

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 17, 2023

J. Kory Baker
J. Kory Baker Architect
P.O Box 254
Estancia, NM 87016

Re: Wagoner Building
1800 Randolph Rd. SE
Traffic Circulation Layout
Engineer's Stamp 03-23-23 (M15-D008)

Dear Mr. Baker,

The TCL submittal received 04-26-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Wagoner Building **Building Permit #** **Hydrology File #**

DRB# **EPC#**

Legal Description: LOT D1A NEWPORT INDUSTRIAL PARK-WEST UNIT 1 **City Address OR Parcel** 1800 Randolph Rd. SE
GROWNEY II SUBDIVISION CONT 1.3499 AC

Applicant/Agent: ABQ Engineering Inc. **Contact:** Craig Hagelgantz

Address: 8102 Menaul Blvd. NE, Suite D **Phone:** 505-255-7802

Email: chagelgantz@abqeng.com

Applicant/Owner: LOE Investments LLC **Contact:** Matt Wagoner

Address: 23811 Washington Ave., Suite C-110132, Murrieta, CA 92562 **Phone:** 951-712-1394

Email: matt@eastleyinc.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: ☒

RE-SUBMITTAL: ☒ YES NO

DEPARTMENT: ☒ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

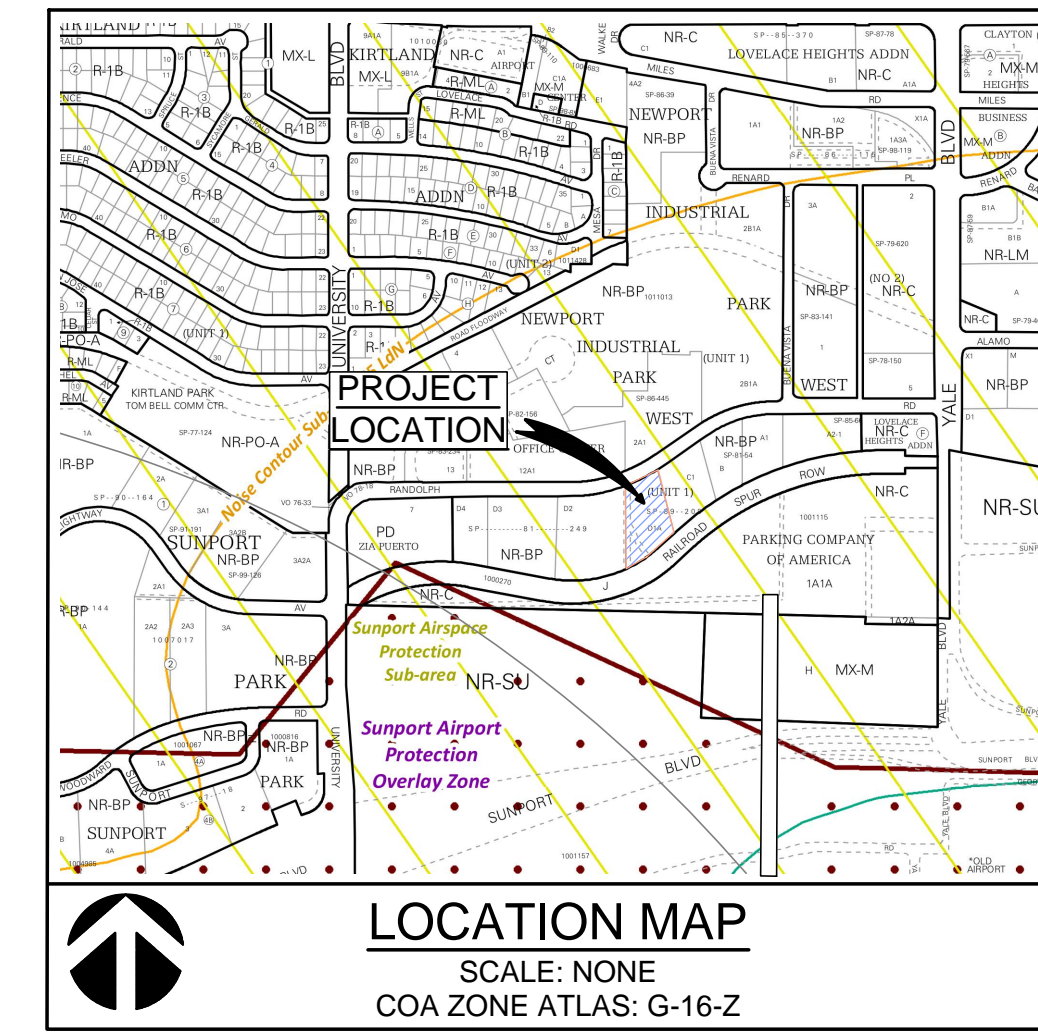
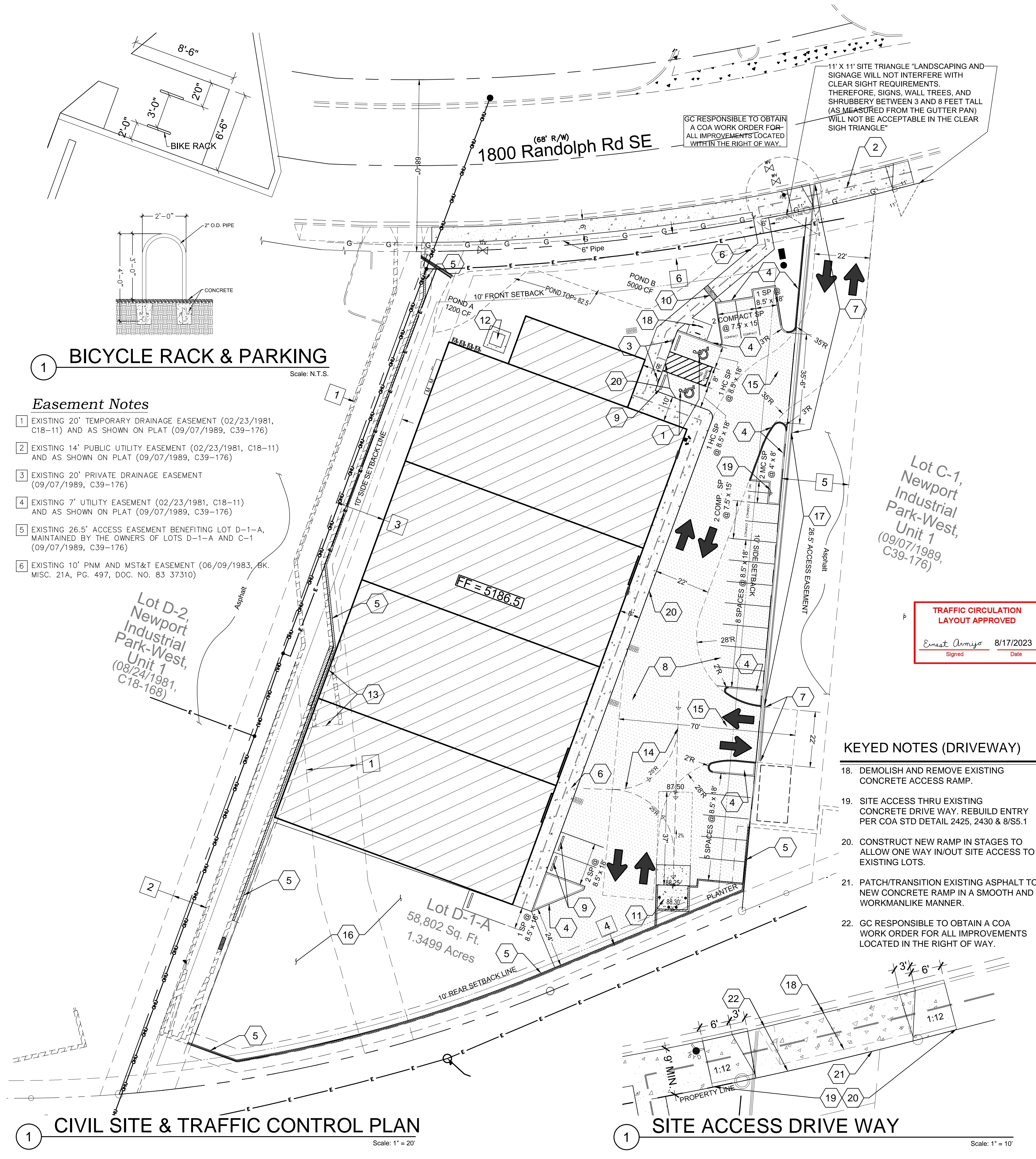
- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

