

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 14, 2023

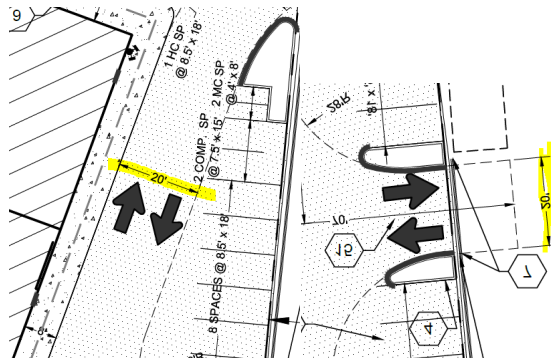
Craig Hagelgantz, PE
ABQ Engineering
8102 Menaul Blvd. NE
Albuquerque, NM 87110

Re: Wagoner Building
1800 Randolph Rd. SE
Traffic Circulation Layout
Engineer's 03-23-23 (M15-D008)

Dear Mr. Hagelgantz,

Based upon the information provided in your submittal received 03-27-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Identify the right of way width, medians, curb cuts, and street widths on Randolph Rd. SE.
3. Please define the property line.
4. Please provide approved plat showing the access easement.
5. Please provide shared access agreement with the adjacent property.
6. Please provide details for the proposed sidewalk, and reference COA std dwg 2430.
7. On street parking is generally prohibited on Arterial street. Please note that Randolph is classified as Minor Arterial.
8. Minimum two-way Drive Aisle Width and two ways access's width should be minimum 22 ft.



9. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
10. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.

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11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
12. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
16. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
17. All sidewalks along streets should be placed at the property line.
18. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
20. Provide a copy of Fire Marshal approval.
21. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
22. Please specify the City Standard Drawing Number when applicable.
23. Work within the public right of way requires a work order with DRC approved plans.
24. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
25. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).
26. Please provide a letter of response for all comments given.

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

\ma via: email
C: CO Clerk, File

NM 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Wagoner Building **Building Permit #** **Hydrology File #**

DRB# **EPC#**

Legal Description: LOT D1A NEWPORT INDUSTRIAL PARK-WEST UNIT 1 **City Address OR Parcel** 1800 Randolph Rd. SE
GROWNEY II SUBDIVISION CONT 1.3499 AC

Applicant/Agent: ABQ Engineering Inc. **Contact:** Craig Hagelgantz

Address: 8102 Menaul Blvd. NE, Suite D **Phone:** 505-255-7802

Email: chagelgantz@abqeng.com

Applicant/Owner: LOE Investments LLC **Contact:** Matt Wagoner

Address: 23811 Washington Ave., Suite C-110132, Murrieta, CA 92562 **Phone:** 951-712-1394

Email: matt@eastleyinc.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: ☒

RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY)

