

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 5, 2024

Rose Saxe
Coreslab Structures Inc.
2800 2nd St. SW
Albuquerque, NM 87102

Re: Coreslab Mixer and Control Room
2800 2nd St. SW
Conceptual Traffic Circulation Layout for DFT Approval
Engineer's Stamp N/A (M14D040)

Dear Ms. Saxe,

The conceptual TCL submittal received 8/2/2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will not be needed. When applying for Building Permit please upload the drawing and this letter to show that a TCL nor ADA evaluation will be required.

There will not be any requirement for Transportation review for Certificate of Occupancy (C.O.).

PO Box 1293

Sincerely,

Albuquerque

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

May 28, 2024

To: City of Albuquerque Planning Department,
600 2nd Street NW
Albuquerque NM 87102

Subject: Month-to-Month Lease Agreement for Lot (UPC: 101405504434320136)

I am writing to confirm the month-to-month lease agreement between Frank Sanchez and Coreslab for the use of the lot with the following details:

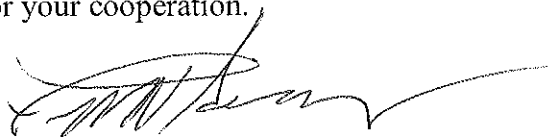
- **Owner:** Frank Sanchez
- **Owner Address:** 1200 Riner Ct SW, Albuquerque, NM 87105
- **Situs Address:** 2nd St SW, Albuquerque, NM 87102
- **Legal Description:** LT 5 LANDS OF FRANK S SANCHEZ (PLAT OF LTS 1, 2, 3, 4 & 5 LANDS OF FRANK S SANCHEZ & MRGCD SAN JOSE LATERAL ROW) CONT 1.2053 AC
- **UPC:** 101405504434320136

This lot maybe be utilized for employee parking purposes. The lease agreement is effective on a month-to-month basis.

Please feel free to contact me if you have any questions or require further information regarding this agreement.

Thank you for your cooperation.

Sincerely,



Frank Sanchez
1200 Riner Ct SW
Albuquerque, NM 87105

Phone:

505-720-8700

SHEET NUMBER	TITLE
1 OF 5	TITLE & VICINITY MAP
2 OF 5	AS-BUILT SITE PLAN DETAIL 1 OF 2
3 OF 5	AS-BUILT SITE PLAN DETAIL 2 OF 2
4 OF 5	TRAFFIC CIRCULATION LAYOUT
5 OF 5	TRAFFIC CIRCULATION DETAILS

DEVELOPMENT DATA:

NET AREA: 23.0 ACRES

ZONING: NR-GM, NON-RESIDENTIAL - GENERAL MANUFACTURING

LAND USE: INDUSTRIAL - LIGHT AND HEAVY MANUFACTURING

SET BACKS:	FRONT	REAR	SIDES
REQUIRED:	5' MIN	0'	0'
PROVIDED:	18' MIN	23' MIN	4' MIN

BUILDING HEIGHT:
MAXIMUM ALLOWED: 65'
MAXIMUM PROVIDED: 57'
MINIMUM PROVIDED: 8'

PARKING: 61 STD SPACES 2 ADA SPACES
EXISTING PARKING EXCEEDS REQUIREMENTS OF IDO
TABLE 5-5-1 FOR LIGHT AND HEAVY MANUFACTURING. 1
SPACE PER 1,000 SQ FT BUILDING SPACE.

TOTAL NEW BUILDING SPACE SQ FT = 168

TOTAL AS-BUILT BUILDING SQ FT = 27,232

TOTAL NEW AND AS-BUILT BUILDING SQ FT=27,400

EXECUTIVE SUMMARY:

THE REQUEST IS RELATED TO A REQUEST FOR A NEW SITE PLAN – EPC FOR AN APPROXIMATELY 23-ACRE SITE LOCATED AT 2800 2ND STREET SW, BETWEEN AVENIDA CESAR CHAVEZ AND WOODWARD RD SW (THE "SUBJECT SITE"). PROJECT #: PR-2024-010187 CASE #: SI-2024-00467. OFFICIAL NOTIFICATION OF DECISION DATED JUNE, 20, 2024.

2ND STREET IS A MINOR ARTERIAL WITH NO SHOULDERS. EACH LANE IS APPROXIMATELY 12' WIDE IIN A NORTH AND SOUTHBOUND DIRECTION. THERE ARE NO BICYCLE FACILITIES ON 2ND STREET BETWEEN AVENIDA CESAR CHAVEZ AND WOODWARD RD SW.

THE SUBJECT SITE IS DEVELOPED WITH AN EXISTING CONCRETE BATCH PLANT THAT IS REQUIRED TO BE REVIEWED BY THE EPC BECAUSE IT DOES NOT HAVE A SITE PLAN ON FILE.

CORES LAB STRUCTURES (ALBUQUERQUE) WISHES TO UPGRADE ESSENTIAL MECHANICAL EQUIPMENT—CONCRETE MIXERS WITH AN ADDED PLATFORM AND A CONTROL ROOM—WHICH IS A PART OF THE FULL SITE PLAN REQUEST.

A NEW CONCRETE FOUNDATION WILL BE CONSTRUCTED FOR THIS EQUIPMENT AND WILL BE BUILT, INSPECTED, AND PERMITTED UNDER BP-2023-39354.

THERE ARE NO CHANGES TO THE EXISTING PARKING AND CIRCULATION.

THERE IS NO IMPACT TO ADJACENT SITES.

THERE IS AN APPROVED TRAFFIC SCOPING FORM SIGNED JANUARY 26, 2024 THAT INDICATED A TRAFFIC IMPACT STUDY IS NOT REQUIRED.

NO VARIANCES HAVE BEEN REQUESTED.

