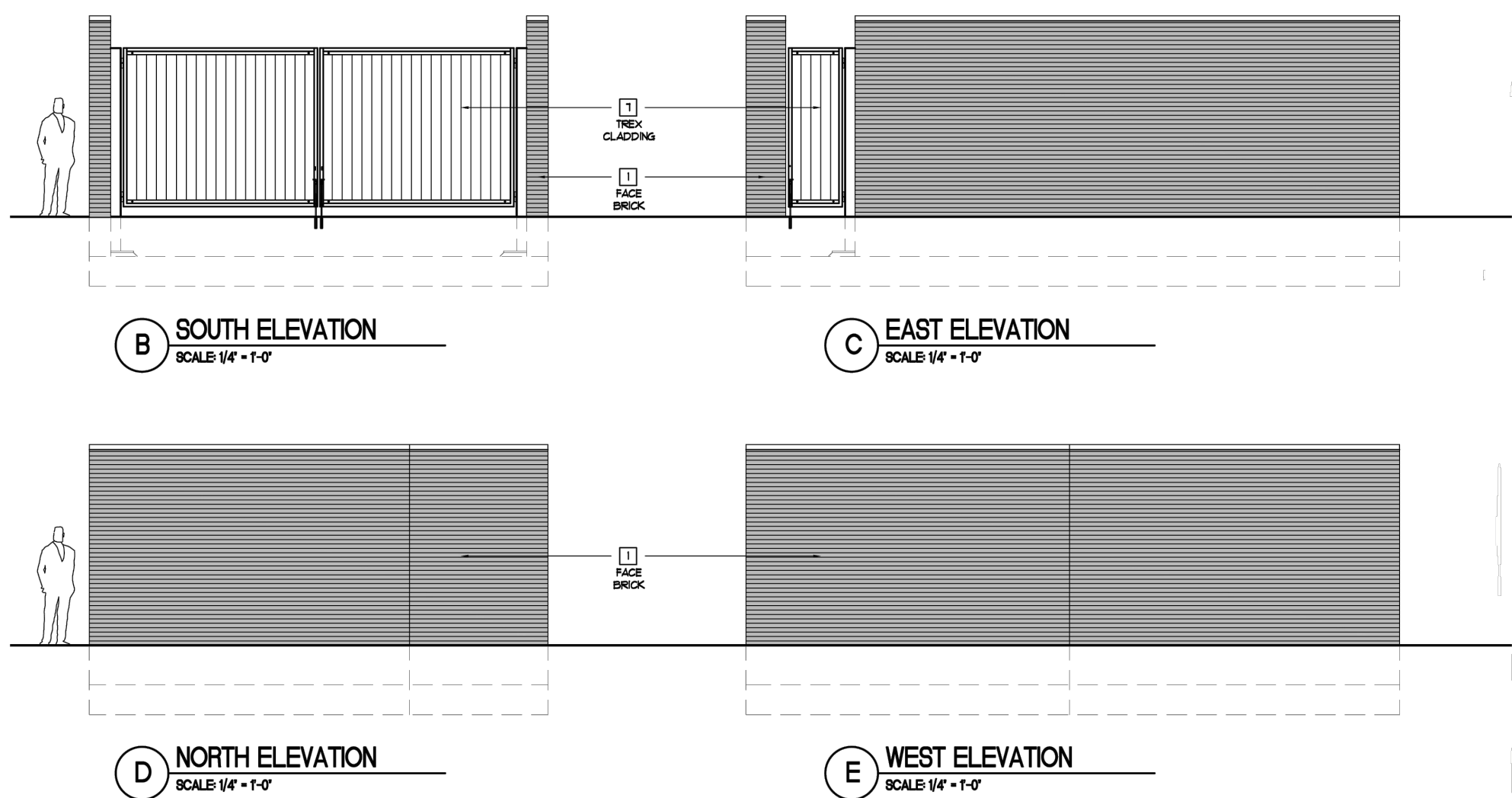


MOTORCYCLE PARKING DETAIL
NTS

TRAFFIC CIRCULATION
LAYOUT APPROVED
Sertil A. Kanbar 8/26/24



COMPACTOR ENCLOSURE DETAIL
NTS



ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212 12/06/23	BROADWAY/SUNPORT BLVD SITE DETAILS		DRAWN BY SB
			DATE 11-22-23
			2022031 TCL
			SHEET # DET-2
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2022031	