

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 17, 2024

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Cien Aguas International School Play Area - Phase 2
Grading & Drainage Plans
Engineer's Stamp Date: 07/08/24
Hydrology File: M15D004D**

Dear Ms. Nilsson-Weber:

Based upon the information provided in your submittal received 07/08/2024, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

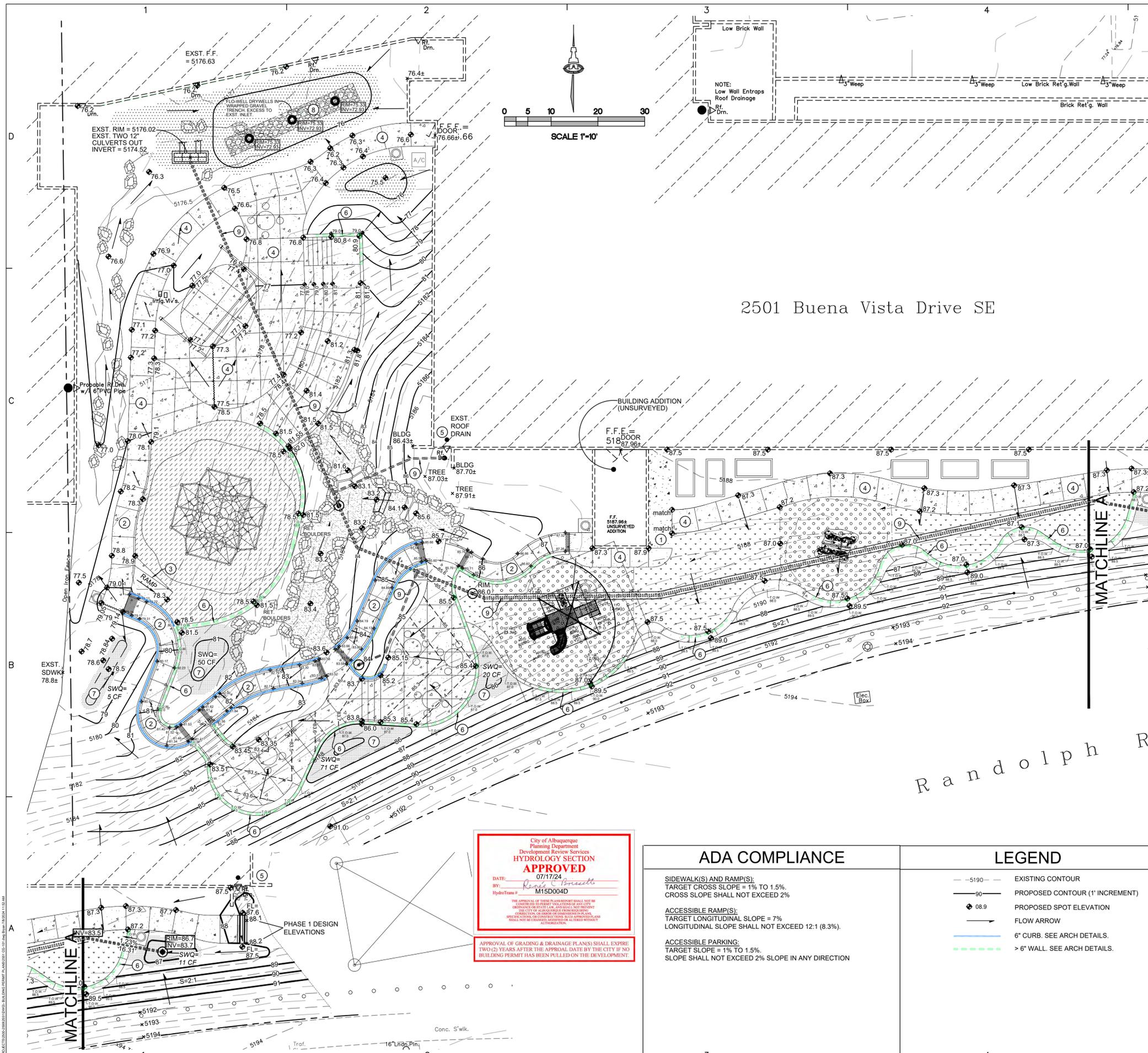
TYPE OF SUBMITTAL:

- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____



2501 Buena Vista Drive SE

R a n d o l p h R

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 07/17/24
 BY: *Renee C. Brantlett*
 HydroTeam # M15D004D

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

ADA COMPLIANCE

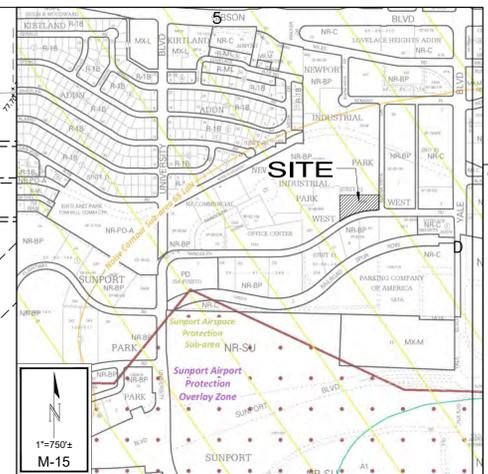
SIDEWALK(S) AND RAMP(S):
 TARGET CROSS SLOPE = 1% TO 1.5%
 CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S):
 TARGET LONGITUDINAL SLOPE = 7%
 LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING:
 TARGET SLOPE = 1% TO 1.5%
 SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- 5190 — EXISTING CONTOUR
- 90 — PROPOSED CONTOUR (1' INCREMENT)
- ◆ 08.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- 6" CURB. SEE ARCH DETAILS.
- > 6" WALL. SEE ARCH DETAILS.



KEYED NOTES

1. SMOOTH TRANSITION TO EXISTING PAVEMENT.
2. ADA COMPLIANT ACCESS RAMP WITH LANDINGS.
3. ADA COMPLIANT RAMP TO ACCESS PLAY AREA.
4. ADA COMPLIANT PEDESTRIAN ACCESS WALK.
5. EXISTING CONCENTRATED ROOF DISCHARGE TO LANDSCAPE. TRANSITION TO STORM DRAIN SYSTEM (PIPE OR 8" DIA. DOMED INLET IN SUMP). ALTERNATIVE: CONTINUE TO RELEASE ROOF DISCHARGE TO PLAY AREA FOR INFILTRATION.
6. SITE GARDEN / RETAINING WALL(S) TO ACHIEVE GRADE DIFFERENCES SHOWN. TOP OF WALL MIN. 6" ABOVE HIGH SIDE GRADE OR AS SHOWN. COORDINATE WITH LANDSCAPE ARCHITECT. SEE ARCHITECTURAL SITE DETAILS ADDRESSING HEIGHT, FOOTING, GUARDRAIL, REINFORCING, WEEPHOLES, ETC.
7. SHALLOW STORMWATER HARVESTING POND.
8. THREE NDS FLO-WELL'S IN WRAPPED CLEAN GRAVEL BED (MIN. 0.75" BOTTOM, TOP, AND SIDES) TO AIDE INFILTRATION. EXCESS TO PASS TO STORM DRAIN SYSTEM VIA SINGLE 4" CONNECTION TO INLET. SEE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
9. CONSTRUCT 8"Ø STORM DRAIN SYSTEM. SEE CG-102.

PROJECT INFORMATION

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP M-15. THE SITE IS BOUND TO THE EAST BY BUENA VISTA DR., TO THE WEST AND NORTH BY DEVELOPED COMMERCIAL AND TO THE SOUTH BY RANDOLPH ROAD.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE PLAYGROUND AREA IMPROVEMENTS, INCLUDING RETAINING WALLS, ADA COMPLIANT ACCESS, PLAYGROUNDS, PLAZAS, AND ASSOCIATED LANDSCAPING.