TRAFFIC CIRCULATION LAYOUT

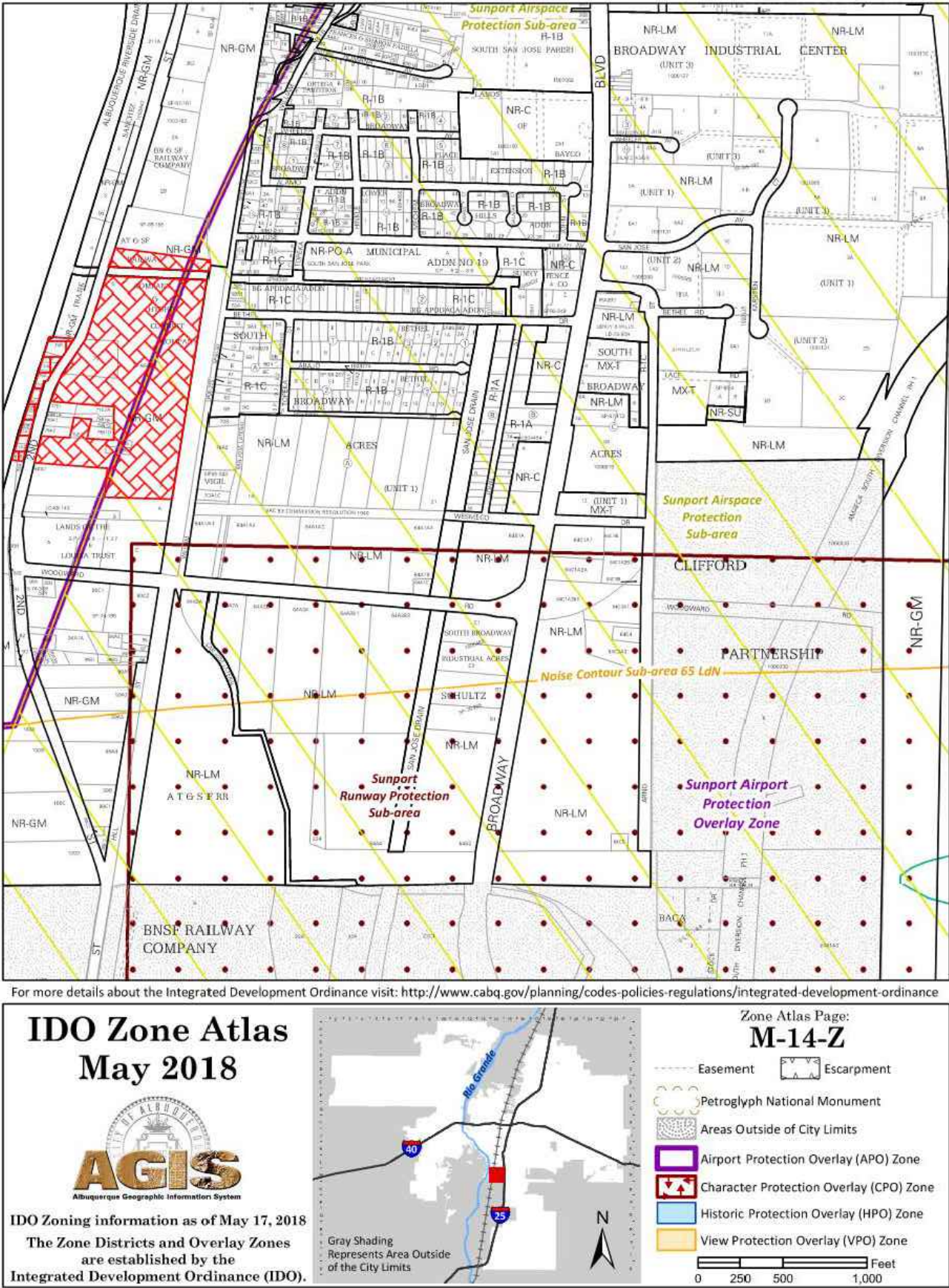
AS-BUILT AND NEW MIXERS AND CONTROL ROOM

CORES LAB STRUCTURES (ALBUQUERQUE) INC.
2800 2ND ST SW, ALBUQUERQUE, NEW MEXICO 87102

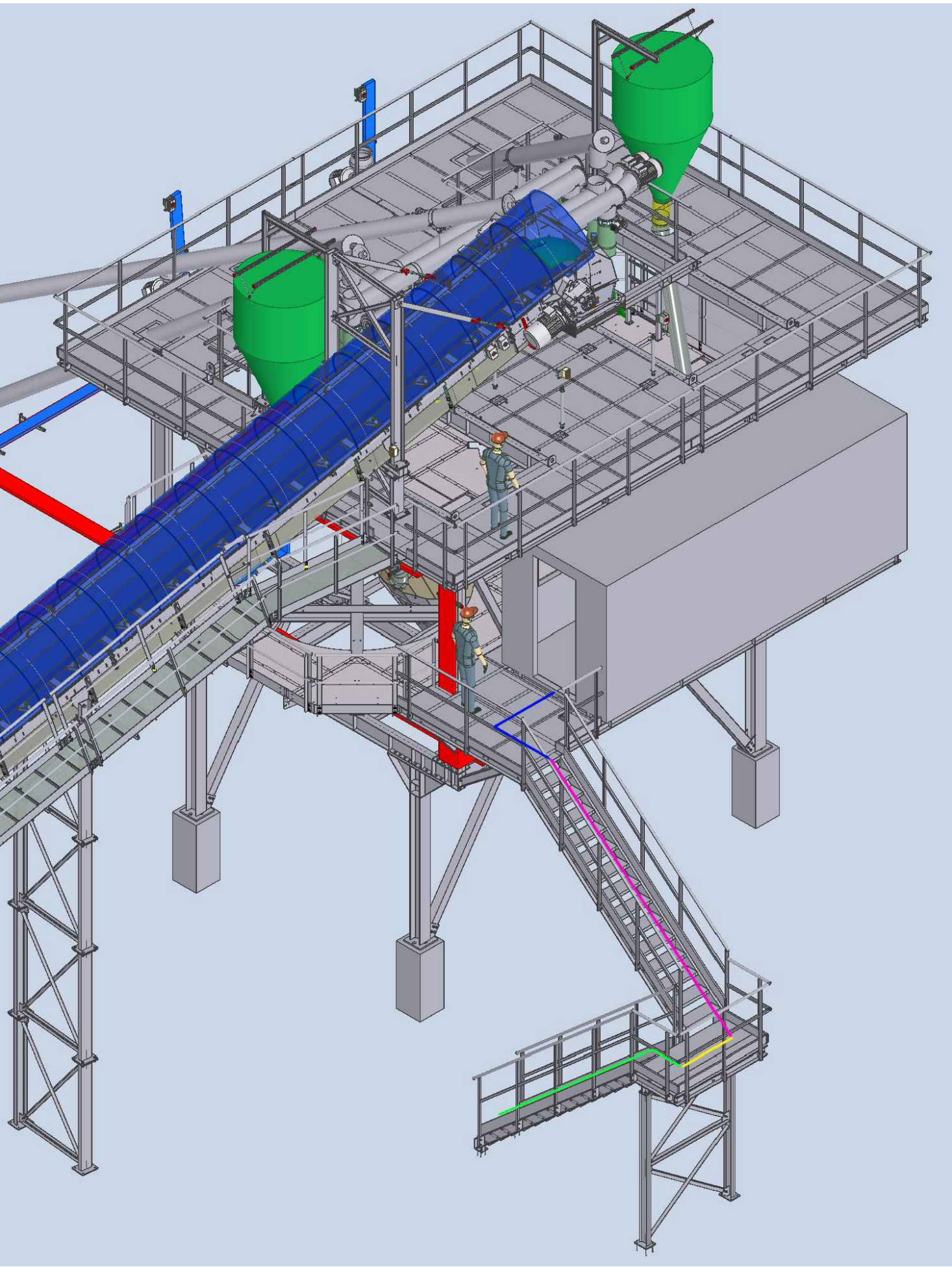
LEGAL DESCRIPTION

ALL OR A PORTION OF TRACTS B AND C, PLAT OF TRACTS A, B & C, LANDS OF ATCHISON TOPEKA & SANTA FE RAILWAY CO & LANDS OF HYDRO CONDUIT CORP, AND MAP 44 TRACTS 74A, 74B, 74C, 75, 76C1, 76A, 76B, 76C2, 79B2, 80A1, 80A2, 80B, 81A1, 81A2, 81B, 85, AND 86, LOCATED AT 2800 2ND ST SW, BETWEEN AVENIDA CESAR CHAVEZ AND WOODWARD RD SW, APPROXIMATELY 23.0 ACRES

AUGUST 2, 2024



VICINITY MAP



PROPOSED ADDITION DETAIL
NOT TO SCALE - SHOWN FOR CLARITY

Check By Description Rev # Date

CORES LAB STRUCTURES (ALBUQUERQUE) INC.