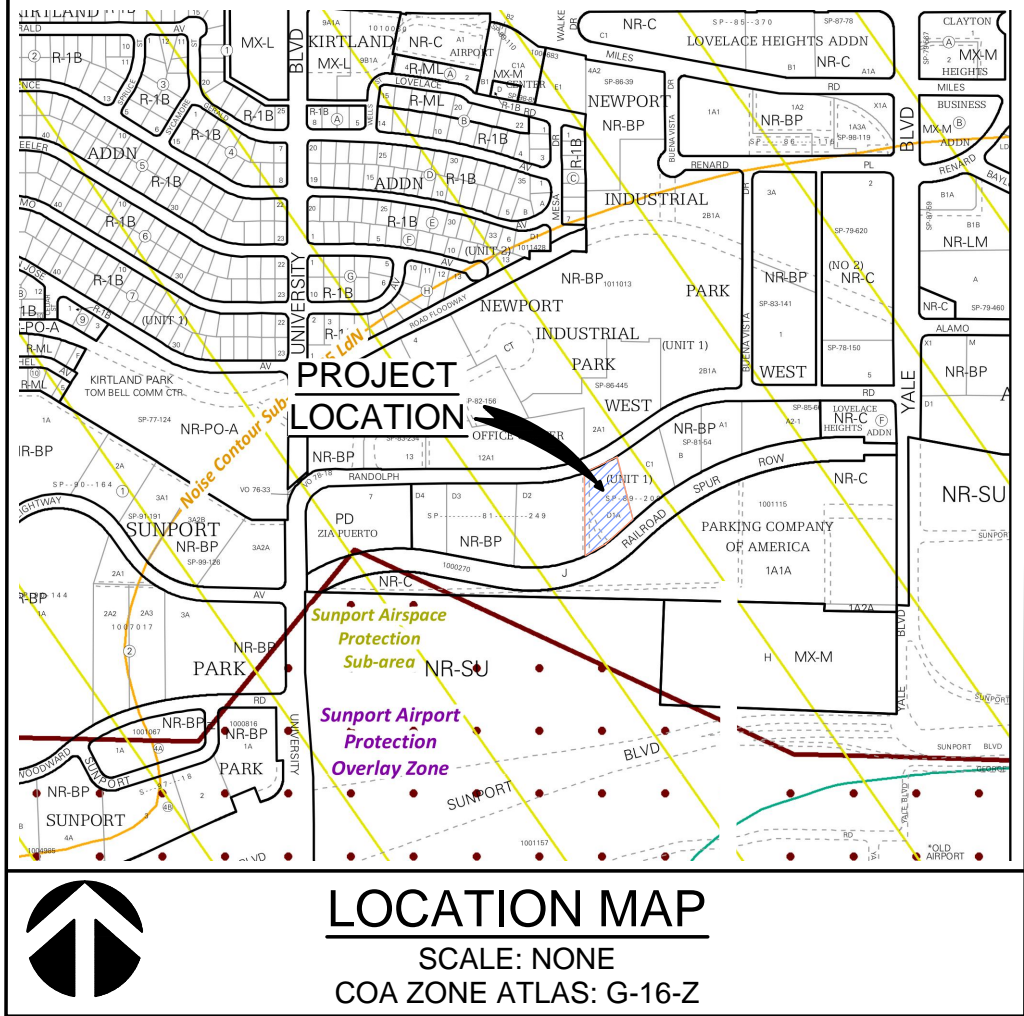
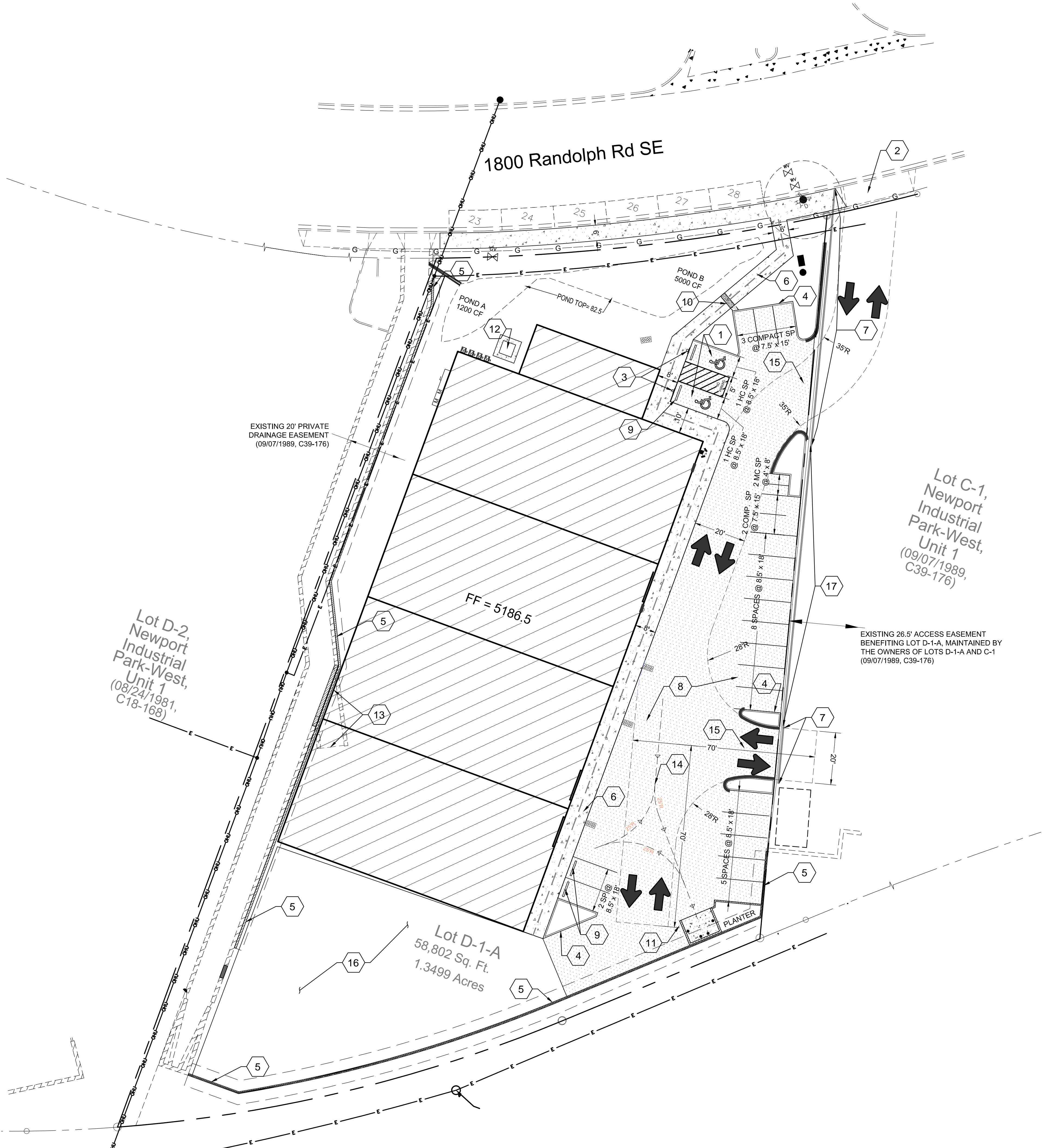
DATE SUBMITTED: 3/24/23

LAST MODIFIED: Mar 24, 2023 - 10:59am BY USER: Craig
DWG. LOCATION: K:\Projects\2022\22-036\Civil
DWG. NAME: 22-036 Civil.dwg

1

CIVIL SITE & TRAFFIC CONTROL PLAN

Scale: 1" = 20'



