

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 17, 2024

Åsa Nilsson-Weber, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Cien Aguas International School Play Area - Phase 2**  
**Grading & Drainage Plans**  
**Engineer's Stamp Date: 07/08/24**  
**Hydrology File: M15D004D**

Dear Ms. Nilsson-Weber:

Based upon the information provided in your submittal received 07/08/2024, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** Plat (# of lots) \_\_\_\_\_ Single Family Home  
All other Developments

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

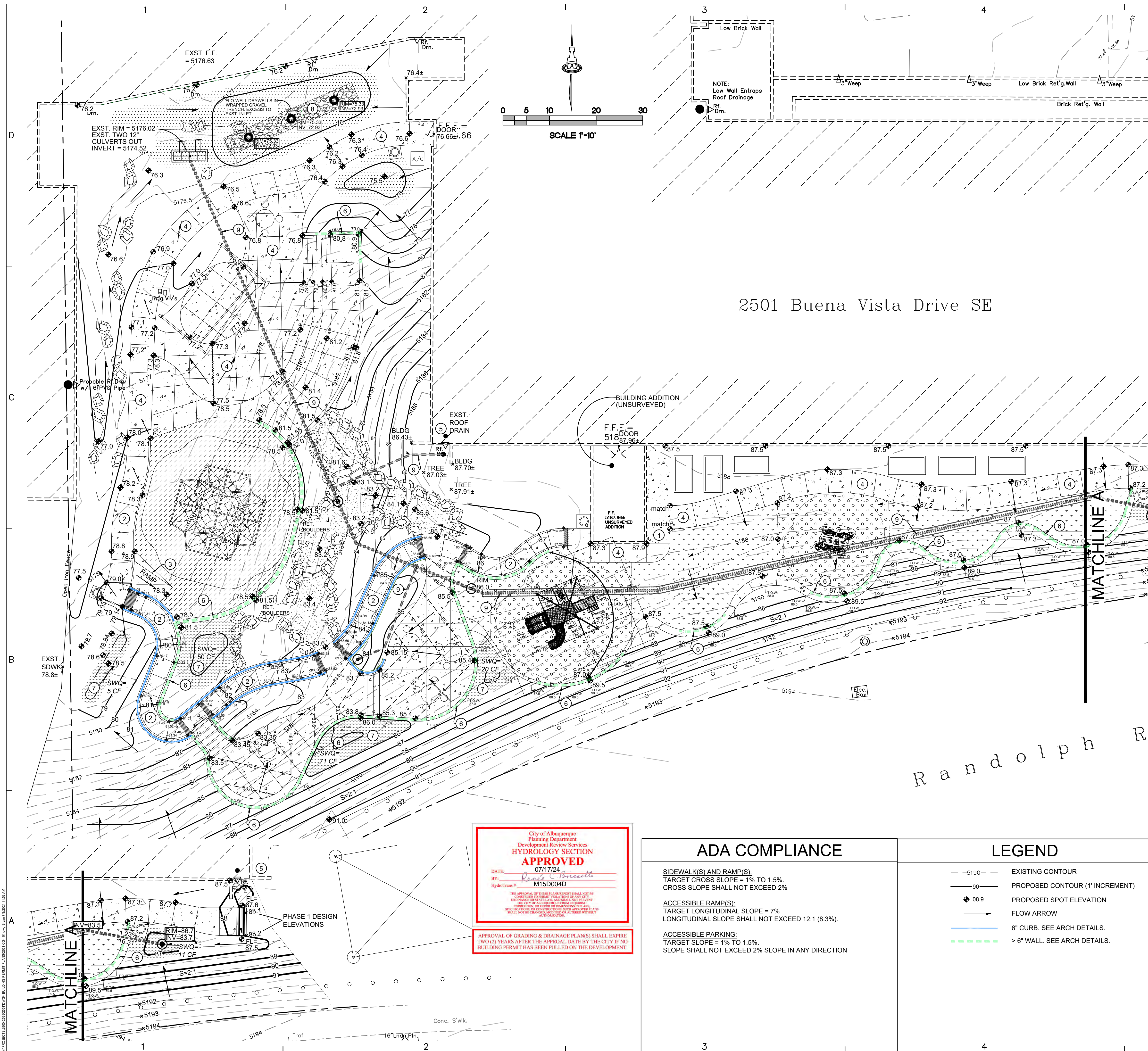
### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy - Temp Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 07/17/24  
BY: *Renee C. Bruneau*  
HydroTeam # M15D004D  
THE APPROVAL OF THESE PLANS DOES NOT BE  
CONSIDERED A GUARANTEE OF THE CITY OF ALBUQUERQUE'S  
DESIGN OR CONSTRUCTION. THE CITY OF ALBUQUERQUE  
MAKES NO REPRESENTATION OR WARRANTY, EITHER  
EXPRESS OR IMPLIED, AS TO THE ACCURACY, COMPLETENESS,  
OR QUALITY OF THE INFORMATION PROVIDED OR THE  
SUITABILITY OF THE PLANS FOR THE PURPOSES INTENDED.  
**APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE  
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO  
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.**