TITLE & VICINITY MAP

DESIGNED: N/A
DRAWN: ARS
CHECKED: KWE

DATE: August 2024

SCALE: Horiz: Vert:

PROJECT NO:

SHEET: 1 OF 5

CORES LAB AS-BUILT CHAIN LINK FENCE & PROPERTY LINE

LT 5 LANDS OF FRANK S SANCHEZ (PLAT OF LTS 1, 2,
3, 4 & 5LANDS OF FRANK S SANCHEZ & MRGCD SAN
JOSE LATERALROW) CONT 1.2053 AC AS-BUILT
CHAINLINK FENCE & PROPERTY LINE

AS-BUILT BUILDINGS & BATCH PLANT

RAILROAD TRACKS

AS-BUILT PRECAST FORMS

ASPHALTIC BASECOURSE LIMITS OF VEHICLE AND PEDESTRIAN INGRESS AND EGRESS

MARGD OWNED 50-FOOT ROW/ DITCH EASEMENT KEY NOTE 22

SIDEWALK KEY NOTE 24

KEYED NOTES

1 PROPOSED ADDITION- NEW MIXER PLATFORM WITH CONTROL ROOM 168 SQ FT ON A 32' X 18'-9" FOUNDATION.

2 AS-BUILT MIXERS TO BE ABANDON IN PLACE.

3 AS-BUILT CONTROL ROOM 160 SQ FT

4 AS-BUILT BATCH PLANT PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.

5 AS-BUILT EMPLOYEE PARKING LOT

6 AS-BUILT OFFICE BUILDING 1,272 SQ FT

7 AS-BUILT OFFICE BUILDING 3,024 SQ FT

8 AS-BUILT AUTOMATIC GATE

9 AS-BUILT MAINTENANCE & RECEIVING BUILDING 12,700 SQ FT

10 AS-BUILT STORAGE & CARPENTRY BUILDING 6,540 SQ FT

11 AS-BUILT EMPLOYEE BREAK ROOM BUILDING 1,400 SQ FT

12 AS-BUILT REBAR FABRICATION BUILDING 216 SQ FT

13 AS-BUILT QUALITY CONTROL BUILDING 1,920 SQ FT

14 AS-BUILT ABOVE GROUND FUEL STORAGE EXEMPT BY CABQ AIR QUALITY PERMIT #0359-M4.

15 AS-BUILT ABOVE GROUND FUEL STORAGE PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.

16 AS-BUILT PRECAST FORMS WITH OVERHEAD CRANE

17 AS-BUILT PRECAST FORMS

18 PRODUCT AND EQUIPMENT STORAGE AREAS

19 AS-BUILT CHAIN LINK FENCE

20 ROLL OFF DUMPSTER LOCATION TYPICAL. DUMPSTER IS NOT STATIONARY.

21 FIRE HYDRANT

22 MARGD OWNED 50-FOOT ROW/ DITCH EASEMENT PART OF SAN JOSE LATERAL PLAT (A-118)

23 AS-BUILT CHAIN LINK GATE

24 CONCRETE SIDEWALK

25 PROPERTY LINE BETWEEN CORESLAB & LOT 5 LANDS OF FRANK S SANCHEZ

26 EXISTING SUMP DRAIN

N

E

S

W

SCALE: 1=50

GENERAL NOTES

EXISTING BATCH PLANT AND MIXERS ARE COMPLIANT WITH AQD PERMIT #0359-M4 AND NMAC, CHAPTER 11, PART 41 (20.11.41 NMAC). CORESLAB IS IN THE PROCESS OF GETTING A TECHNICAL REVISION TO PERMIT #0359-M4 FOR NEW MIXERS.

PROPOSED ADDITION BUILDING PERMIT REFERENCE IS BP-2023-39354.

A BICYCLE RACK IS AVAILABLE ON THE EAST SIDE OF THE AS-BUILT OFFICE BUILDING AS INDICATED IN KEY NOTE 7. THIS HOMEMADE RACK IS CRAFTED FROM STURDY REBAR MATERIAL.

EXISTING SITE SPECIALIZES IN MANUFACTURING PRECAST CONCRETE PRODUCTS UTILIZING INDUSTRIAL EQUIPMENT, INCLUDING WATER TRUCKS, CONCRETE TRUCKS, FORKLIFTS, CRANES, AND TRACTOR TRAILERS. TO ENSURE SAFETY AND EFFICIENCY,, UNAUTHORIZED PEDESTRIAN AND VEHICULAR CIRCULATION BEYOND DESIGNATED ASPHALT AREAS FOR INGRESS AND EGRESS IS STRICTLY PROHIBITED. CIRCULATION ROUTES FOR INDUSTRIAL EQUIPMENT ARE TAILORED ACCORDING TO PROJECT REQUIREMENTS AND PRODUCT STORAGE ARRANGEMENTS.

SIGHT TRIANGLES PER DPM (6/8/2020) 7-4(i)(5)(V) VISIBILITY FOR SITE ENTRANCES AND DRIVEWAYS. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

Matchline Sheet 4

BNSF Rail Spur

2ND STREET

CoreSlab Structures Inc.
(Albuquerque) INC.

Site Plan -
As-built and New Mixers and Control Room

August 2, 2024

Detailed Description of Site Plan:

The site plan shows a large industrial facility bounded by BNSF rail tracks to the south and west, and Second Street to the north. The facility includes several buildings labeled with numbers corresponding to the keyed notes. Building 1 is a proposed addition at the top center. Buildings 2 through 26 are existing structures distributed throughout the site. Chain link fences (19) enclose specific areas, while storage areas (18) are located near building clusters. Fire hydrants (21) are positioned along major access roads. Railroad tracks run parallel to the southern boundary, separated from the main lot area by easements (22).

