## CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

August 17, 2023

J. Kory Baker J. Kory Baker Architect P.O Box 254 Estancia, NM 87016

Re: Wagoner Building 1800 Randolph Rd. SE Traffic Circulation Layout Engineer's Stamp 03-23-23 (M15-D008)

Dear Mr. Baker,

The TCL submittal received 04-26-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to the <u>PLNDRS@cabq.gov</u> for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

>

Sincerely,

Ernest Armijo, P.E. Principal Engineer, Planning Dept. Development Review Services

C: CO Clerk, File



# **City of Albuquerque**

### Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Wagoner Building	Building Permit #	Hydrology File #	
DRB#	EPC#_		
Legal Description: Lot DIA NEWPORT INDUSTRIA GROWNEY II SUBDIVISION CON	L PARK-WEST UNIT 1 IT 1.3499 AC City Address	S OR Parcel 1800 Randolph Rd. SE	
Applicant/Agent: ABQ Engineering Inc	Contact: _Cr	aig Hagelgantz	
Address: 8102 Menaul Blvd. NE, Suite D	Phone: <u>50</u>	<b>Phone:</b> 505-255-7802	
Email: chagelgantz@abqeng.com			
Applicant/Owner: LOE Investments LL	.C Contact: N	1att Wagoner	
Address: 23811Washington Ave., Suite C-1101	32, Murrieta, CA 92562 <b>Phone:</b> 9	51-712-1394	
Email: matt@eastleyinc.com			
TYPE OF DEVELOPMENT:PLAT RE-SUBMITTAL:YES No		RB SITE ADMIN SITE: 🛫	
<b>DEPARTMENT:</b> TRANSPORT Check all that apply:	`ATION HYDROLOGY	/DRAINAGE	
TYPE OF SUBMITTAL:	TYPE OF APPROVA	AL/ACCEPTANCE SOUGHT:	
ENGINEER/ARCHITECT CERTIFICA	ATIONBUILDING	PERMIT APPROVAL	
PAD CERTIFICATION	CERTIFICA	ATE OF OCCUPANCY	
CONCEPTUAL G&D PLAN	CONCEPT	CONCEPTUAL TCL DRB APPROVAL	
GRADING PLAN	PRELIMIN	PRELIMINARY PLAT APPROVAL	
DRAINAGE REPORT	SITE PLAN	SITE PLAN FOR SUB'D APPROVAL	
DRAINAGE MASTER PLAN	SITE PLAN	SITE PLAN FOR BLDG PERMIT APPROVAL	
FLOOD PLAN DEVELOPMENT PERM	MIT APPFINAL PLA	FINAL PLAT APPROVAL	
ELEVATION CERTIFICATE	SIA/RELEA	SIA/RELEASE OF FINANCIAL GUARANTEE	
CLOMR/LOMR		FOUNDATION PERMIT APPROVAL	
▼TRAFFIC CIRCULATION LAYOUT (*)		GRADING PERMIT APPROVAL	
ADMINISTRATIVE	SO-19 APP	SO-19 APPROVAL	
TRAFFIC CIRCULATION LAYOUT F		PAVING PERMIT APPROVAL	
APPROVAL	GRADING	GRADING PAD CERTIFICATION	
TRAFFIC IMPACT STUDY (TIS)		WORK ORDER APPROVAL	
STREET LIGHT LAYOUT	CLOMR/LC		
OTHER (SPECIFY)	FLOOD PL	FLOOD PLAN DEVELOPMENT PERMIT	
PRE-DESIGN MEETING?	OTHER (SI	OTHER (SPECIFY)	
DATE SUBMITTED: 4/26/23			

11. CONSTRUCT STANDARD DUMPSTER **ENCLOSURE PER COA SOLID WASTE** MANAGEMENT DEPARTMENT DETAIL.

12. CONSTRUCT NEW 5'x5' CONCRETE TRANSFORMER PAD.

13. DEMOLISH AND REMOVE PORTION OF EXISTING DRAINAGE STRICTURE BELOW FOOTPRINT OF NEW BUILDING.

14. PATH OF REFUSE VEHICLE, NO OTHER DELIVERY VEHICLES REQUIRED.

15. PAVED ACCESS LANE INTO SITE HAS SLOPE LESS THAN OR EQUAL TO 10%.

16. 6" AGGREGATE BASE COURSE SEE DETAIL 3/C5.1. (NO ASPHALT)

17. EXISTING ASPHALT CURB TO REMAIN.

18. SITE BICYCLE PARKING. SEE ENLARGED PLAN THIS SHEET.

19. MOTORCYCLE PARKING SPACES AND SIGN SEE DETAIL 3/C5.1

20 FLUSH SIDEWALK AND ASPHALT SEE DETAIL 6/C5.1

**LOCATION MAP** SCALE: NONE COA ZONE ATLAS: G-16-Z

**KEYED NOTES** 

-11' X 11' SITE TRIANGLE "LANDSCAPING AND—

SIGNAGE WILL NOT INTERFERE WITH

THEREFORE, SIGNS, WALL TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN)

CLEAR SIGHT REQUIREMENTS.