KEYED NOTES

- NEW ACCESSIBLE PARKING SPACE. SEE DETAIL 1/C5.1.
- SITE ACCESS THRU EXISTING CONCRETE DRIVE WAY.
- CONSTRUCT NEW ACCESSIBLE PARKING SIGN. SEE DETAIL 2/C5.1.
- CONSTRUCT NEW HEADER CURB PER COA STD DWG 2415B.
- CONSTRUCT NEW RETAINING WALL. SEE SHEET C1.1A.
- CONSTRUCT NEW CONCRETE WALK. SEE DETAIL 4/C5.1.
- REMOVE EXISTING ASPHALT CURB SEE SHEET C1.1 GRADING AND DRAINAGE & DETAIL 9/C5.1
- INSTALL NEW ASPHALT PAVEMENT. SEE DETAIL 3/C5.1.
- INSTALL CONCRETE WHEEL STOP. SEE DETAIL 5/C5.1.
- CONSTRUCT SIDEWALK CULVERT FOR DRAINAGE PER COA DETAIL 2236.
- CONSTRUCT STANDARD DUMPSTER ENCLOSURE PER COA SOLID WASTE MANAGEMENT DEPARTMENT DETAIL.
- CONSTRUCT NEW 5'x5' CONCRETE TRANSFORMER PAD.
- DEMOLISH AND REMOVE PORTION OF EXISTING DRAINAGE STRUTURE BELOW FOOTPRINT OF NEW BUILDING.
- PATH OF REFUSE VEHICLE, NO OTHER DELIVERY VEHICLES REQUIRED.
- PAVED ACCESS LANE INTO SITE HAS SLOPE LESS THAN OR EQUAL TO 10%.
- 6" AGGREGATE BASE COURSE SEE DETAIL 3/C5.1. (NO ASPHALT)
- EXISTING ASPHALT CURB TO REMAIN.

SITE PARKING CALCULATIONS

PARKING SPACES REQUIRED = 22

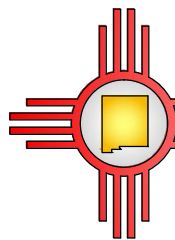
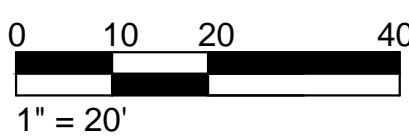
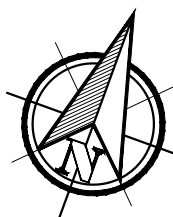
PARKING SPACES PROVIDED:

ADA ACCESSIBLE SPACES = 2 (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES = 17
COMPACT PARKING SPACES = 3
ON-STREET PARKING SPACES = 6
TOTAL PARKING SPACES = 28

MOTORCYCLE SPACES REQUIRED = 1 PROVIDED = 2
BICYCLE SPACES REQUIRED = 3 PROVIDED = 3

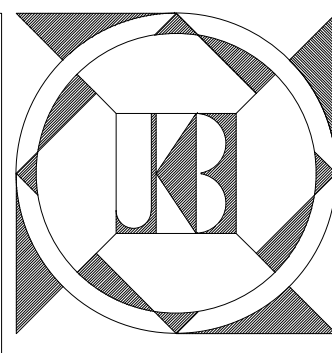
LEGEND

	NEW ASPHALT PAVEMENT
	EXISTING CONCRETE SIDEWALK
	NEW CONCRETE SIDEWALK
	EXISTING BUILDING
	NEW BUILDING
	FINISH FLOOR ELEVATION
	EXISTING SANITARY SEWER MANHOLE
	NEW SANITARY SEWER MANHOLE
	NEW SANITARY SEWER CLEANOUTS
	DIRECTION OF FLOW
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	NEW FIRE HYDRANT
	NEW GATE VALVE
	NEW WATERLINE
	NEW WATER METER
	EXISTING OVERHEAD ELECTRIC LINE
	TRAFFIC CIRCULATION PATH (NO PAVMENT STRIPING)
	FIRE LANE CURB STRIPING AND WALL SIGNAGE
	ADA ACCESSIBLE PATHWAY TO MAIN ENTRY



ABQ Engineering

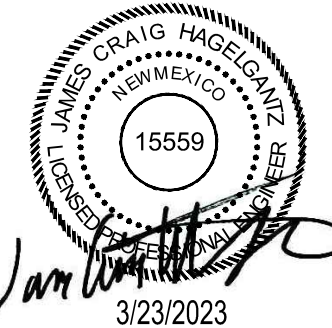
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8102 Menaul Blvd. NE, Suite D, Albuquerque, NM 87110
tele: 505.255.7802 Proj. No.: 22-036 www.abqeng.com