Legend:

- Coreslab As-built chain link fence & Property Line
- Lt 5 lands of Frank s Sanchez (Plat of lts 1, 2, 3, 4 & 5lands of frank s sanchez & mrgcd san jose lateral row) cont 1.2053 ac as-built chainlink fence & property line
- as-built buildings & batch plant
- Railroad Tracks
- as-built precast forms
- asphaltic basecourse limits of vehicle and pedestrian ingress and egress
- mrgcd owned 50-foot row/ditch easement key note 22
- s Sidewalk Key Note 24

Keyed Notes:

1 Proposed Addition- new mixer platform with control room 168 sq ft on a 32' x 18'-9" foundation.

2 As-built mixers to be abandon in place.

3 As-built control room 160 sq ft

4 As-built batch plant permitted by cabq air quality permit #0359-m4.

5 As-built employee parking lot

6 As-built office building 1,272 sq ft

7 As-built office building 3,024 sq ft

8 As-built automatic gate

9 As-built maintenance & receiving building 12,700 sq ft

10 As-built storage & carpentry building 6,540 sq ft

11 As-built employee break room building 1,400 sq ft

12 As-built rebar fabrication building 216 sq ft

13 As-built quality control building 1,920 sq ft

14 As-built above ground fuel storage exempt by cabq air quality permit #0359-m4.

15 As-built above ground fuel storage permitted by cabq air quality permit #0359-m4.

16 As-built precast forms with overhead crane

17 As-built precast forms

18 Product and equipment storage areas

19 As-built chain link fence

20 Roll off dumpster location typical. dumpster is not stationary.

21 Fire Hydrant

22 Margd Owned 50-Foot Row/ ditch easement part of San Jose Lateral Plat (A-118)

23 As-built chain link Gate

24 Concrete sidewalk

25 Property line between coreslab & Lot 5 Lands of Frank S Sanchez

26 Existing sump drain

DescriptionByChkd

DateRev#

DesignedN/A

DrawnARS

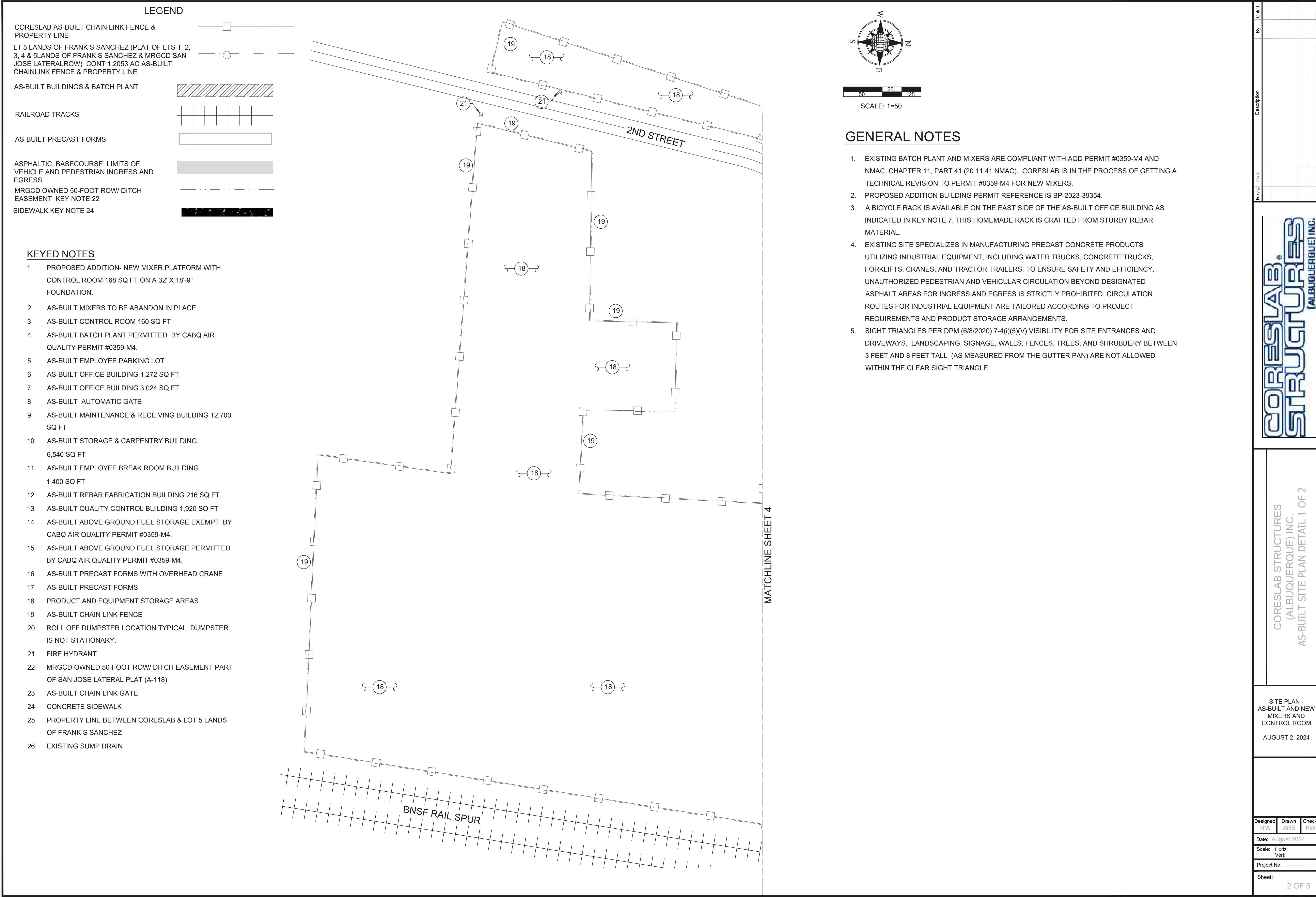
CheckKW

Date: August 2024

Scale: Horiz: Vert:

Project No:

Sheet: 2 OF 5

[illegible][illegible][illegible]

- This figure is a technical site plan for Coreslab Structures (Albuquerque) Inc., showing the layout of existing and proposed buildings, parking areas, and infrastructure. The plan includes a legend, keynotes, general notes, and a north arrow.

LEGEND

 - CORES LAB AS-BUILT CHAIN LINK FENCE & PROPERTY LINE
 - LT 5 LANDS OF FRANK S SANCHEZ (PLAT OF LTS 1, 2, 3, 4 & 5LANDS OF FRANK S SANCHEZ & MRGCD SAN JOSE LATERALROW) CONT 1.2053 AC AS-BUILT CHAINLINK FENCE & PROPERTY LINE
 - AS-BUILT BUILDINGS & BATCH PLANT
 - RAILROAD TRACKS
 - AS-BUILT PRECAST FORMS
 - ASPHALTIC BASECOURSE LIMITS OF VEHICLE AND PEDESTRIAN INGRESS AND EGRESS
 - MARGCD OWNED 50-FOOT ROW/ DITCH EASEMENT KEY NOTE 22
 - SIDEWALK KEY NOTE 24