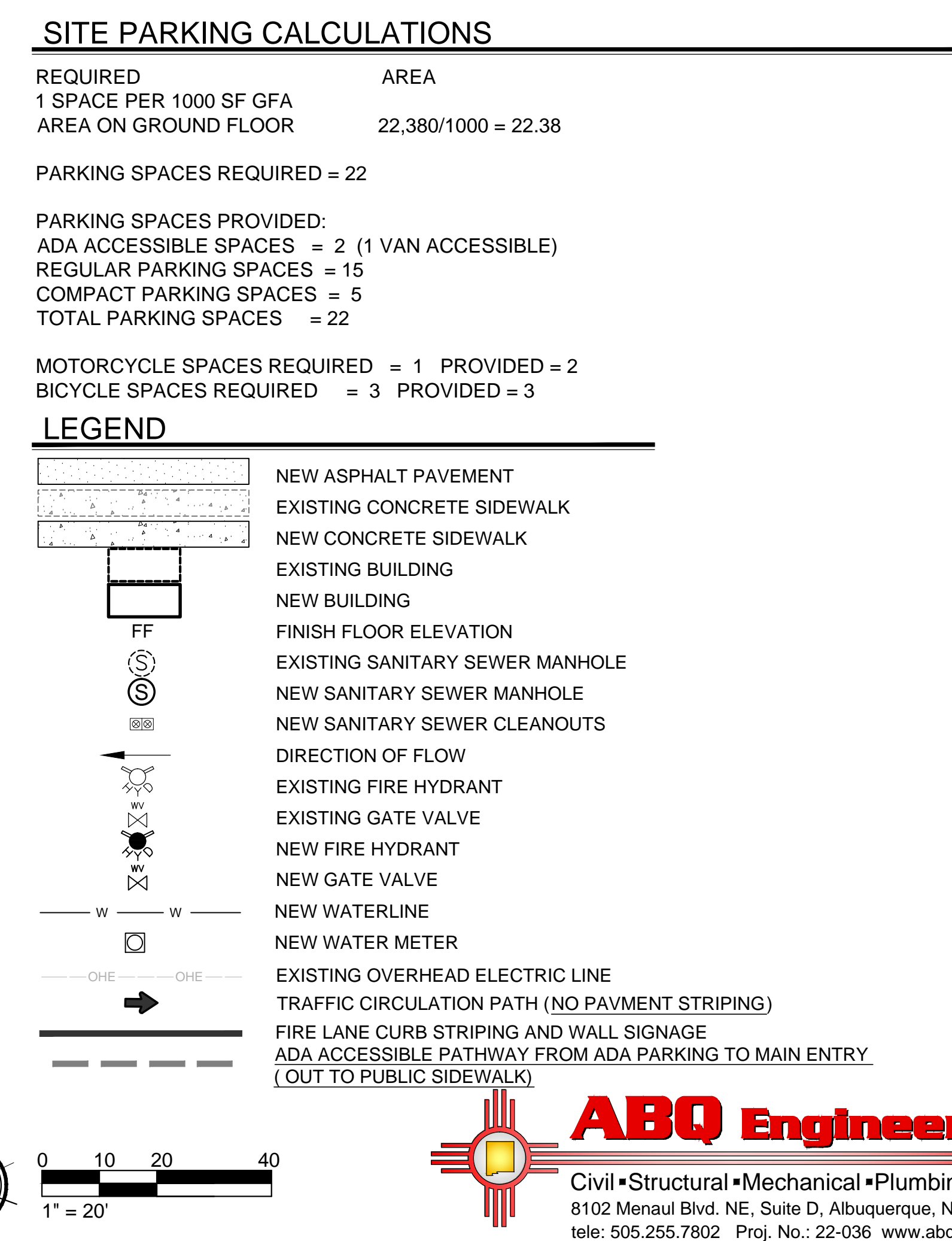
- ☒ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY)

