

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

October 28, 2021

Jeffrey Wooten, PE  
Wooten Engineering  
1005 21<sup>st</sup> St SE, Ste 13  
Rio Rancho, NM 87124

**Re: Cien Aguas Charter School**  
**2501 Buena Vista Dr SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 10-25/2021 (M15-D004B)

Dear Mr. Wooten,

Based upon the information provided in your submittal received 10-25-2021, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Existing driveways/pads serving Overflow Parking off Buena Vista Drive is not ADA accessible, you will need to replace these driveways to comply with the most current/updated design (Reference COA std dwg 2425A&B).
2. Shared access easement is needed and/or provide an approved plat stating blanket easement.
3. Please label/provide note and/or reference detail to substantiate the shaded area behind the driveway modifications as shown on plans.
4. Verify that vehicle maneuverability capabilities are not impacted between regular and ADA parking stalls.
5. ADA curb ramps must be updated to current standards and have truncated domes installed at the corner of Buena Vista/Renard Pl. Construction notes and details will need to be provided.
6. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. **Please explain why only 4 ft and 5.5 ft widths are proposed.**
7. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. **Explain how this will be complied with only a proposed 5 ft width access aisle for ADA parking stalls.**
8. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. **This needs to be provided on all 1-way orientation on site.**
9. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner and/or the existing approved plat which has not been provided.
10. Sidewalk easement will be needed on Buena Vista Drive for proposed bubbled outs on sidewalk obstruction. This can be a CONDITION OF FINAL CO APPROVAL.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director

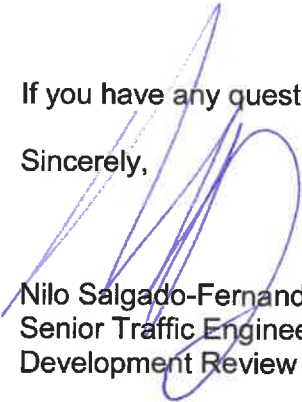


*Mayor Timothy M. Keller*

11. Sheet C-104: Please reference COA std dwgs for proposed drivepad modification details.
12. Please provide a letter of response for all comments given.
13. Resubmittal fee pavement receipt will need to be provided.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

  
Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

C: CO Clerk, File

NM 87103

[www.cabq.gov](http://www.cabq.gov)