KEYED NOTES

 - PROPOSED ADDITION- NEW MIXER PLATFORM WITH CONTROL ROOM 168 SQ FT ON A 32' X 18'-9" FOUNDATION.
 - AS-BUILT MIXERS TO BE ABANDON IN PLACE.
 - AS-BUILT CONTROL ROOM 160 SQ FT
 - AS-BUILT BATCH PLANT PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.
 - AS-BUILT EMPLOYEE PARKING LOT
 - AS-BUILT OFFICE BUILDING 1,272 SQ FT
 - AS-BUILT OFFICE BUILDING 3,024 SQ FT
 - AS-BUILT AUTOMATIC GATE
 - AS-BUILT MAINTENANCE & RECEIVING BUILDING 12,700 SQ FT
 - AS-BUILT STORAGE & CARPENTRY BUILDING 6,540 SQ FT
 - AS-BUILT EMPLOYEE BREAK ROOM BUILDING 1,400 SQ FT
 - AS-BUILT REBAR FABRICATION BUILDING 216 SQ FT
 - AS-BUILT QUALITY CONTROL BUILDING 1,920 SQ FT
 - AS-BUILT ABOVE GROUND FUEL STORAGE EXEMPT BY CABQ AIR QUALITY PERMIT #0359-M4.
 - AS-BUILT ABOVE GROUND FUEL STORAGE PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.
 - AS-BUILT PRECAST FORMS WITH OVERHEAD CRANE
 - AS-BUILT PRECAST FORMS
 - PRODUCT AND EQUIPMENT STORAGE AREAS
 - AS-BUILT CHAIN LINK FENCE
 - ROLL OFF DUMPSTER LOCATION TYPICAL. DUMPSTER IS NOT STATIONARY.
 - FIRE HYDRANT
 - MARGCD OWNED 50-FOOT ROW/ DITCH EASEMENT PART OF SAN JOSE LATERAL PLAT (A-118)
 - AS-BUILT CHAIN LINK GATE
 - CONCRETE SIDEWALK
 - PROPERTY LINE BETWEEN CORESLAB & LOT 5 LANDS OF FRANK S SANCHEZ
 - EXISTING SUMP DRAIN

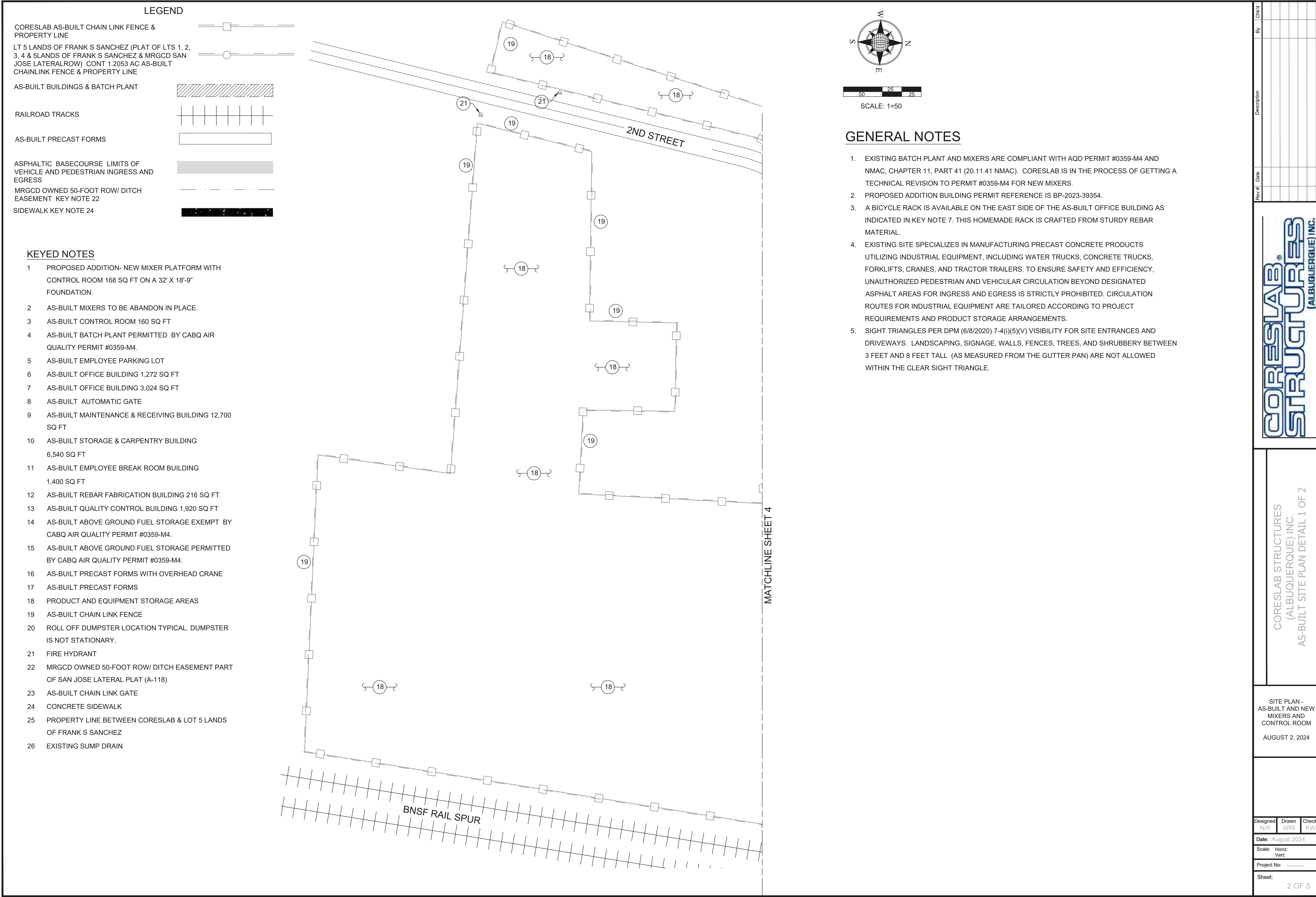
GENERAL NOTES

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 - PROPOSED ADDITION BUILDING PERMIT REFERENCE IS BP-2023-39354.
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 - SIGHT TRIANGLES PER DPM (6/8/2020) 7-4(i)(5)(V) VISIBILITY FOR SITE ENTRANCES AND DRIVEWAYS. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

The site plan shows the following features:

 - Buildings:** Office Building (1,272 SQ FT), Office Building (3,024 SQ FT), Maintenance & Receiving Building (12,700 SQ FT), Storage & Carpentry Building (6,540 SQ FT), Employee Break Room Building (1,400 SQ FT), Rebar Fabrication Building (216 SQ FT), Quality Control Building (1,920 SQ FT).
 - Parking Areas:** Employee Parking Lot.
 - Infrastructure:** Chain Link Fence, Railroad Tracks, Precast Forms, Automatic Gate, Fire Hydrant, Roll Off Dumpster Location Typical.
 - Easements:** MARGCD Owned 50-Foot Row/ Ditch Easement Part of San Jose Lateral Plat (A-118).
 - Other Features:** Concrete Sidewalk, Property Line Between Coreslab & Lot 5 Lands of Frank S Sanchez, Existing Sump Drain.