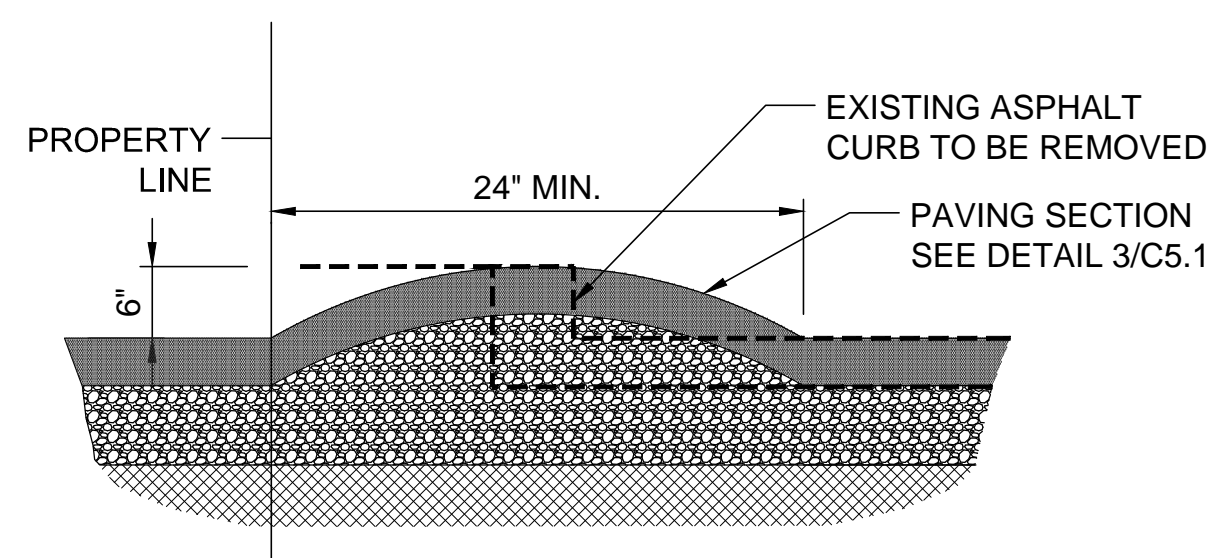
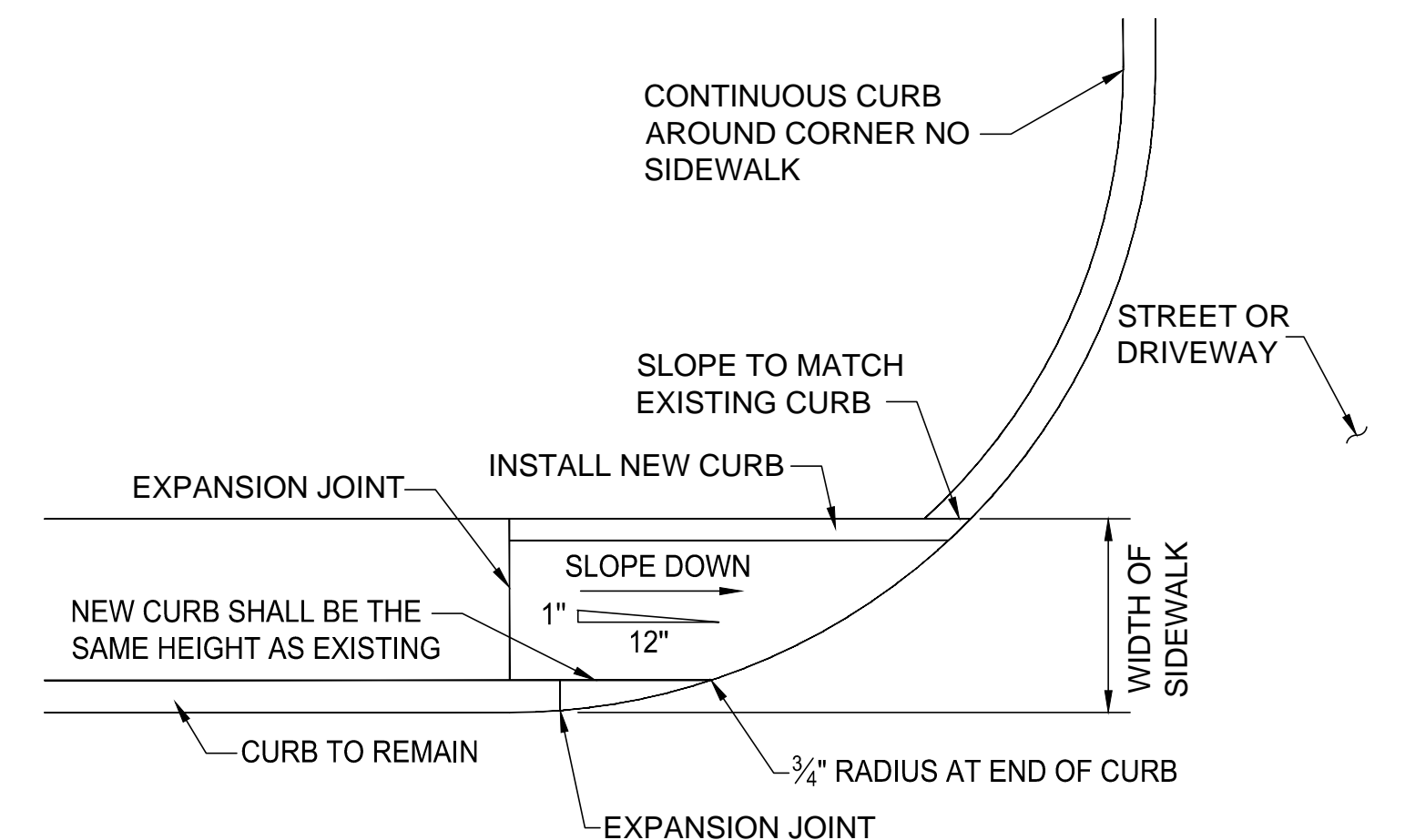
