

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

March 27, 2017

Jeffery Wooten, P.E.
Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, NM, 87124

RE: **Blakes Lotaburger**
1640 Gibson Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date 3/27/17 (File: M15D012A)

Dear Mr. Wooten:

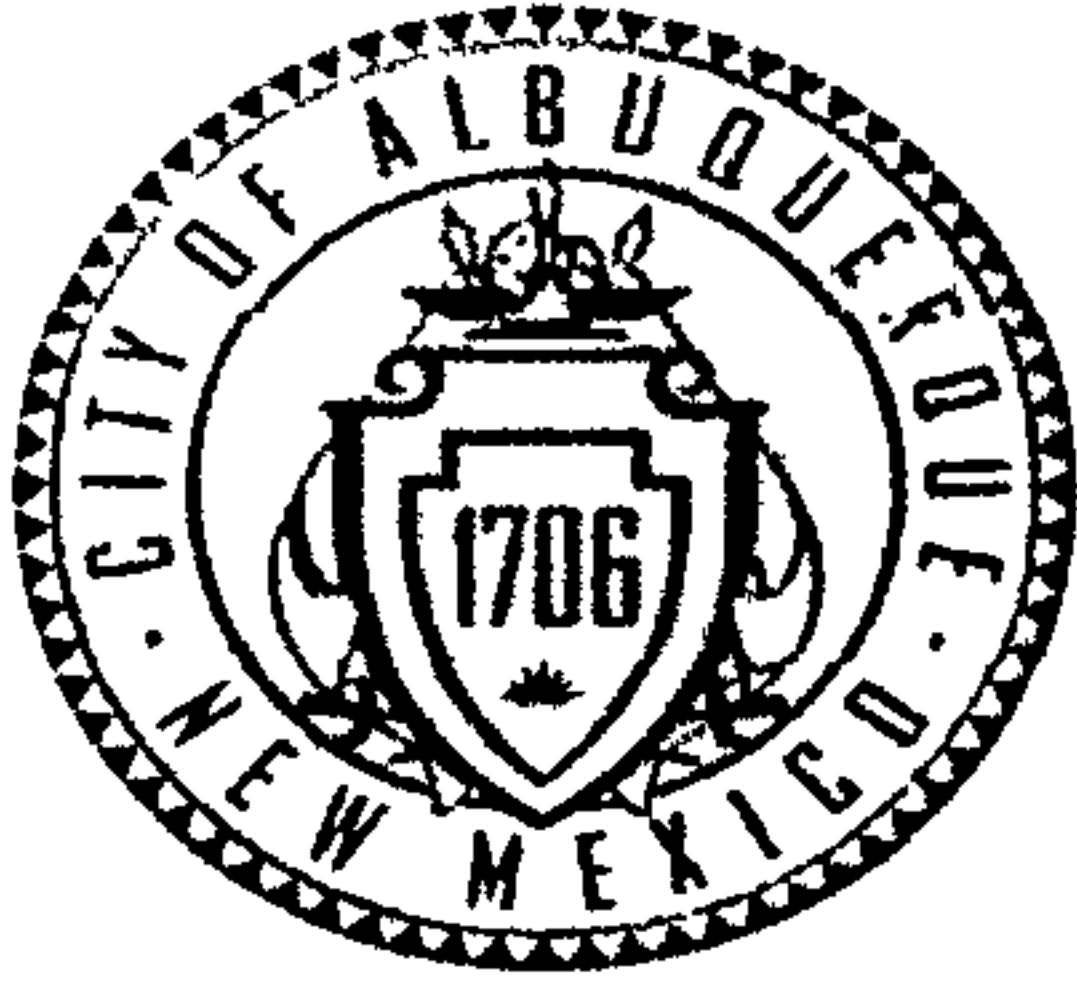
Based upon the information provided in your submittal received 3/27/17, the Grading and Drainage Plan is approved for Grading and Building Permit with the following recommendation:

1. Provide additional curb cuts at low spots for the ponds to capture additional runoff.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

FAST RAX

Project Title: Blakes Lotaburger Building Permit #: _____ City Drainage #: M150012A
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 9-B-1A, Kirtland Addition Block A; Tract A, Airport Center
City Address: 1640 Gibson Blvd SE