Matchline SHEET 4

[illegible]

LEGEND

CORES LAB AS-BUILT CHAIN LINK FENCE & PROPERTY LINE
LT 5 LANDS OF FRANK S SANCHEZ (PLAT OF LTS 1, 2,
3, 4 & 5LANDS OF FRANK S SANCHEZ & MRGCD SAN JOSE LATERALROW) CONT 1.2053 AC AS-BUILT CHAINLINK FENCE & PROPERTY LINE
AS-BUILT BUILDINGS & BATCH PLANT

RAILROAD TRACKS

AS-BUILT PRECAST FORMS

ASPHALTIC BASECOURSE LIMITS OF VEHICLE AND PEDESTRIAN INGRESS AND EGRESS
MRGCD OWNED 50-FOOT ROW/ DITCH EASEMENT KEY NOTE 22
SIDEWALK KEY NOTE 24

KEYED NOTES

1 PROPOSED ADDITION- NEW MIXER PLATFORM WITH CONTROL ROOM 168 SQ FT ON A 32' X 18'-9" FOUNDATION.

2 AS-BUILT MIXERS TO BE ABANDON IN PLACE.

3 AS-BUILT CONTROL ROOM 160 SQ FT

4 AS-BUILT BATCH PLANT PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.

5 AS-BUILT EMPLOYEE PARKING LOT

6 AS-BUILT OFFICE BUILDING 1,272 SQ FT

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25 PROPERTY LINE BETWEEN CORESLAB & LOT 5 LANDS OF FRANK S SANCHEZ

26 EXISTING SUMP DRAIN

N
E
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S N E W

SCALE: 1=50

GENERAL NOTES

1. EXISTING BATCH PLANT AND MIXERS ARE COMPLIANT WITH AQD PERMIT #0359-M4 AND NMAC, CHAPTER 11, PART 41 (20.11.41 NMACH). CORESLAB IS IN THE PROCESS OF GETTING A TECHNICAL REVISION TO PERMIT #0359-M4 FOR NEW MIXERS.

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3. A BICYCLE RACK IS AVAILABLE ON THE EAST SIDE OF THE AS-BUILT OFFICE BUILDING AS INDICATED IN KEY NOTE 7. THIS HOMEMADE RACK IS CRAFTED FROM STURDY REBAR MATERIAL.

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MATCHLINE SHEET 4

BNSF RAIL SPUR

2ND STREET

CORESLAB STRUCTURES
(ALBUQUERQUE) INC.
AS-BUILT SITE PLAN DETAIL 1 OF 2

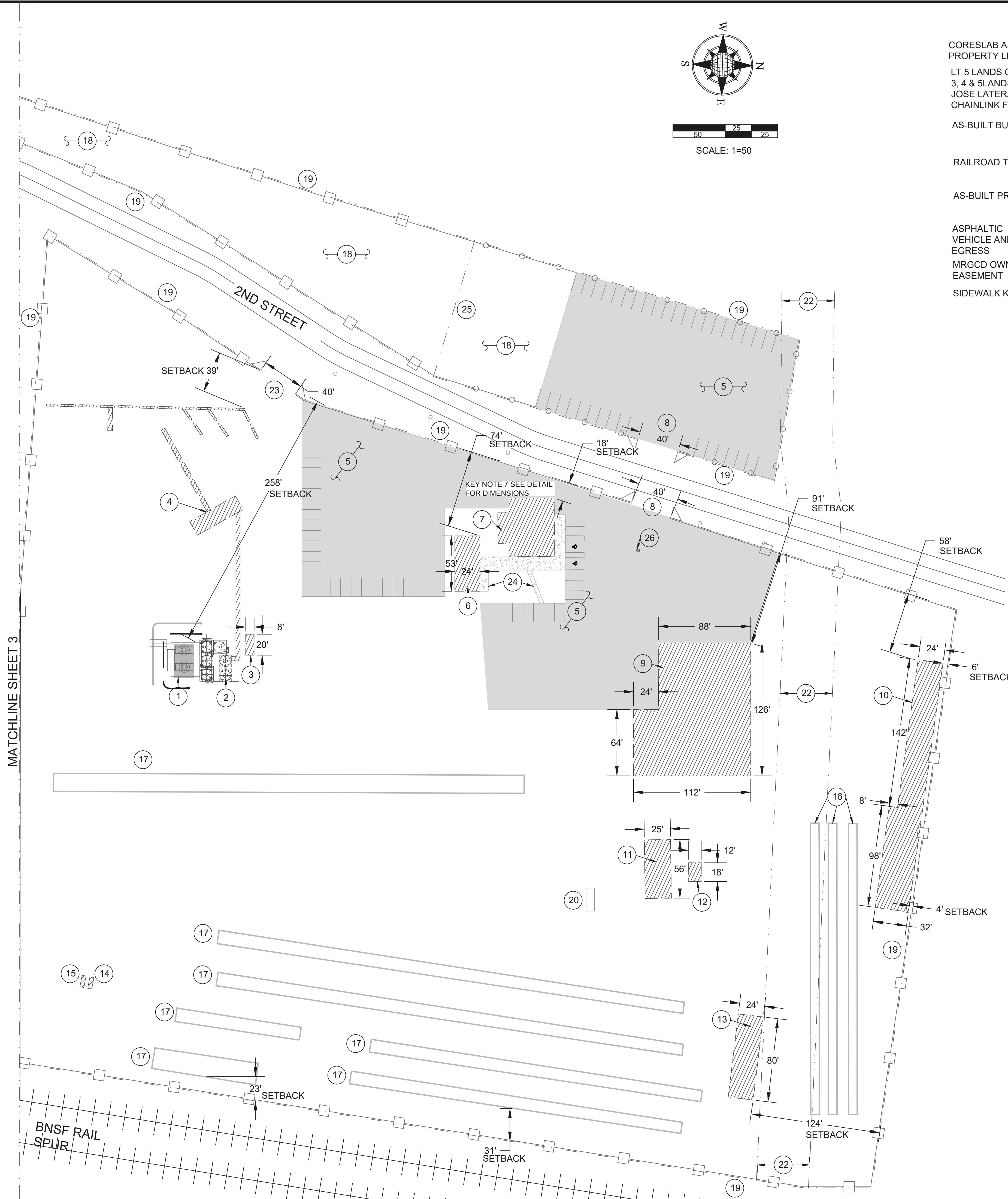
SITE PLAN -
AS-BUILT AND NEW
MIXERS AND
CONTROL ROOM

AUGUST 2, 2024

Detailed description of the site plan drawing showing buildings, fences, tracks, streets, and various numbered callouts corresponding to notes.

2 OF 5

[illegible][illegible]



The diagram shows a horizontal line with several tick marks. A rectangular block is placed on the line, and a circular block is placed below the line.