J. KORY BAKER ARCHITECT

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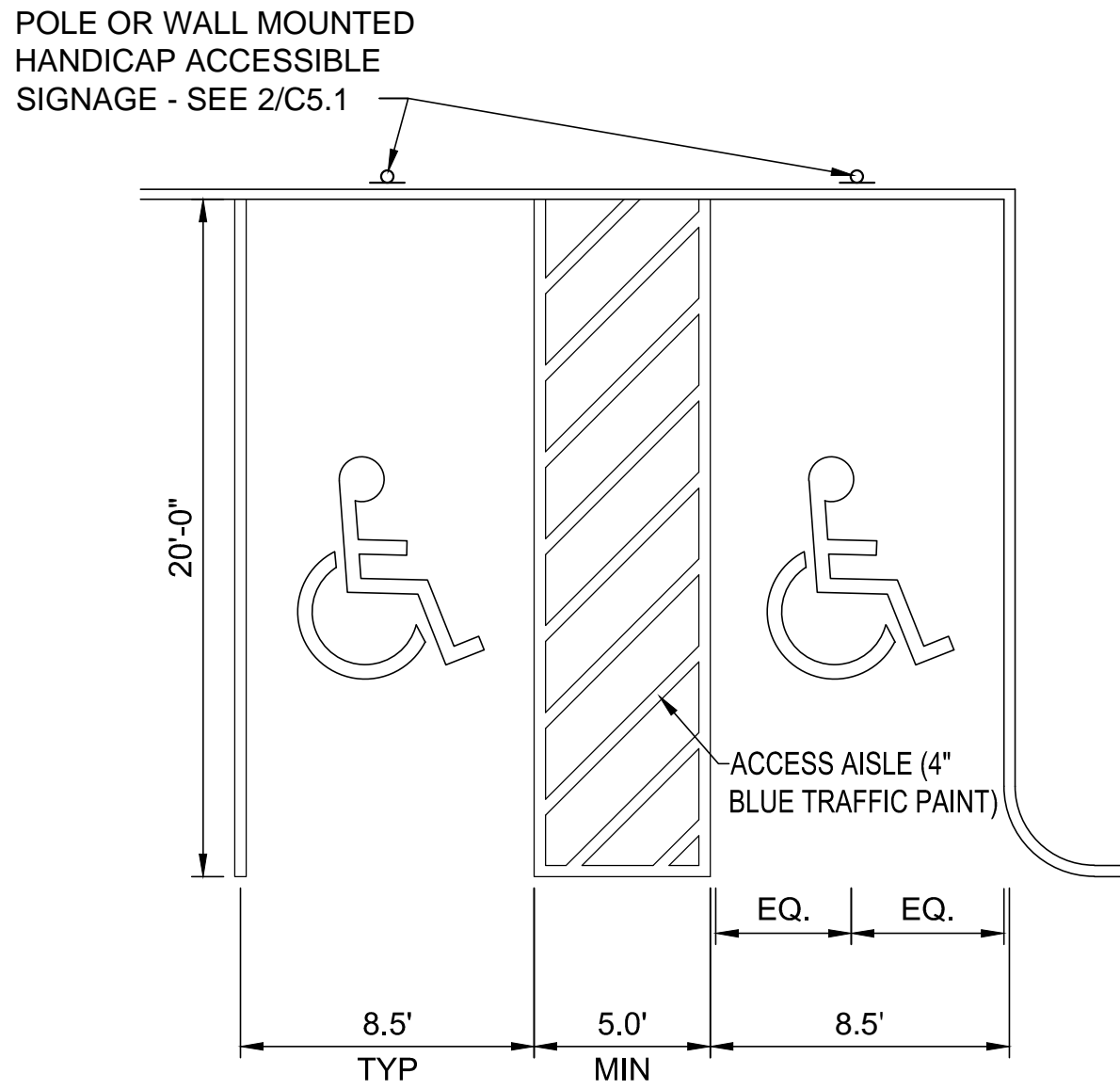
WAGONER BUILDING

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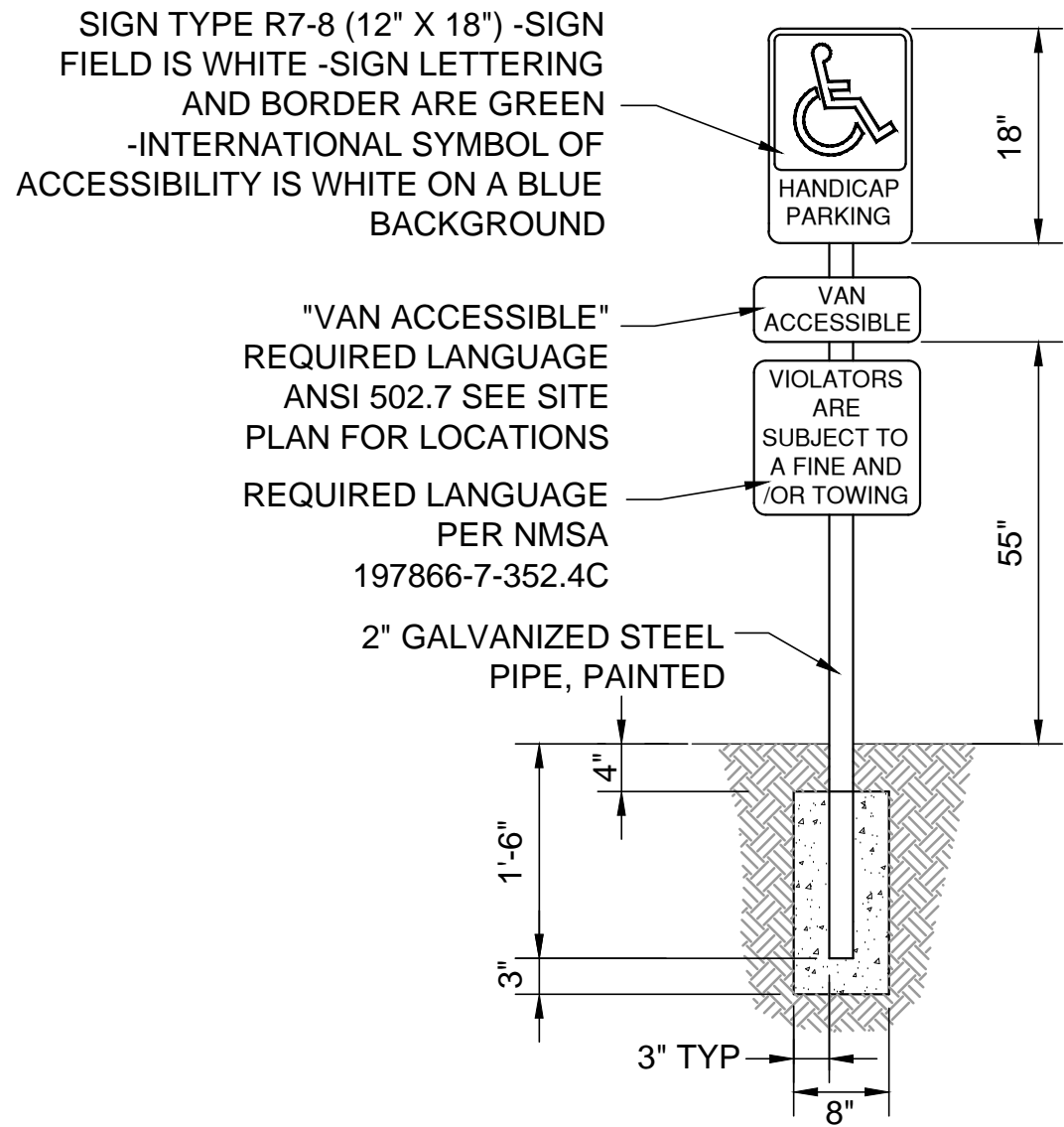
CIVIL SITE & TRAFFIC CONTROL PLAN