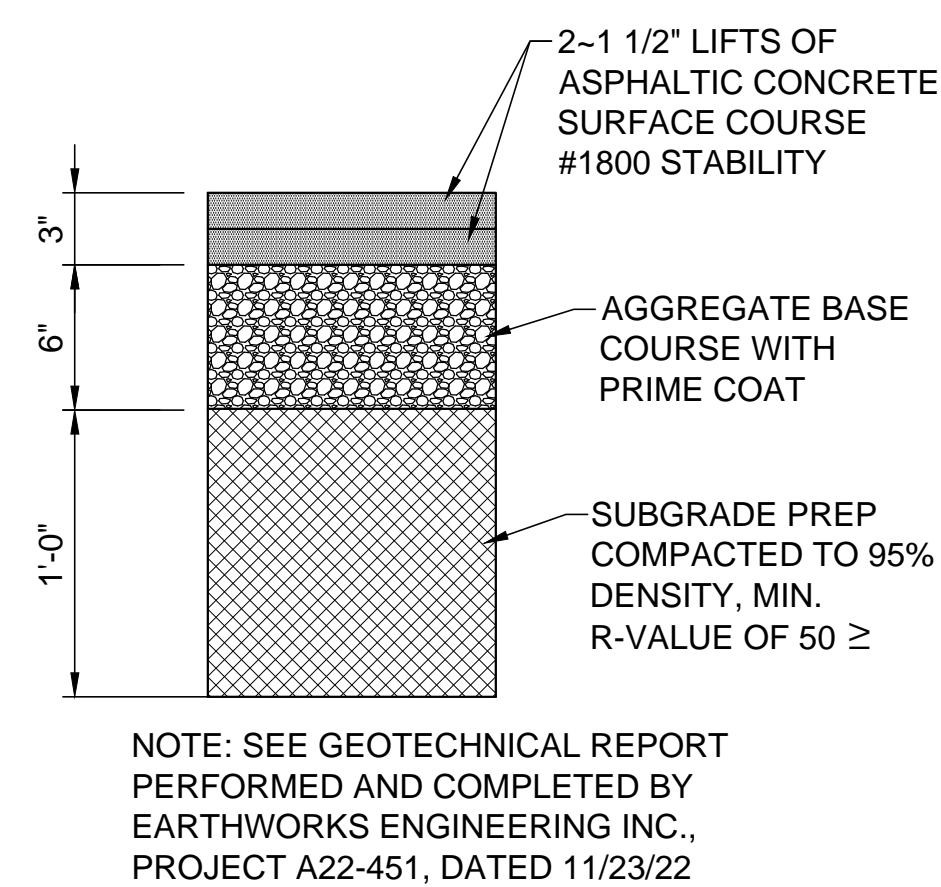
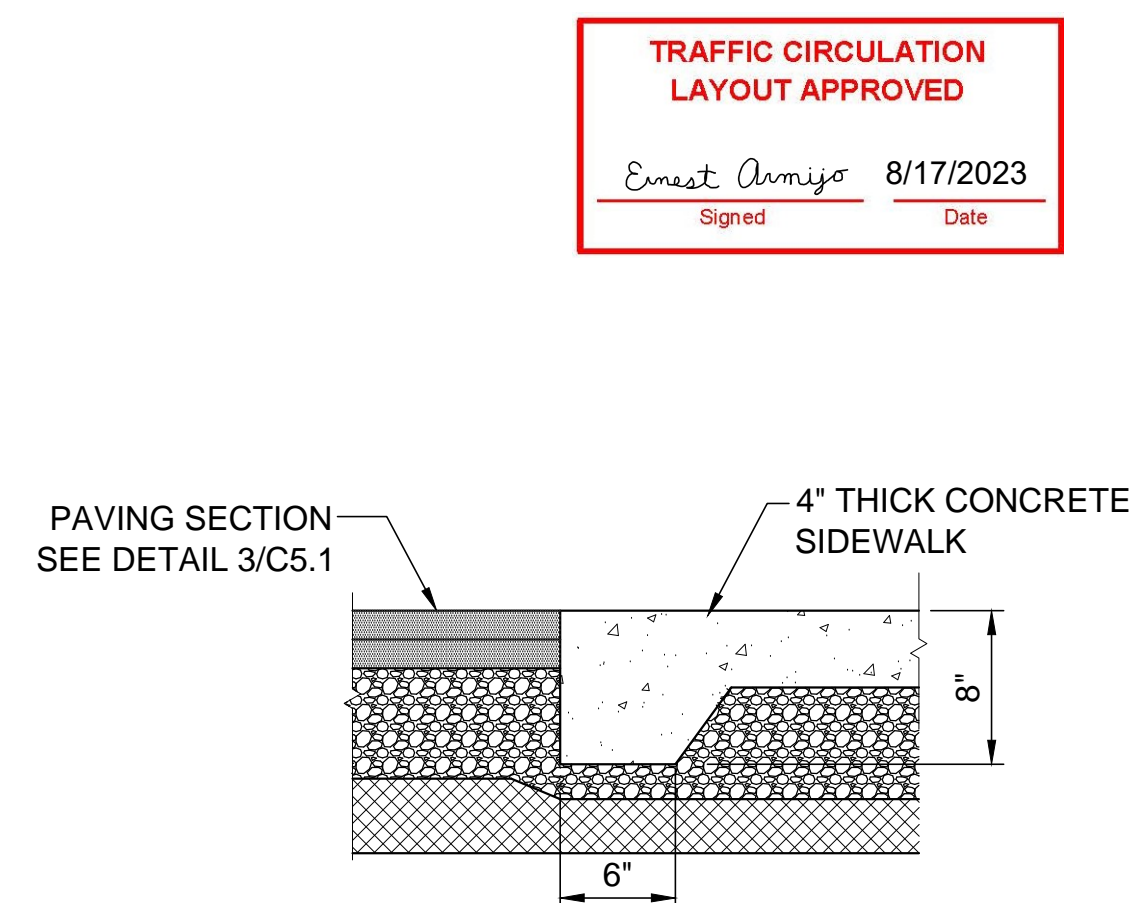