### ADA COMPLIANCE

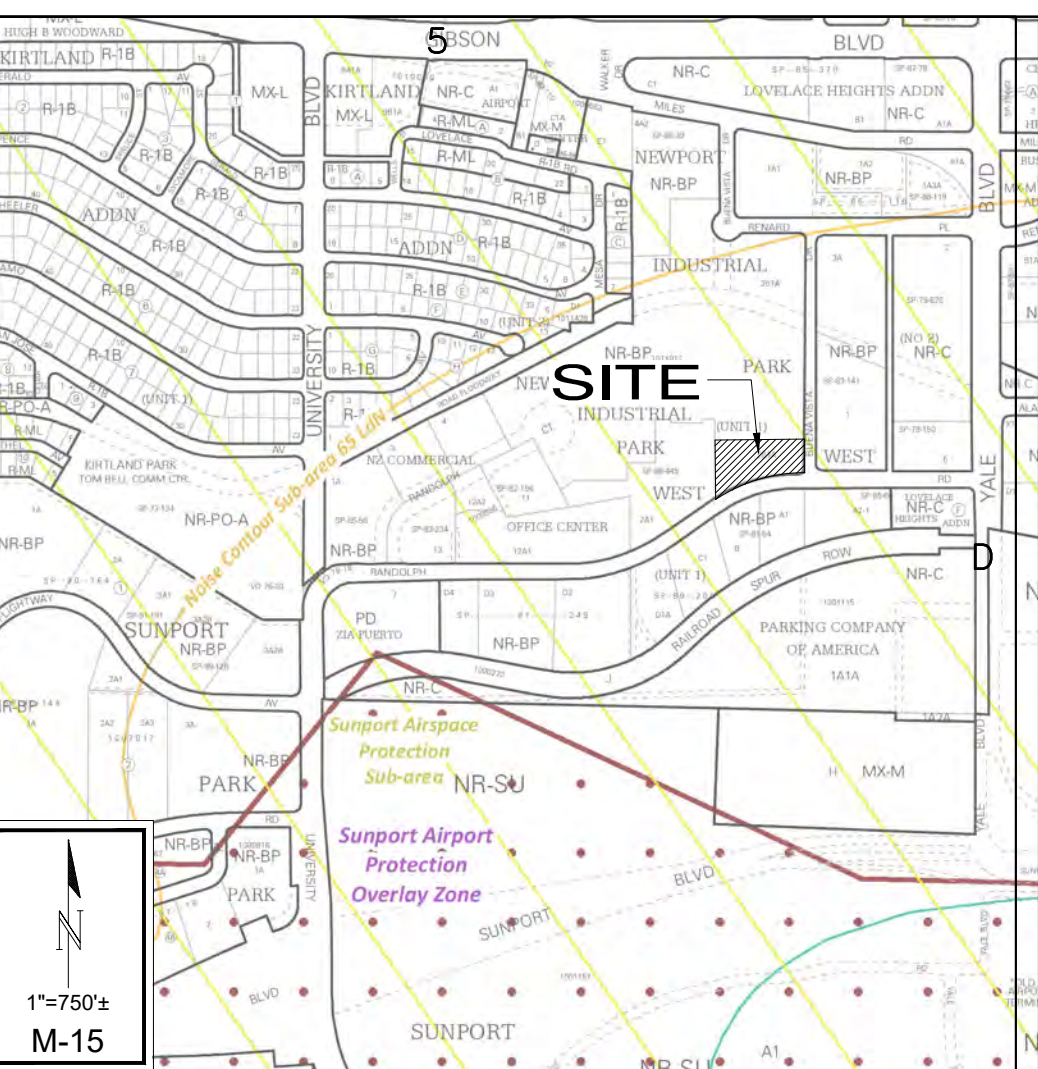
SIDEWALK(S) AND RAMP(S):  
TARGET CROSS SLOPE = 1% TO 1.5%  
CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S):  
TARGET LONGITUDINAL SLOPE = 7%  
LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING:  
TARGET SLOPE = 1% TO 1.5%  
SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