DRAWN BY: JCH
DATE: 03-23-23

C1.2



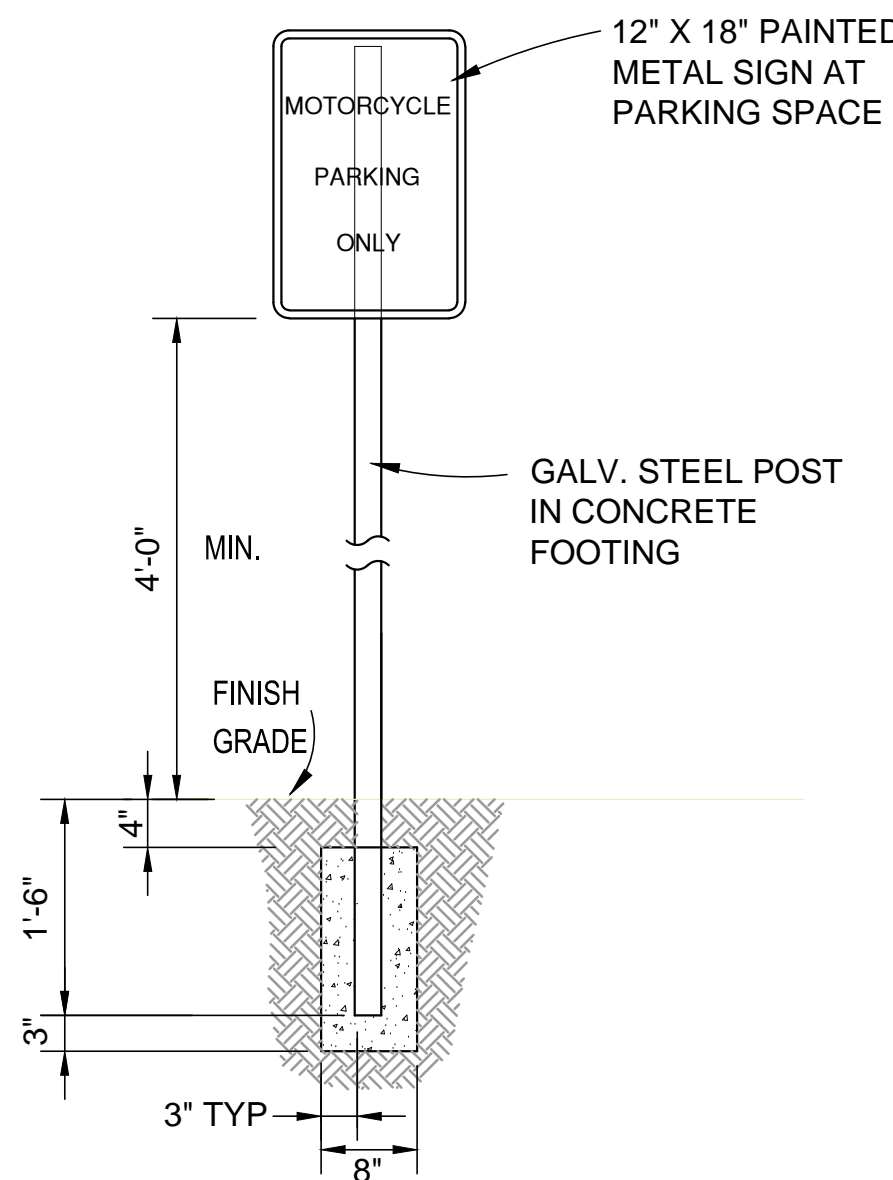
1 HANDICAP ACCESSIBLE PARKING LAYOUT
Scale: NONE