Page 10 of 10

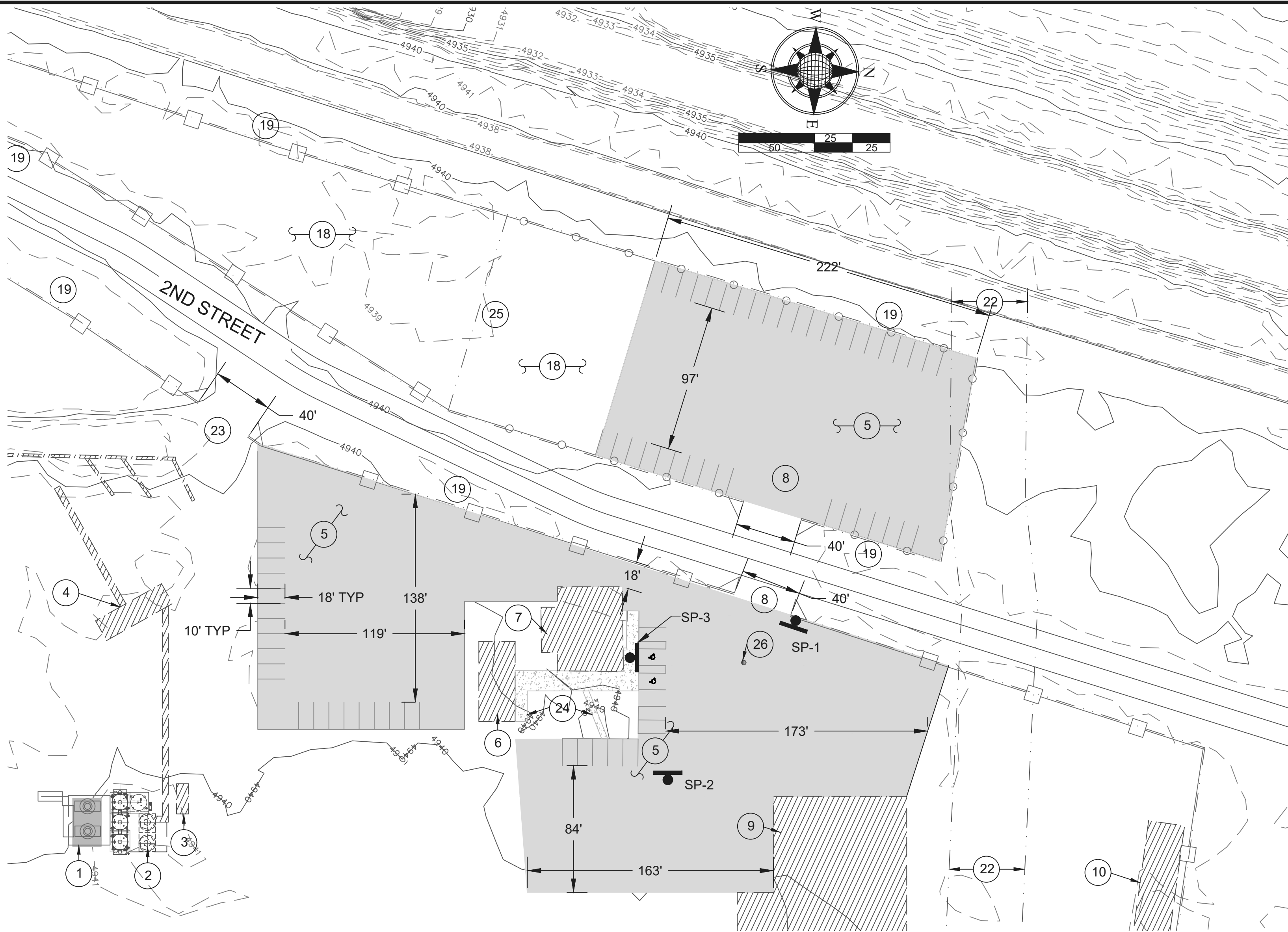
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- 12 AS-BUILT REBAR FABRICATION BUILDING 216 SQ FT
- 13 AS-BUILT QUALITY CONTROL BUILDING 1,920 SQ FT
- 14 AS-BUILT ABOVE GROUND FUEL STORAGE EXEMPT BY
CABQ AIR QUALITY PERMIT #0359-M4.
- 15 AS-BUILT ABOVE GROUND FUEL STORAGE PERMITTED
BY CABQ AIR QUALITY PERMIT #0359-M4.
- 16 AS-BUILT PRECAST FORMS WITH OVERHEAD CRANE
- 17 AS-BUILT PRECAST FORMS
- 18 PRODUCT AND EQUIPMENT STORAGE AREAS
- 19 AS-BUILT CHAIN LINK FENCE
- 20 ROLL OFF DUMPSTER LOCATION TYPICAL. DUMPSTER
IS NOT STATIONARY.
- 21 FIRE HYDRANT
- 22 MRGCD OWNED 50-FOOT ROW/ DITCH EASEMENT PART
OF SAN JOSE LATERAL PLAT (A-118)
- 23 AS-BUILT CHAIN LINK GATE
- 24 CONCRETE SIDEWALK
- 25 PROPERTY LINE BETWEEN CORESLAB & LOT 5 LANDS
OF FRANK S SANCHEZ
- 26 EXISTING SUMP DRAIN



1. EXISTING BATCH PLANT AND MIXERS ARE COMPLIANT WITH AQD PERMIT #0359-M4 AND NMAC, CHAPTER 11, PART 41 (20.11.41 NMAC). CORESLAB IS IN THE PROCESS OF GETTING A TECHNICAL REVISION TO PERMIT #0359-M4 FOR NEW MIXERS.
2. PROPOSED ADDITION BUILDING PERMIT REFERENCE IS BP-2023-39354.
3. A BICYCLE RACK IS AVAILABLE ON THE EAST SIDE OF THE AS-BUILT OFFICE BUILDING IN KEY NOTE 7. THIS HOMEMADE RACK IS CRAFTED FROM THE STURDY REBAR MATERIAL.
4. EXISTING SITE SPECIALIZES IN MANUFACTURING PRECAST CONCRETE PRODUCTS UTILIZING INDUSTRIAL EQUIPMENT, INCLUDING WATER TRUCKS, CONCRETE TRUCKS, FORKLIFTS, CRANES, AND TRACTOR TRAILERS. TO ENSURE SAFETY AND EFFICIENCY, UNAUTHORIZED PEDESTRIAN AND VEHICULAR CIRCULATION BEYOND DESIGNATED ASPHALT AREAS FOR INGRESS AND EGRESS IS STRICTLY PROHIBITED. CIRCULATION ROUTES FOR INDUSTRIAL EQUIPMENT ARE TAILORED ACCORDING TO PROJECT REQUIREMENTS AND PRODUCT STORAGE ARRANGEMENTS.
5. SIGHT TRIANGLES PER DPM (6/8/2020) 7-4(i)(5)(V) VISIBILITY FOR SITE ENTRANCES AND DRIVEWAYS. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

Designed N/A	Drawn ARS	Checked KWE
Date: August 2024		
Scale: Horiz: Vert:		
Project No: 000-000-000-000-000-000		
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PARKING AND INTERNAL CIRCULATION DETAIL
SCALE: 1=50