LEGAL: SOUTH WESTERLY PORTION OF TRACT 2-B-1-A-1 OF NEWPORT INDUSTRIAL PARK WEST, UNIT 1, ALBUQUERQUE, NEW MEXICO.

BENCHMARK: AGRS STATION 24-B.16' - A DISC ON NNE CURB @ NE QUAD, YALE & GIBSON SE.
 ELEV. = 5191.306 (NAVD 1988)

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0361G, EFFECTIVE DATE 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE PROPERTY IS IDENTIFIED AS PHASE II OF THE BDM MASTER DRAINAGE PLAN (HYDROLOGY FILE M15-D9) WHICH ESTABLISHED FREE DISCHARGE (BASED ON 80% IMPERVIOUS AREA) INTO THE CONCRETE CHANNEL LOCATED ALONG THE NORTH EDGE OF THE OVERALL PROPERTY. THE PROPOSED IMPROVEMENTS INCLUDE PLAYGROUND INFRASTRUCTURE AND ACCESS WALKS TO SUPPORT A SCHOOL FACILITY. THE PROPOSED IMPROVEMENTS WILL NOT RESULT IN AN INCREASE IN THE PEAK RUNOFF FROM THE SITE.

pland COLLABORATIVE
 plandcollab.com 505 268 2266
 CONSULTANTS

Isaacson & Arfman, Inc.
 Civil Engineering Consultants
 128 Monroe Street NE
 Albuquerque, NM 87108
 505-268-8828 | www.iacivil.com