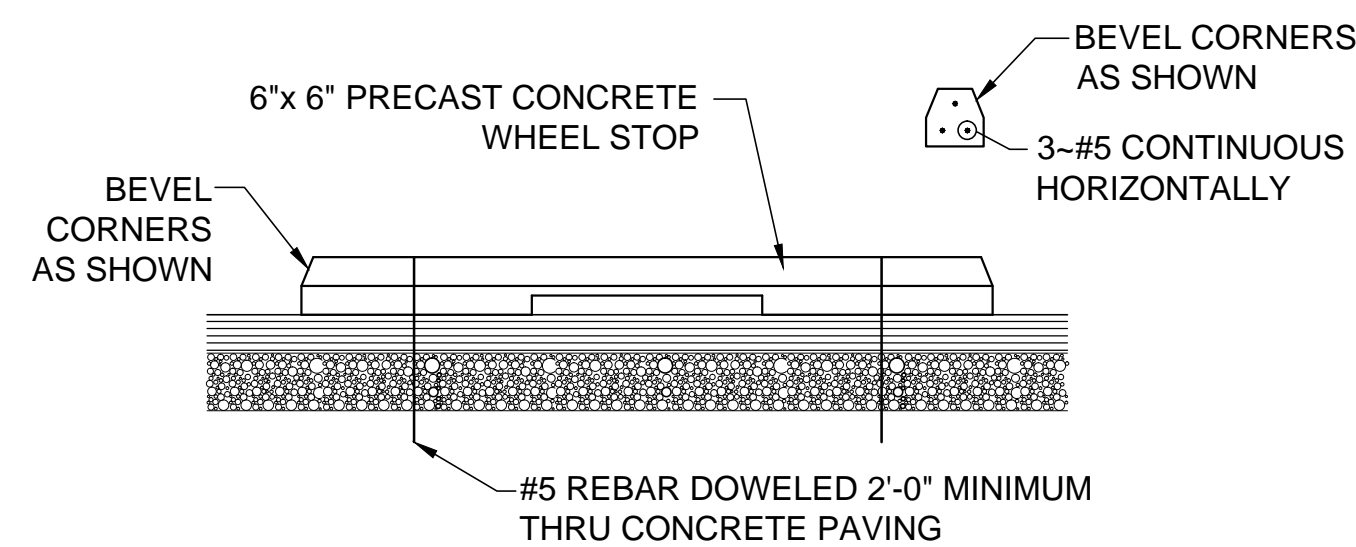
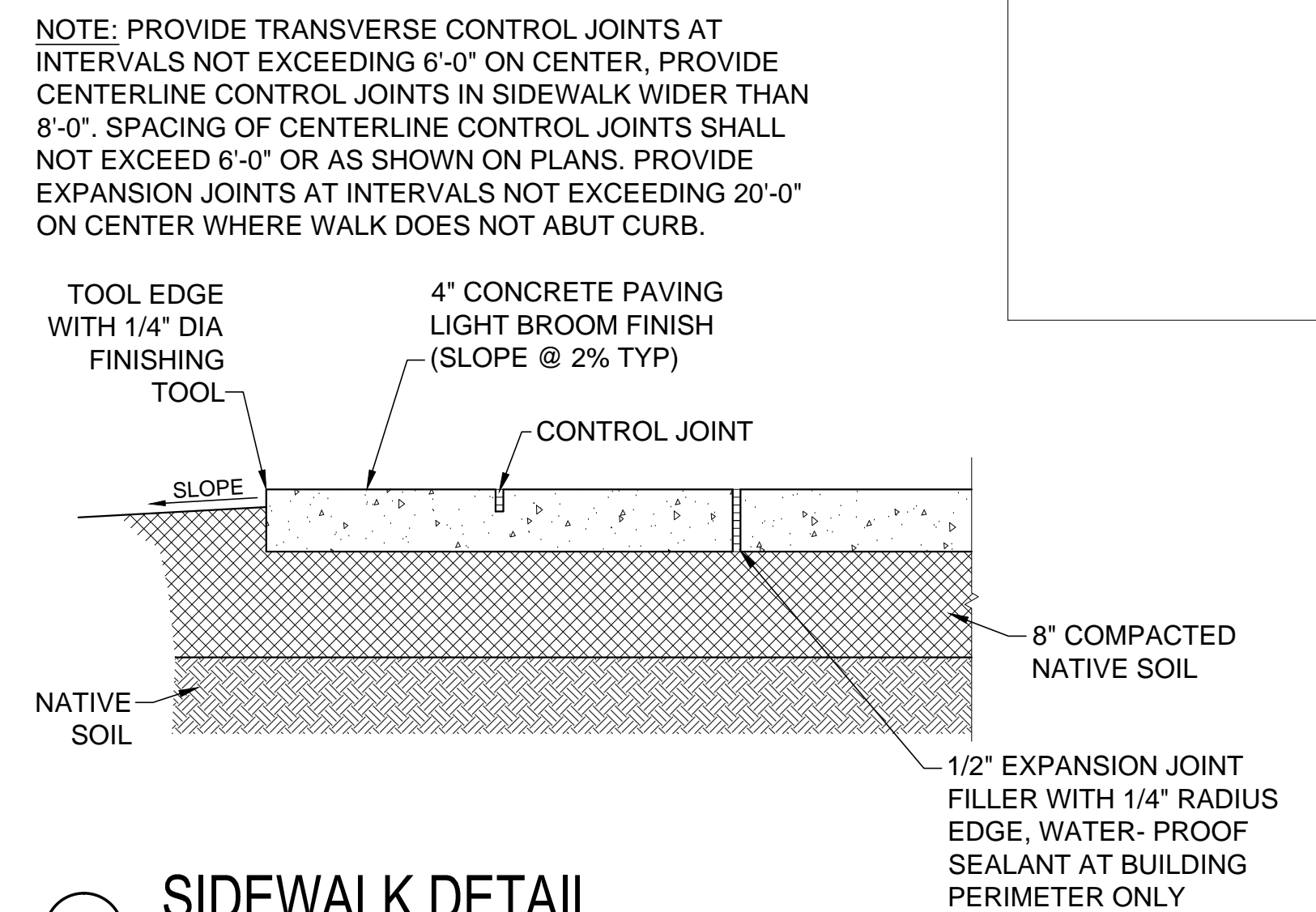