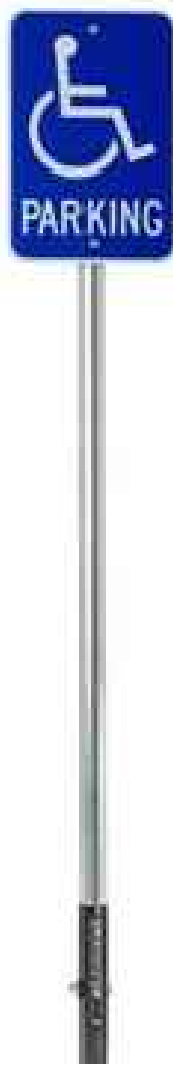
SP-1

EXISTING 36" X 36" SIGN MOUNTED ON STANCHION



SP-2

EXISTING 12" X 18" SIGN MOUNTED ON STANCHION



SP-3

EXISTING 12" X 18" SIGN MOUNTED ON POST

KEYED NOTES

- 1 PROPOSED ADDITION- NEW MIXER PLATFORM WITH CONTROL ROOM 168 SQ FT ON A 32' X 18'-9" FOUNDATION.
- 2 AS-BUILT MIXERS TO BE ABANDON IN PLACE.
- 3 AS-BUILT CONTROL ROOM 160 SQ FT
- 4 AS-BUILT BATCH PLANT PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.
- 5 AS-BUILT EMPLOYEE PARKING LOT
- 6 AS-BUILT OFFICE BUILDING 1,272 SQ FT
- 7 AS-BUILT OFFICE BUILDING 3,024 SQ FT
- 8 AS-BUILT AUTOMATIC GATE
- 9 AS-BUILT MAINTENANCE & RECEIVING BUILDING 12,700 SQ FT
- 10 AS-BUILT STORAGE & CARPENTRY BUILDING 6,540 SQ FT
- 11 AS-BUILT EMPLOYEE BREAK ROOM BUILDING 1,400 SQ FT
- 12 AS-BUILT REBAR FABRICATION BUILDING 216 SQ FT
- 13 AS-BUILT QUALITY CONTROL BUILDING 1,920 SQ FT
- 14 AS-BUILT ABOVE GROUND FUEL STORAGE EXEMPT BY CABQ AIR QUALITY PERMIT #0359-M4.
- 15 AS-BUILT ABOVE GROUND FUEL STORAGE PERMITTED BY CABQ AIR QUALITY PERMIT #0359-M4.
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- 26 EXISTING SUMP DRAIN

CORESLAB AS-BUILT CHAIN LINK FENCE & PROPERTY LINE
LT 5 LANDS OF FRANK S SANCHEZ (PLAT OF LTS 1, 2, 3, 4 & 5LANDS OF FRANK S SANCHEZ & MRGCD SAN JOSE LATERALROW) CONT 1.2053 AC AS-BUILT CHAINLINK FENCE & PROPERTY LINE

AS-BUILT BUILDINGS & BATCH PLANT

RAILROAD TRACKS

AS-BUILT PRECAST FORMS

ASPHALTIC BASECOURSE LIMITS OF VEHICLE AND PEDESTRIAN INGRESS AND EGRESS

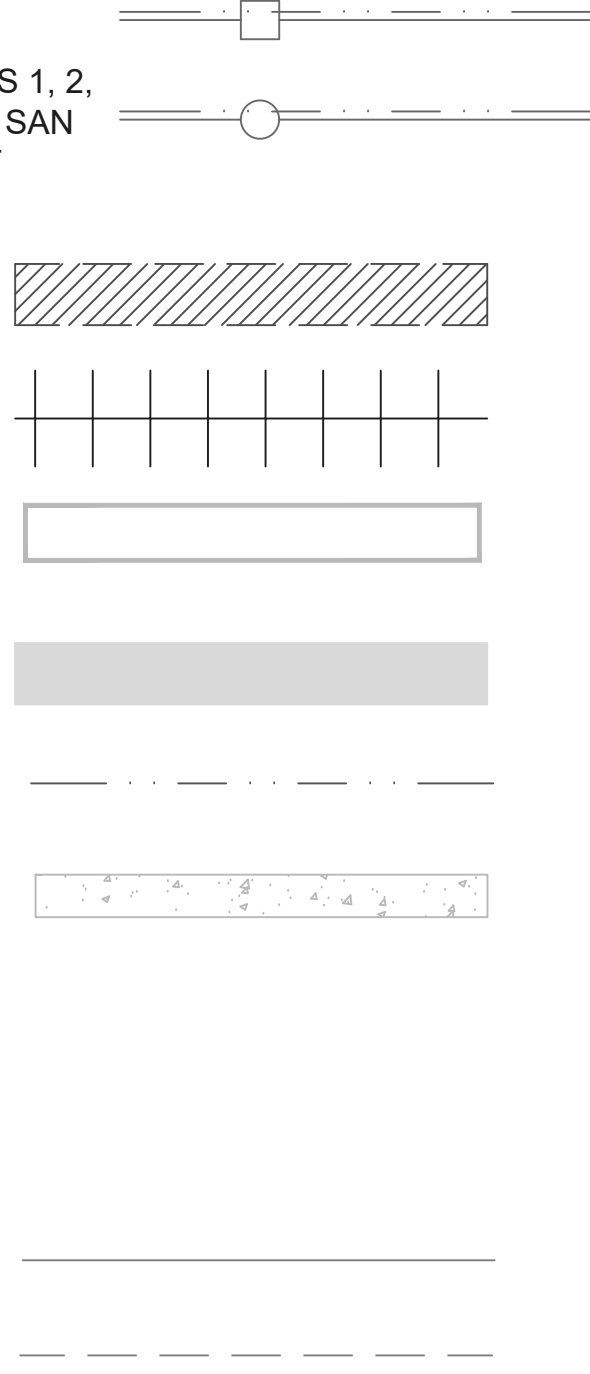
MRGCD OWNED 50-FOOT ROW/ DITCH EASEMENT KEY NOTE 22

SIDEWALK KEY NOTE 24

SIGHT TRIANGLE

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR



GENERAL NOTES

1. EXISTING SITE SPECIALIZES IN MANUFACTURING PRECAST CONCRETE PRODUCTS UTILIZING INDUSTRIAL EQUIPMENT, INCLUDING WATER TRUCKS, CONCRETE TRUCKS, FORKLIFTS, CRANES, AND TRACTOR TRAILERS. TO ENSURE SAFETY AND EFFICIENCY, UNAUTHORIZED PEDESTRIAN AND VEHICULAR CIRCULATION BEYOND DESIGNATED ASPHALT AREAS FOR INGRESS AND EGRESS IS STRICTLY PROHIBITED. CIRCULATION ROUTES FOR INDUSTRIAL EQUIPMENT ARE TAILORED ACCORDING TO PROJECT REQUIREMENTS AND PRODUCT STORAGE ARRANGEMENTS.
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3. STRIPING SHOWN IS FOR CONCEPTUAL VERIFICATION ON THE NUMBER OF PARKING SPOTS AVAILABLE. THE PARKING SURFACE IS ASPHALTIC BASECOURSE AND STRIPING DOES NOT ADHERE TO THE SURFACE.

CORESLAB STRUCTURES (ALBUQUERQUE) INC.					CORESLAB STRUCTURES (ALBUQUERQUE) INC.																			
CORESLAB STRUCTURES (ALBUQUERQUE) INC. TRAFFIC CIRCULATION LAYOUT																								
SITE PLAN - AS-BUILT AND NEW MIXERS AND CONTROL ROOM																								
AUGUST 2, 2024																								
Designed N/A					Drawn ARS		Checked KWE																	
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