- 1. NEW ACCESSIBLE PARKING SPACE. SEE DETAIL 1/C5.1.
- 2. SITE ACCESS THRU EXISTING CONCRETE DRIVE WAY. REBUILD ENTRY PER COA STD DETAIL 2425

3. CONSTRUCT NEW ACCESSIBLE PARKING

4. CONSTRUCT NEW HEADER CURB PER

SIGN. SEE DETAIL 2/C5.1.

COA STD DWG 2415B.

- 5. CONSTRUCT NEW RETAINING WALL. SEE SHEET C1.1A.
- 6. CONSTRUCT NEW CONCRETE WALK. SEE DETAIL 4/C5.1.
- 7. REMOVE EXISTING ASPHALT CURB SEE SHEET C1.1 GRADING AND DRAINAGE & DETAIL 9/C5.1
- 8. INSTALL NEW ASPHALT PAVEMENT. SEE DETAIL 3/C5.1.
- 9. INSTALL CONCRETE WHEEL STOP. SEE DETAIL 5/C5.1.
- 10. CONSTRUCT SIDEWALK CULVERT FOR DRAINAGE PER COA DETAIL 2430.

# SITE PARKING CALCULATIONS

REQUIRED 1 SPACE PER 1000 SF GFA AREA ON GROUND FLOOR

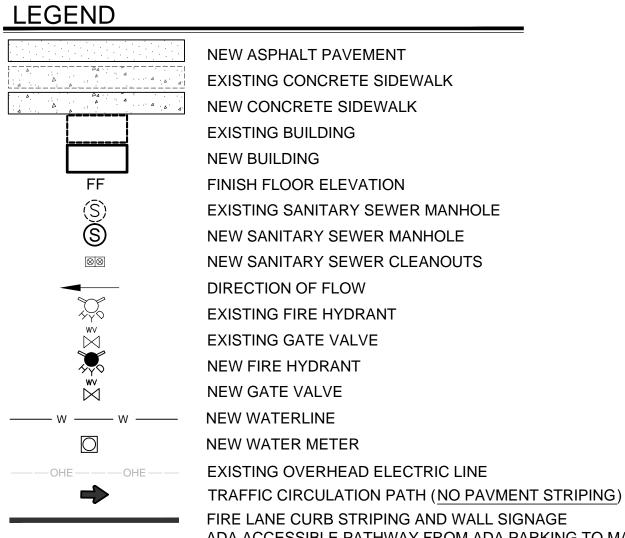
22,380/1000 = 22.38

AREA

PARKING SPACES REQUIRED = 22

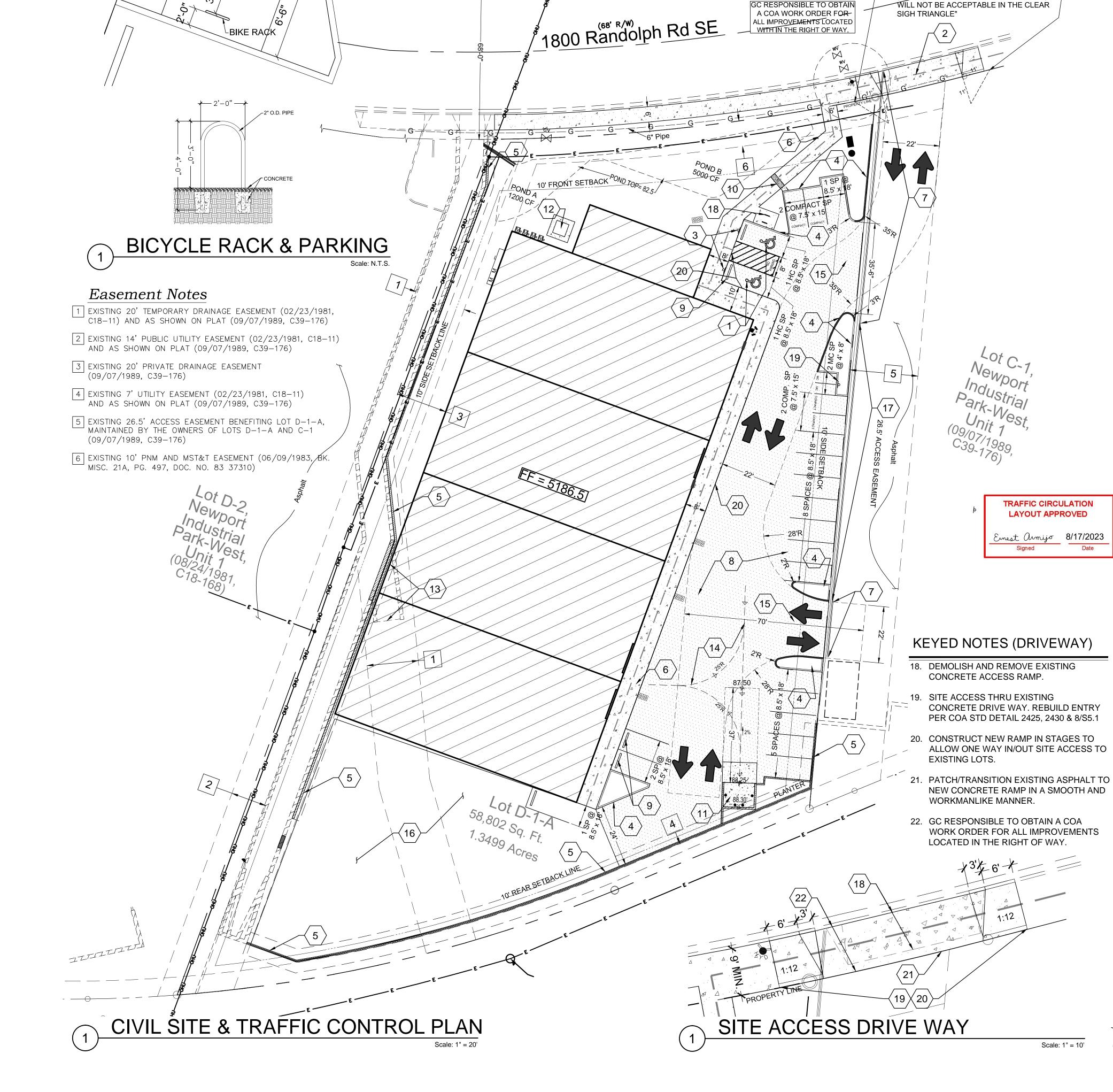
PARKING SPACES PROVIDED: ADA ACCESSIBLE SPACES = 2 (1 VAN ACCESSIBLE)REGULAR PARKING SPACES = 15 COMPACT PARKING SPACES = 5 TOTAL PARKING SPACES = 22

MOTORCYCLE SPACES REQUIRED = 1 PROVIDED = 2 BICYCLE SPACES REQUIRED = 3 PROVIDED = 3



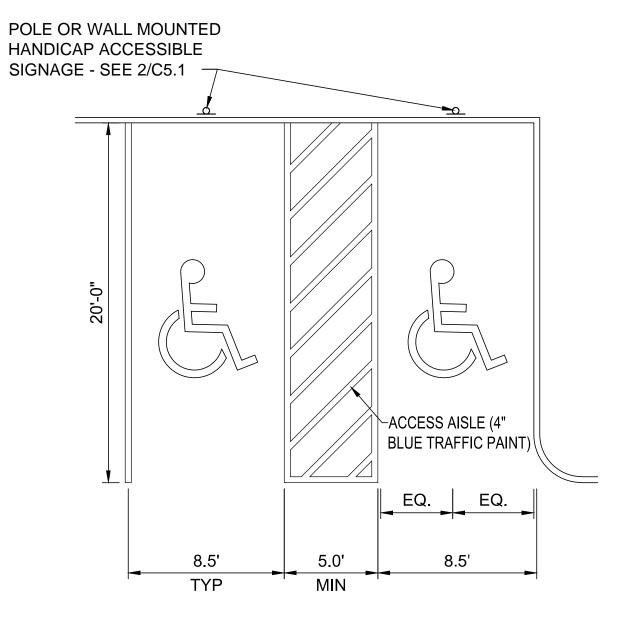
ADA ACCESSIBLE PATHWAY FROM ADA PARKING TO MAIN ENTRY (OUT TO PUBLIC SIDEWALK) ABQ Engineering Civil • Structural • Mechanical • Plumbing • Electrical