### LEGEND

- 5190 — EXISTING CONTOUR
- 90 — PROPOSED CONTOUR (1' INCREMENT)
- ◆ 08.9 PROPOSED SPOT ELEVATION
- FLOW ARROW
- 6" CURB. SEE ARCH DETAILS.
- > 6" WALL. SEE ARCH DETAILS.



### KEYED NOTES

- SMOOTH TRANSITION TO EXISTING PAVEMENT.
- ADA COMPLIANT ACCESS RAMP WITH LANDINGS.
- ADA COMPLIANT RAMP TO ACCESS PLAY AREA.
- ADA COMPLIANT PEDESTRIAN ACCESS WALK.
- EXISTING CONCENTRATED ROOF DISCHARGE TO LANDSCAPE. TRANSITION TO STORM DRAIN SYSTEM (PIPE OR 8" DIA. DOMED INLET IN SUMP). ALTERNATIVE: CONTINUE TO RELEASE ROOF DISCHARGE TO PLAY AREA FOR INFILTRATION.
- SITE GARDEN / RETAINING WALL(S) TO ACHIEVE GRADE DIFFERENCES SHOWN. TOP OF WALL MIN. 6" ABOVE HIGH SIDE GRADE OR AS SHOWN. COORDINATE WITH LANDSCAPE ARCHITECT. SEE ARCHITECTURAL SITE DETAILS ADDRESSING HEIGHT, FOOTING, GUARDRAIL, REINFORCING, WEEPHOLES, ETC.
- SHALLOW STORMWATER HARVESTING POND.
- THREE NDS FLO-WELL'S IN WRAPPED CLEAN GRAVEL BED (MIN. 0.75' BOTTOM, TOP, AND SIDES) TO AIDE INFILTRATION. EXCESS TO PASS TO STORM DRAIN SYSTEM VIA SINGLE 4" CONNECTION TO INLET. SEE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- CONSTRUCT 8"Ø STORM DRAIN SYSTEM. SEE CG-102.

### PROJECT INFORMATION

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP M-15. THE SITE IS BOUND TO THE EAST BY BUENA VISTA DR., TO THE WEST AND NORTH BY DEVELOPED COMMERCIAL AND TO THE SOUTH BY RANDOLPH ROAD.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE PLAYGROUND AREA IMPROVEMENTS, INCLUDING RETAINING WALLS, ADA COMPLIANT ACCESS, PLAYGROUNDS, PLAZAS, AND ASSOCIATED LANDSCAPING.

LEGAL: SOUTH WESTERLY PORTION OF TRACT 2-B-1-A-1 OF NEWPORT INDUSTRIAL PARK WEST, UNIT 1. ALBUQUERQUE, NEW MEXICO.