SEAL

 PROJECT NAME AND ADDRESS

CIEN AGUAS INTERNATIONAL SCHOOL PLAY AREA - PHASE 2
 2000 RANDOLPH ST SE
 ALBUQUERQUE, NM 87106

DATE: APRIL 17, 2024
 SUBMITTAL: PRICING SET

REVISIONS		
NO.	DATE	DESCRIPTION

PLAND PROJECT NO 22085
 DESIGNED BY BJB CHECKED BY ANW
 DRAWN BY BJB

SHEET TITLE

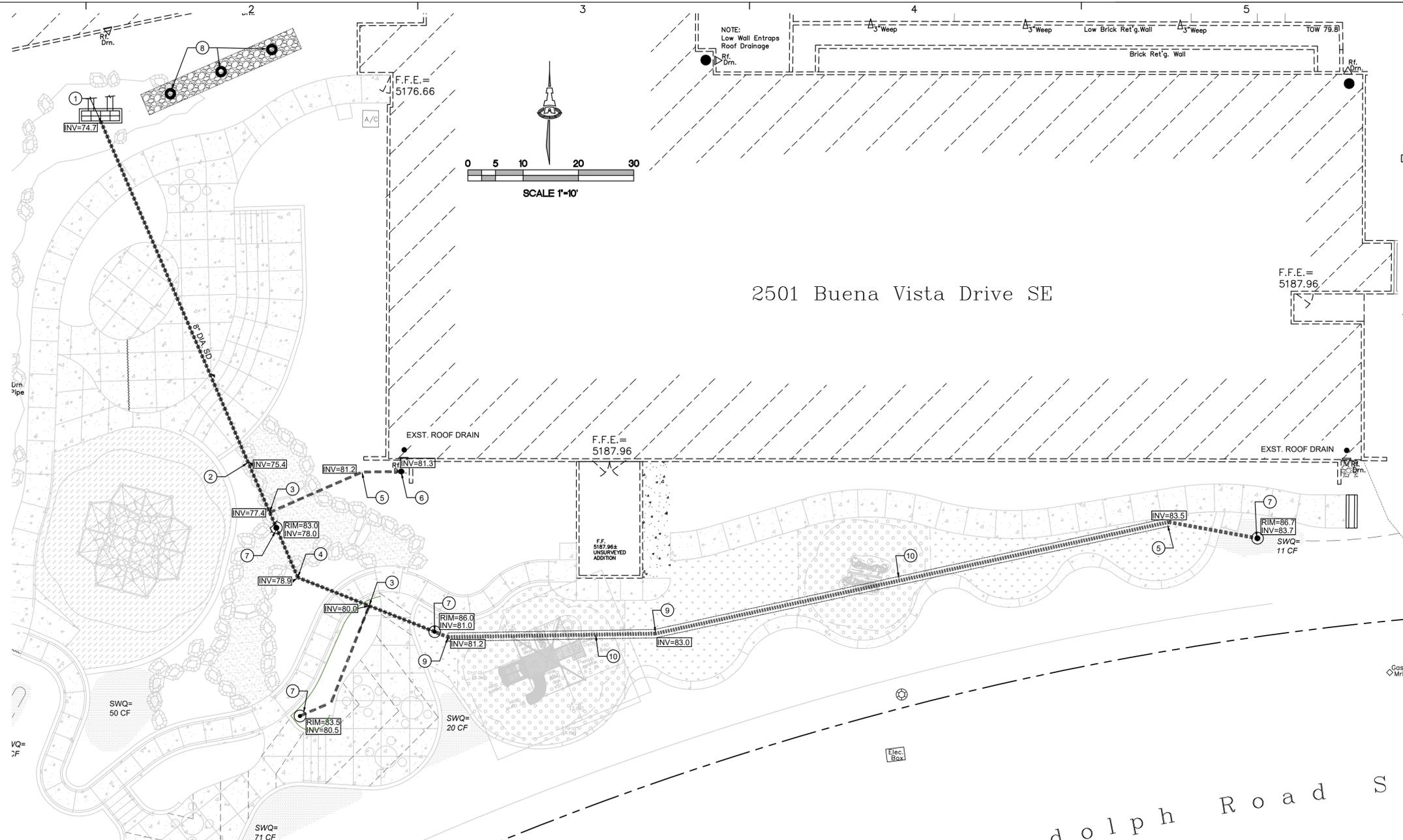
DRAINAGE & GRADING PLAN

SHEET NUMBER
CG-101

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 07/17/24
 BY: *Reese C. Brissett*
 HydroTrans # M15D004D

THE APPROVAL OF THESE PLANS AND PERMITS SHALL NOT BE CONSIDERED AN ENDORSEMENT OR GUARANTEE OF THE CITY OF ALBUQUERQUE. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL NOT BE CHARGED WITH THE PROTECTION OF ALL UTILITIES.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



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PROJECT NAME AND ADDRESS

CIEN AGUAS INTERNATIONAL SCHOOL PLAY AREA - PHASE 2
 2000 RANDOLPH ST SE
 ALBUQUERQUE, NM 87106

DATE SUBMITTAL: APRIL 17, 2024
 PRICING SET

BASIN NO.	EX-TOTAL	DESCRIPTION	Disturbed Area - Existing Condition
	20162 SF		0.46 Ac.
Area of basin flows =			
The following calculations are based on Treatment %'s as shown in table to the right			
Sub-basin Weighted Excess Precipitation:			LAND TREATMENT
Sub-basin Volume of Runoff:			A = 0%
Sub-basin Peak Discharge Rate:			B = 0%
			C = 100%
			D = 0%
			Stormwater Quality Volume
			0 CF
BASIN NO.	DEV-TOTAL	DESCRIPTION	Disturbed Area - Developed Condition
	20162 SF		0.46 Ac.
Area of basin flows =			
The following calculations are based on Treatment %'s as shown in table to the right			
Sub-basin Weighted Excess Precipitation:			LAND TREATMENT
Sub-basin Volume of Runoff:			A = 0%
Sub-basin Peak Discharge Rate:			B = 40%
			C = 30%
			D = 30%
			Stormwater Quality Volume
			171 CF

STORM WATER QUALITY

SEE REQUIRED STORM WATER QUALITY VOLUME CALCULATIONS BELOW.