DRAWN BY: JCH DATE: 03-23-23 8102 Menaul Blvd. NE, Suite D, Albuquerque, NM 87110 tele: 505.255.7802 Proj. No.: 22-036 www.abqeng.com



C1.2

C5.1



HANDICAP ACCESSIBLE PARKING LAYOUT

6"x 6" PRECAST CONCRETE

WHEEL STOP DETAIL

BEVEL-

CORNERS

**AS SHOWN** 

WHEEL STOP

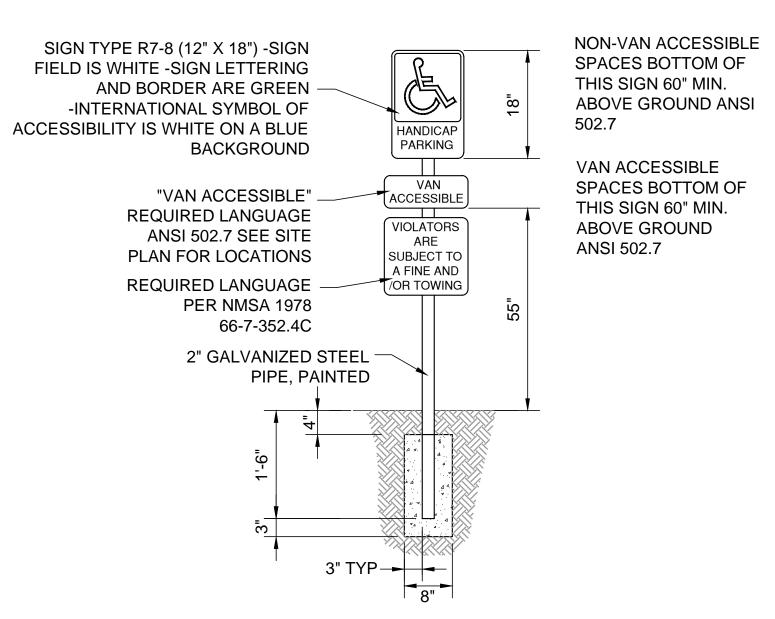
-BEVEL CORNERS

Scale: NONE

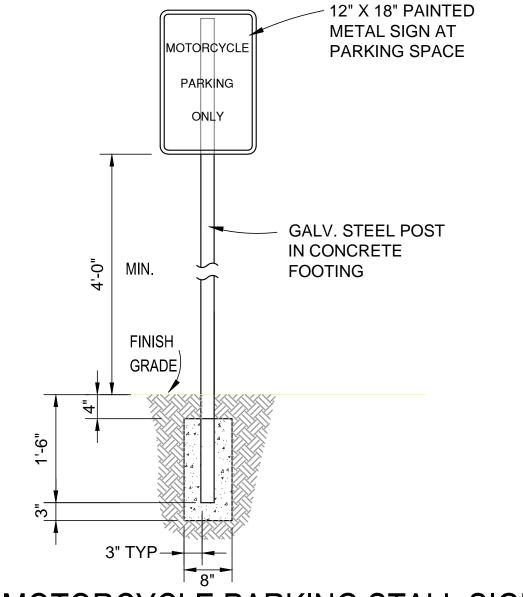
**AS SHOWN** 

HORIZONTALLY

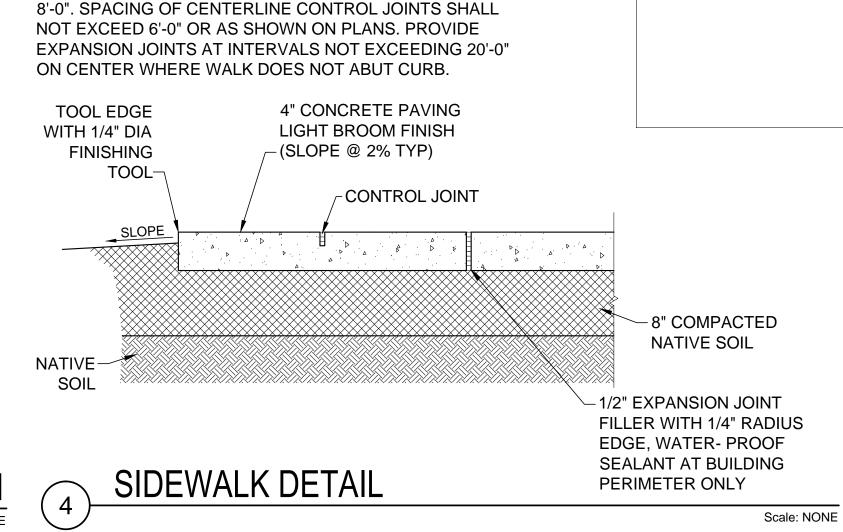
- 3~#5 CONTINUOUS



HANDICAP ACCESSIBLE PARKING SIGN