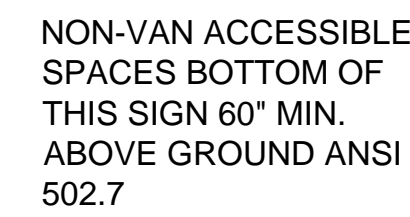
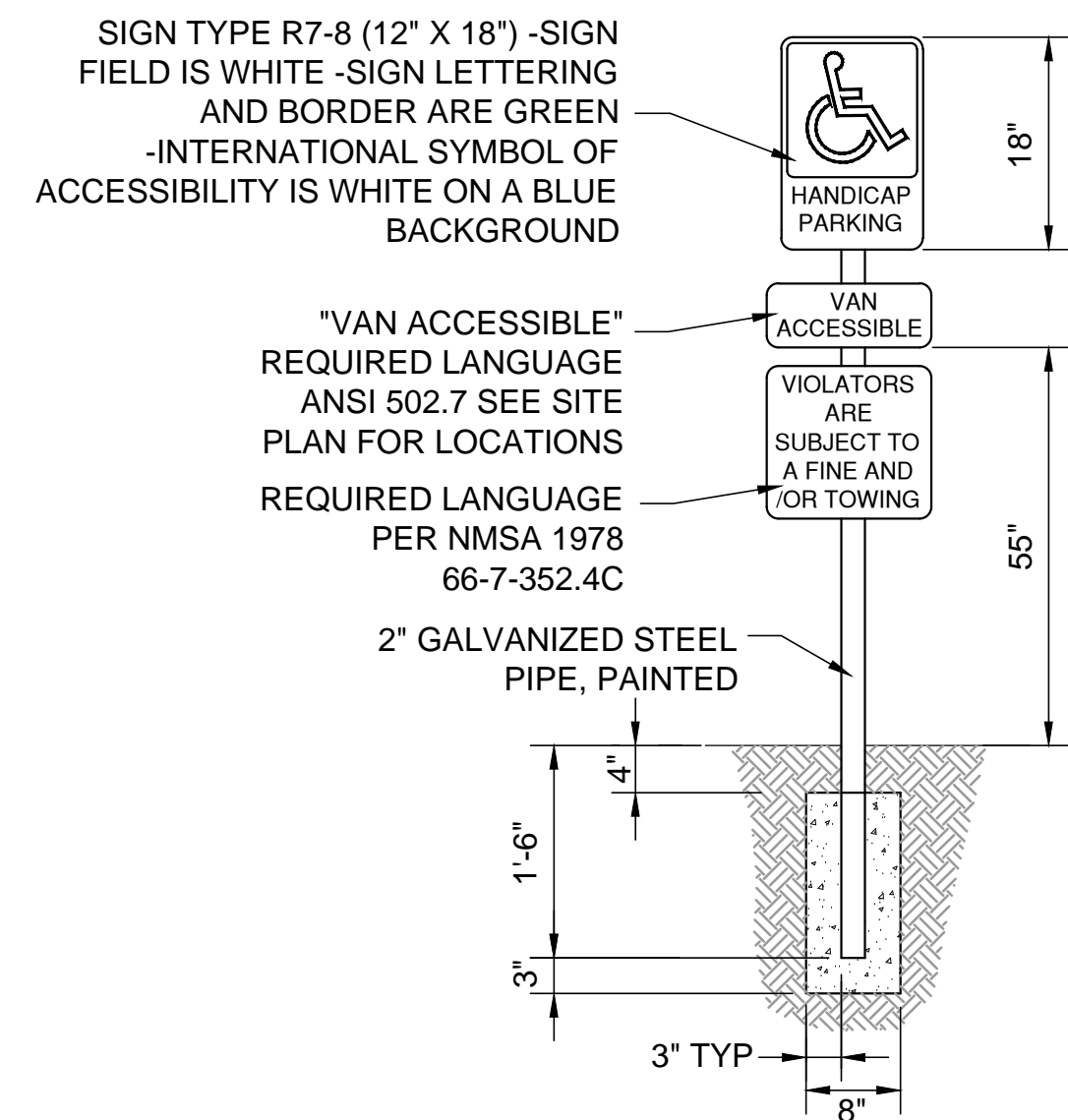