IMPERVIOUS AREA = 6,048 SF
 SWQ RAINFALL DEPTH = 0.26 IN

REDEVELOPMENT @ 0.26" PER SF IMPERVIOUS SWQV REQUIRED = 6,048 * 0.26/12 = 131 CF

SWQ POND VOLUMES = 157 CF

ADDITIONAL SWQ RETENTION WILL BE PROVIDED IN DEPRESSED PLAYGROUND AREAS AND IN DRY WELLS.

TOTAL SWQ VOLUME PROVIDED > REQUIRED

STORM DRAIN GENERAL NOTES

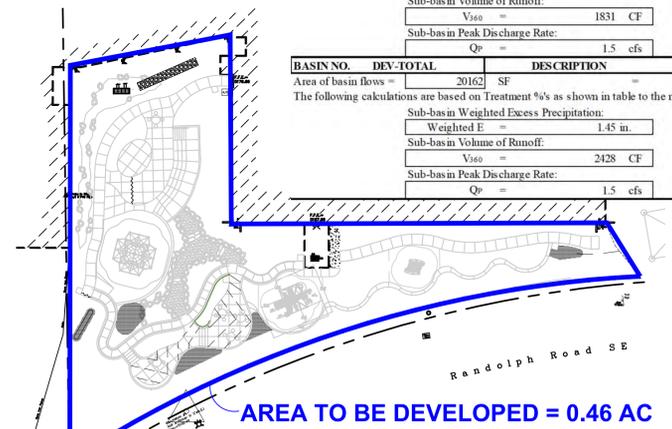
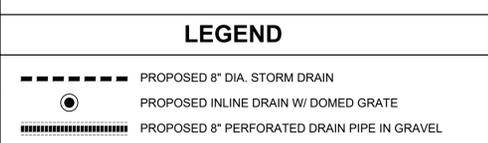
A. STORM DRAIN LINES AND FITTINGS SHALL BE THE FOLLOWING MATERIAL:
 • ADS N-12 WT PIPE OR ADS MEGA GREEN WT PIPE

B. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.

C. ALL GRATES SHALL BE LOCKING.

D. STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT OWNER PUT IN PLACE INSPECTION AND MAINTENANCE REQUIREMENTS SCHEDULED TO OCCUR YEARLY AND AFTER MAJOR STORM EVENTS

- KEYED NOTES**
- SEE SHEET CG-503 FOR GENERAL DETAILS OF INLINE DRAINS AND DRAIN BASINS.
- CONNECT 8" STORM DRAIN TO EXISTING INLET AT INVERT SHOWN. PROVIDE WATER-TIGHT CONNECTION.
 - GRADE BREAK. INSTALL 11.25" BEND.
 - 8"x8" TEE.
 - 8" 45" BEND.
 - 8" 22.5" BEND.
 - PROVIDE WATERTIGHT CONNECTION AT ROOF DRAIN DISCHARGE. EXTEND DRAIN LINES AND CONNECT TO STORM DRAIN MAIN WITH FITTINGS.
 - 8" INLINE DRAIN WITH 8" DOMED GRATE
 - FLO-WELL DRY WELL IN FABRIC-WRAPPED GRAVEL TRENCH. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - 8" 11.25" BEND.
 - 8" PERFORATED STORM DRAIN WITHIN GRAVEL TRENCH. SEE DETAIL THIS SHEET. FIELD ADJUST TO MISS PLAY STRUCTURES.



REVISIONS

NO.	DATE	DESCRIPTION

PLAND PROJECT NO 22085
 DESIGNED BY BJB CHECKED BY ANW
 DRAWN BY BJB

SHEET TITLE

STORM DRAIN & STORMWATER QUALITY

SHEET NUMBER

CG-102