MOTORCYCLE PARKING STALL SIGN

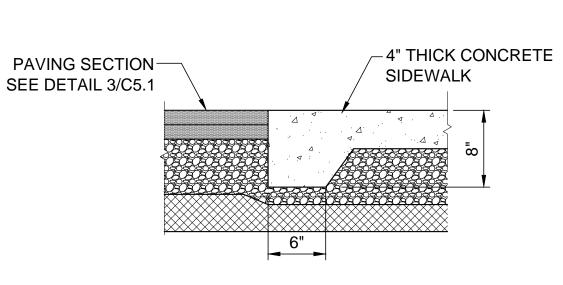


NOTE: PROVIDE TRANSVERSE CONTROL JOINTS AT

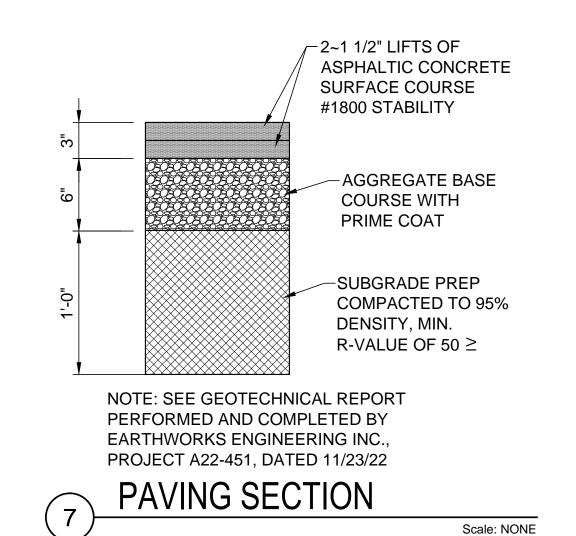
INTERVALS NOT EXCEEDING 6'-0" ON CENTER, PROVIDE

CENTERLINE CONTROL JOINTS IN SIDEWALK WIDER THAN

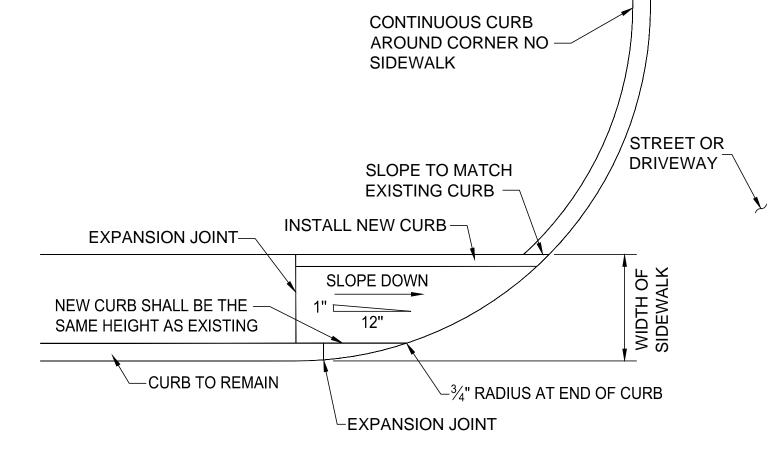
TRAFFIC CIRCULATION LAYOUT APPROVED Einest Armijo 8/17/2023



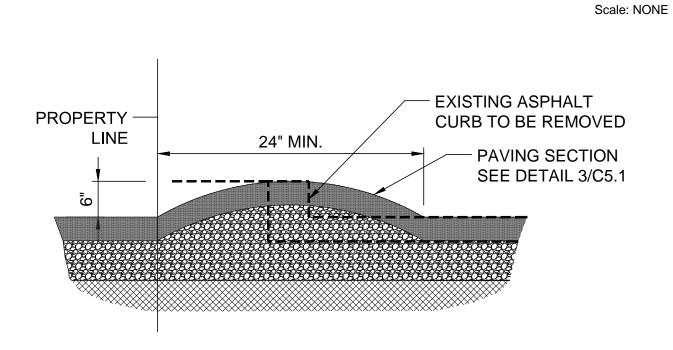
SIDEWALK TO ASPHALT TRANSITION







Scale: NONE



-#5 REBAR DOWELED 2'-0" MINIMUM

THRU CONCRETE PAVING

WATER BREAK AT PROPERTY LINE