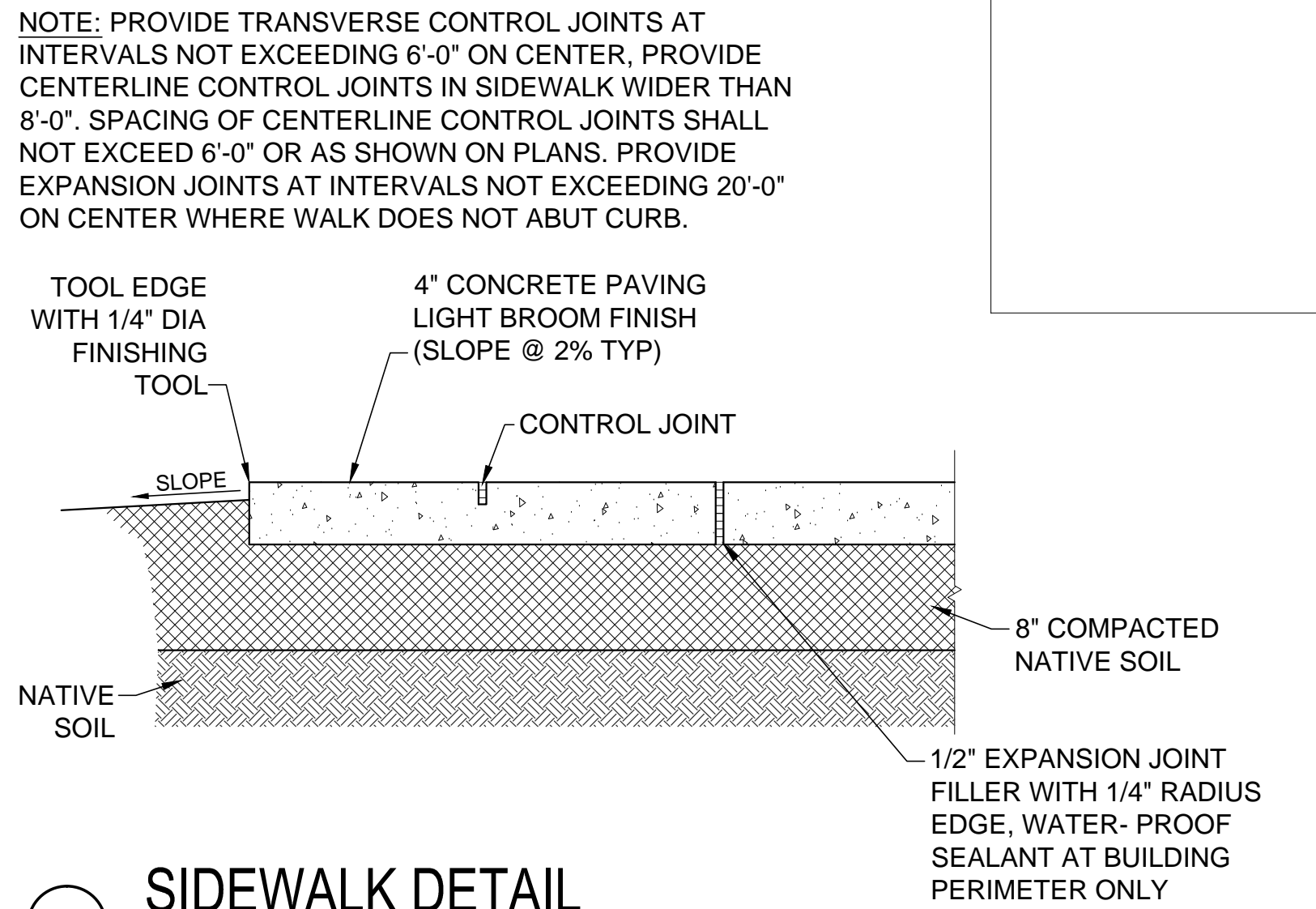
NON-VAN ACCESSIBLE
SPACES BOTTOM OF
THIS SIGN 60" MIN.
ABOVE GROUND ANSI
502.7

VAN ACCESSIBLE
SPACES BOTTOM OF
THIS SIGN 60" MIN.
ABOVE GROUND
ANSI 502.7

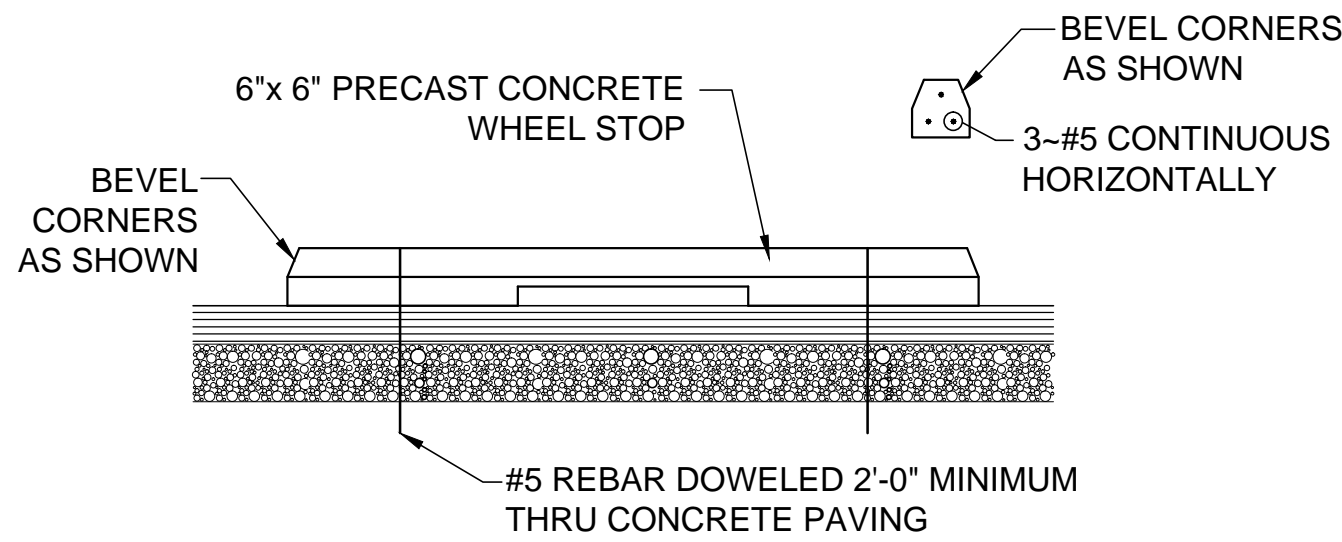
2 HANDICAP ACCESSIBLE PARKING SIGN
Scale: NONE