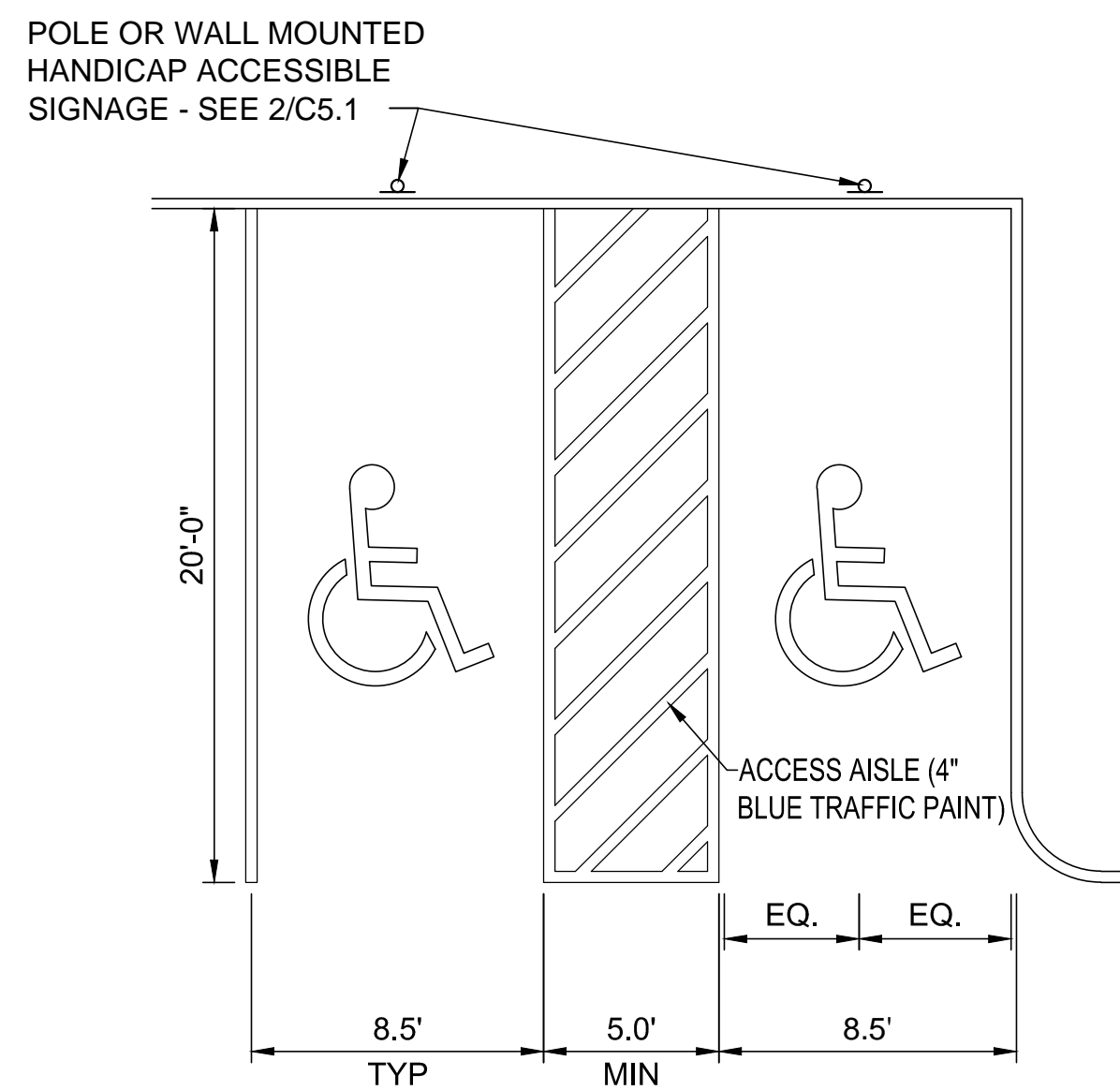
DATE SUBMITTED: 4/26/23