BENCHMARK: AGRS STATION '24-L16' - A DISC ON NNE QUAD. YALE & GIBSON SE. ELEV. = 5191.306 (NAVD 1988)

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0361G, EFFECTIVE DATE 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE PROPERTY IS IDENTIFIED AS PHASE II OF THE BDM MASTER DRAINAGE PLAN (HYDROLOGY FILE M15-D9) WHICH ESTABLISHED FREE DISCHARGE (BASED ON 80% IMPERVIOUS AREA) INTO THE CONCRETE CHANNEL LOCATED ALONG THE NORTH EDGE OF THE OVERALL PROPERTY. THE PROPOSED IMPROVEMENTS INCLUDE PLAYGROUND INFRASTRUCTURE AND ACCESS WALKS TO SUPPORT A SCHOOL FACILITY. THE PROPOSED IMPROVEMENTS WILL NOT RESULT IN AN INCREASE IN THE PEAK RUNOFF FROM THE SITE.

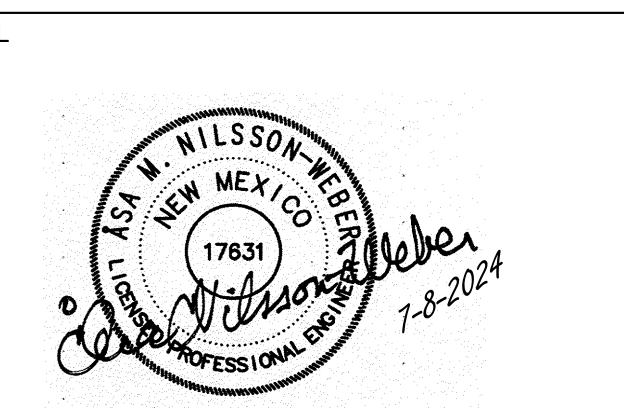
**pland**  
COLLABORATIVE

plandcollab.com 505 268 2266

CONSULTANTS

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87108  
505-268-8828 | www.iacivil.com



PROJECT NAME AND ADDRESS

**CIEN AGUAS  
INTERNATIONAL  
SCHOOL  
PLAY AREA -  
PHASE 2**  
2000 RANDOLPH ST SE  
ALBUQUERQUE, NM 87106

DATE APRIL 17, 2024  
SUBMITTAL PRICING SET

REVISIONS		
NO.	DATE	DESCRIPTION

PLAND PROJECT NO 22085  
DESIGNED BY BJB CHECKED BY ANW  
DRAWN BY BJB

SHEET TITLE

**DRAINAGE &  
GRADING PLAN**

SHEET NUMBER  
**CG-101**

plandcollab.com 505 268 2266

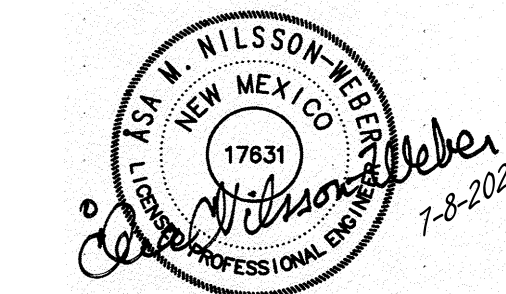
CONSULTANT:

**505 268 2266**



128 Monroe Street NE  
Albuquerque, NM 87102  
505-268-8828 | [www.iacivil.com](http://www.iacivil.com)

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PROJECT NAME AND ADDRESS

CIEN AGUAS  
INTERNATIONAL  
SCHOOL  
PLAY AREA -  
PHASE 2

2000 RANDOLPH ST SE  
ALBUQUERQUE, NM 87106

DATE APRIL 17, 2024  
SUBMITTAL

## PRICING SET

△ REVISIONS

NO.	DATE	DESCRIPTION
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[illegible]

PLAND PROJECT NO 22085  
DESIGNED BY BJB CHECKED BY ANW  
DRAWN BY BJB

SHEET TITLE

# STORM DRAIN & STORMWATER QUALITY

SHEET NUMBER

CG-102