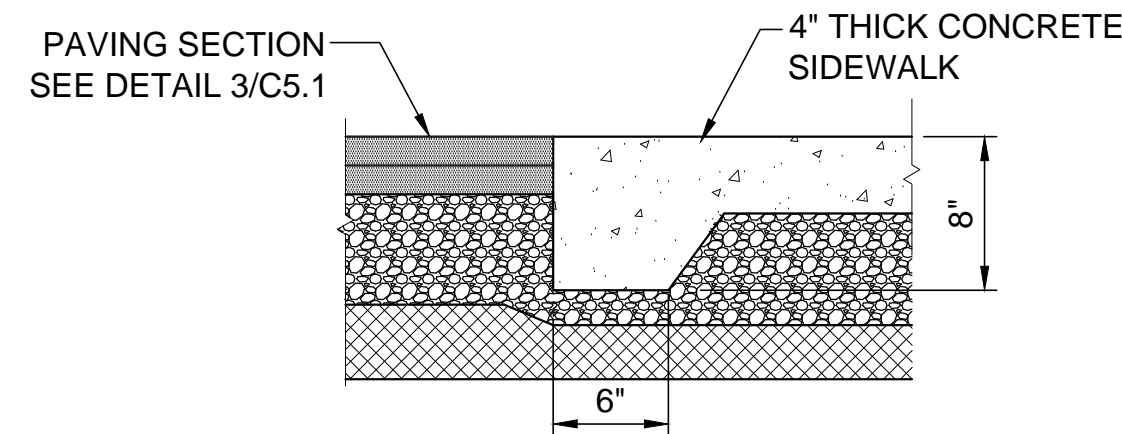
3 MOTORCYCLE PARKING STALL SIGN
Scale: NONE