LAST MODIFIED: Apr 26, 2023 1:10:06pm BY USER: Cnright
DWG. LOCATION: K:\Projects\2022\22-036\Civil\DWG. NAME: 22-036_Civil.dwg

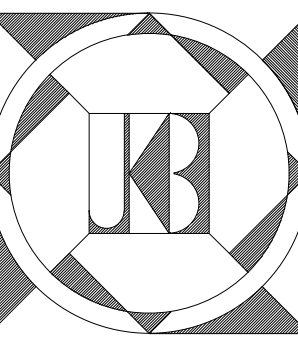


- KEYED NOTES**
- NEW ACCESSIBLE PARKING SPACE. SEE DETAIL 1/C5.1.
 - SITE ACCESS THRU EXISTING CONCRETE DRIVE WAY. REBUILD ENTRY PER COA STD DETAIL 2425
 - CONSTRUCT NEW ACCESSIBLE PARKING SIGN. SEE DETAIL 2/C5.1.
 - CONSTRUCT NEW HEADER CURB PER COA STD DWG 2415B.
 - CONSTRUCT NEW RETAINING WALL. SEE SHEET C1.1A.
 - CONSTRUCT NEW CONCRETE WALK. SEE DETAIL 4/C5.1.
 - REMOVE EXISTING ASPHALT CURB SEE SHEET C1.1 GRADING AND DRAINAGE & DETAIL 9/C5.1
 - INSTALL NEW ASPHALT PAVEMENT. SEE DETAIL 3/C5.1.
 - INSTALL CONCRETE WHEEL STOP. SEE DETAIL 5/C5.1.
 - CONSTRUCT SIDEWALK CULVERT FOR DRAINAGE PER COA DETAIL 2430.
 - CONSTRUCT STANDARD DUMPSTER ENCLOSURE PER COA SOLID WASTE MANAGEMENT DEPARTMENT DETAIL.
 - CONSTRUCT NEW 5'x5' CONCRETE TRANSFORMER PAD.
 - DEMOLISH AND REMOVE PORTION OF EXISTING DRAINAGE STRUCTURE BELOW FOOTPRINT OF NEW BUILDING.
 - PATH OF REFUSE VEHICLE, NO OTHER DELIVERY VEHICLES REQUIRED.
 - PAVED ACCESS LANE INTO SITE HAS SLOPE LESS THAN OR EQUAL TO 10%.
 - 6" AGGREGATE BASE COURSE SEE DETAIL 3/C5.1. (NO ASPHALT)
 - EXISTING ASPHALT CURB TO REMAIN.
 - SITE BICYCLE PARKING. SEE ENLARGED PLAN THIS SHEET.
 - MOTORCYCLE PARKING SPACES AND SIGN SEE DETAIL 3/C5.1
 - FLUSH SIDEWALK AND ASPHALT SEE DETAIL 6/C5.1





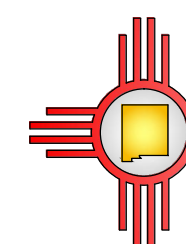
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WAGONER BUILDING

ALBUQUERQUE • NEW MEXICO

CIVIL SITE DETAILS



AWN BY: JCH
TE: 03-23-23

C5.1