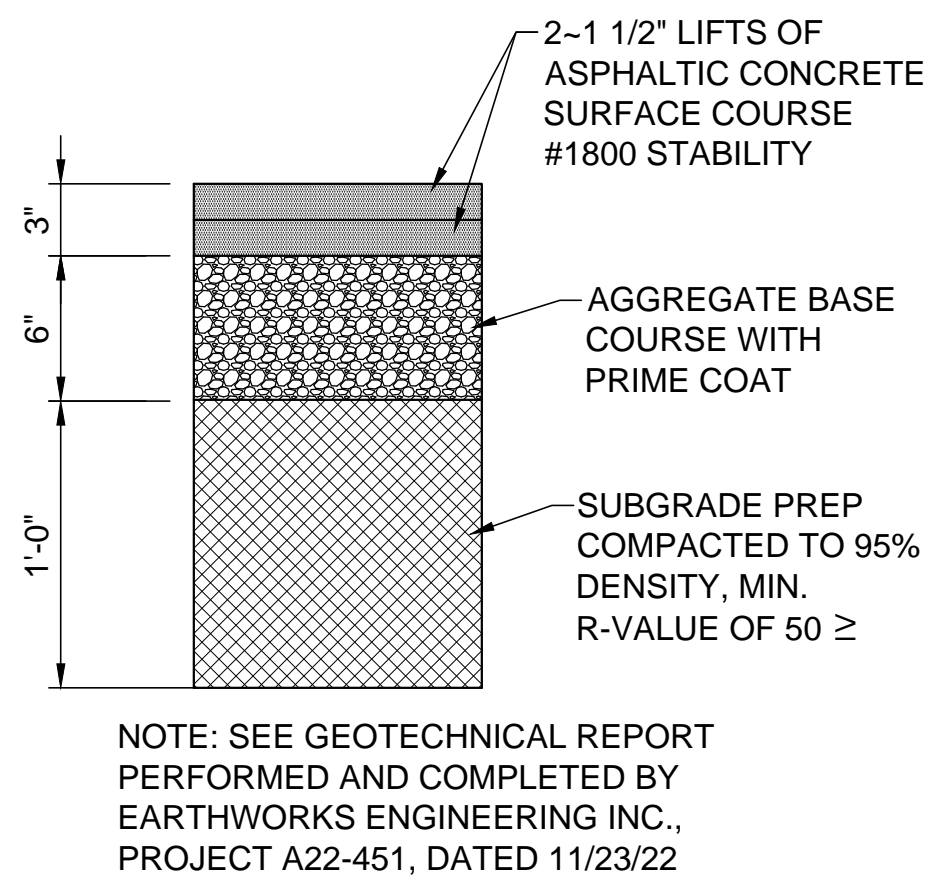
4 SIDEWALK DETAIL
Scale: NONE



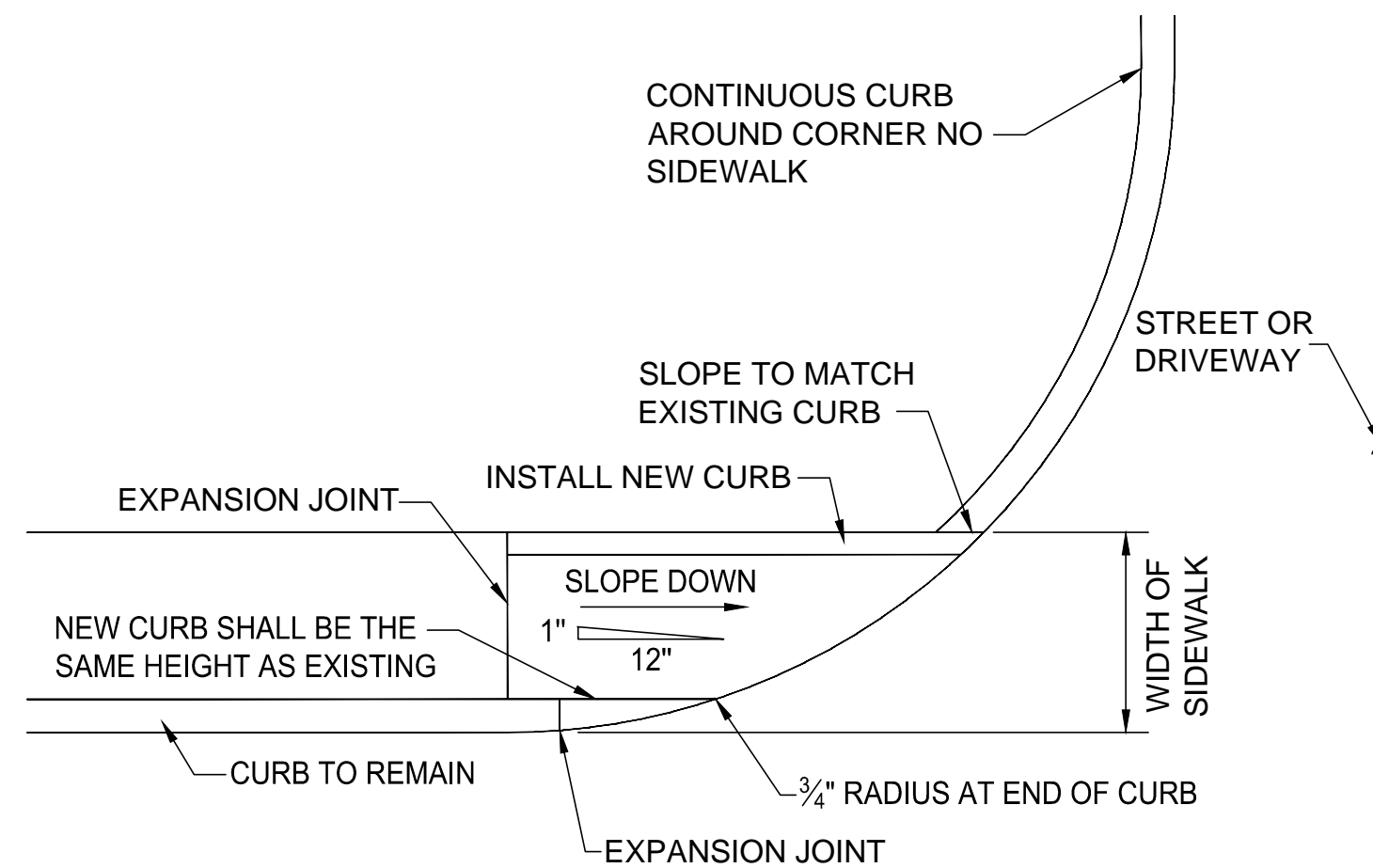
5 WHEEL STOP DETAIL
Scale: NONE



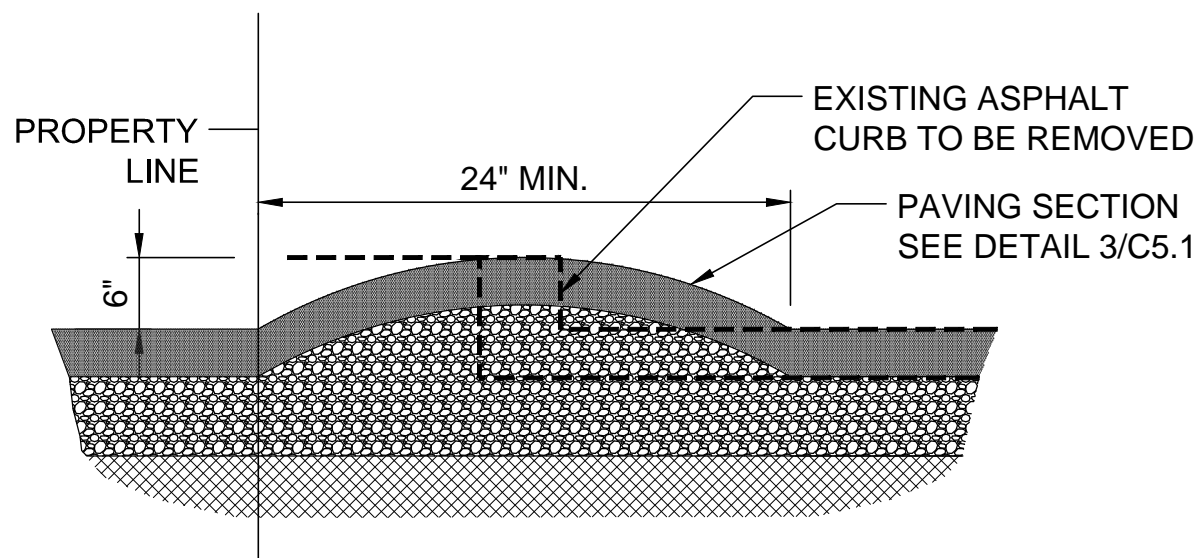
6 SIDEWALK TO ASPHALT TRANSITION
Scale: NONE



7 PAVING SECTION
Scale: NONE

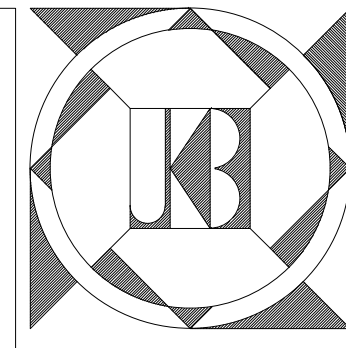


8 HANDICAP ACCESSIBLE SIDEWALK RAMP
Scale: NONE



9 WATER BREAK AT PROPERTY LINE
Scale: NONE

LAST MODIFIED: Mar 24, 2023 - 10:59am BY USER: Craig
DWG. LOCATION: K:\Projects\2022\22-036\Civil\
DWG. NAME: 22-036 Civil.dwg



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WAGONER BUILDING

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CIVIL SITE DETAILS