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Modulus Architects Contact: Craig Calvert
Address: 100 Sun Ave NE, Suite 305, Albuquerque, NM, 87109
Phone#: 505-338-1499 Fax#: N/A E-mail: ccalvert@modulusarchitects.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

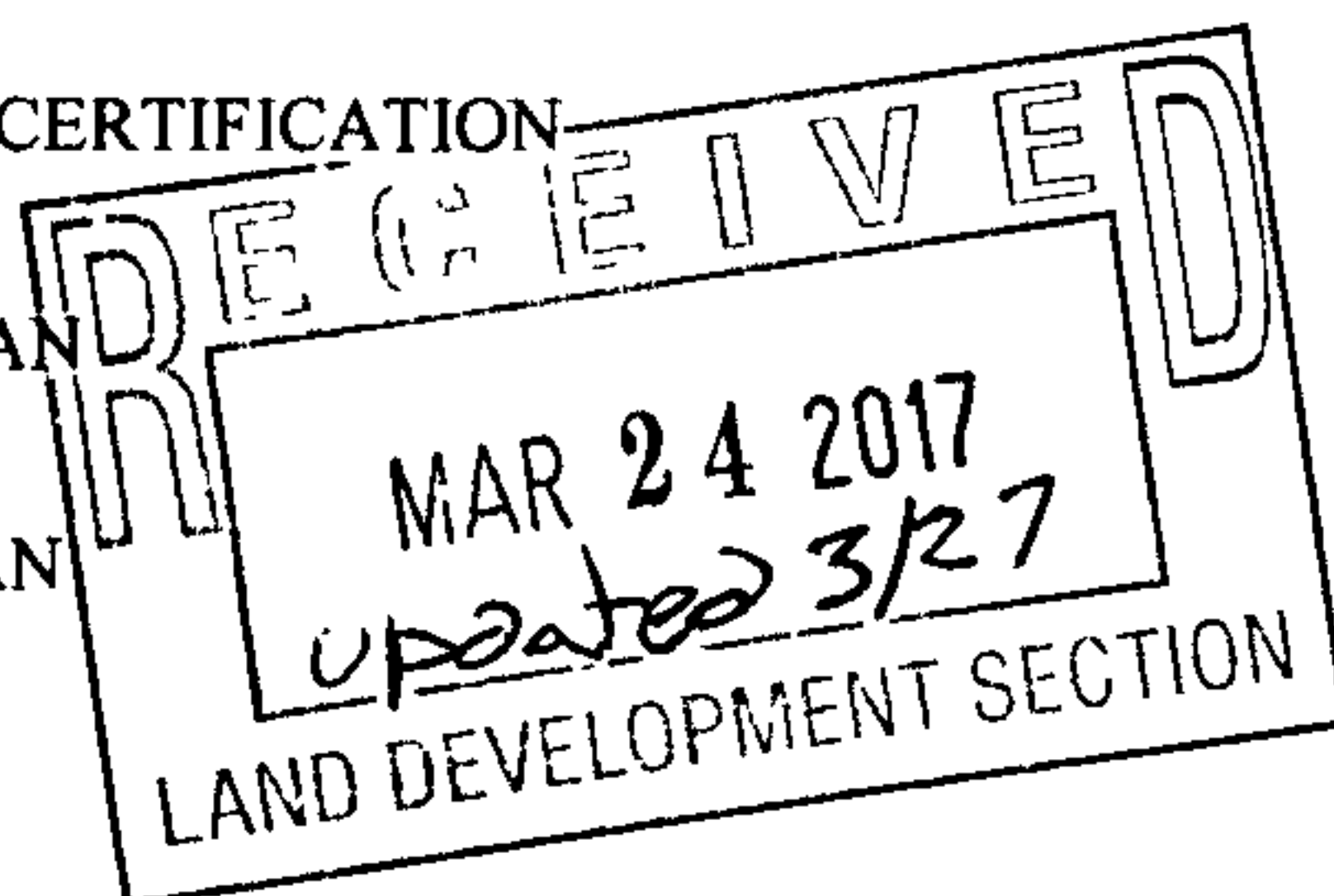
DATE SUBMITTED: 3/24/2017 By: Jeffrey T. Wooten, P.E.

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

March 23, 2017

Jeffery Wooten, P.E.
Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, NM, 87124

RE: **Blakes Lotaburger**
1640 Gibson Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date 3/10/17 (File: M15D012A)

Dear Mr. Wooten:

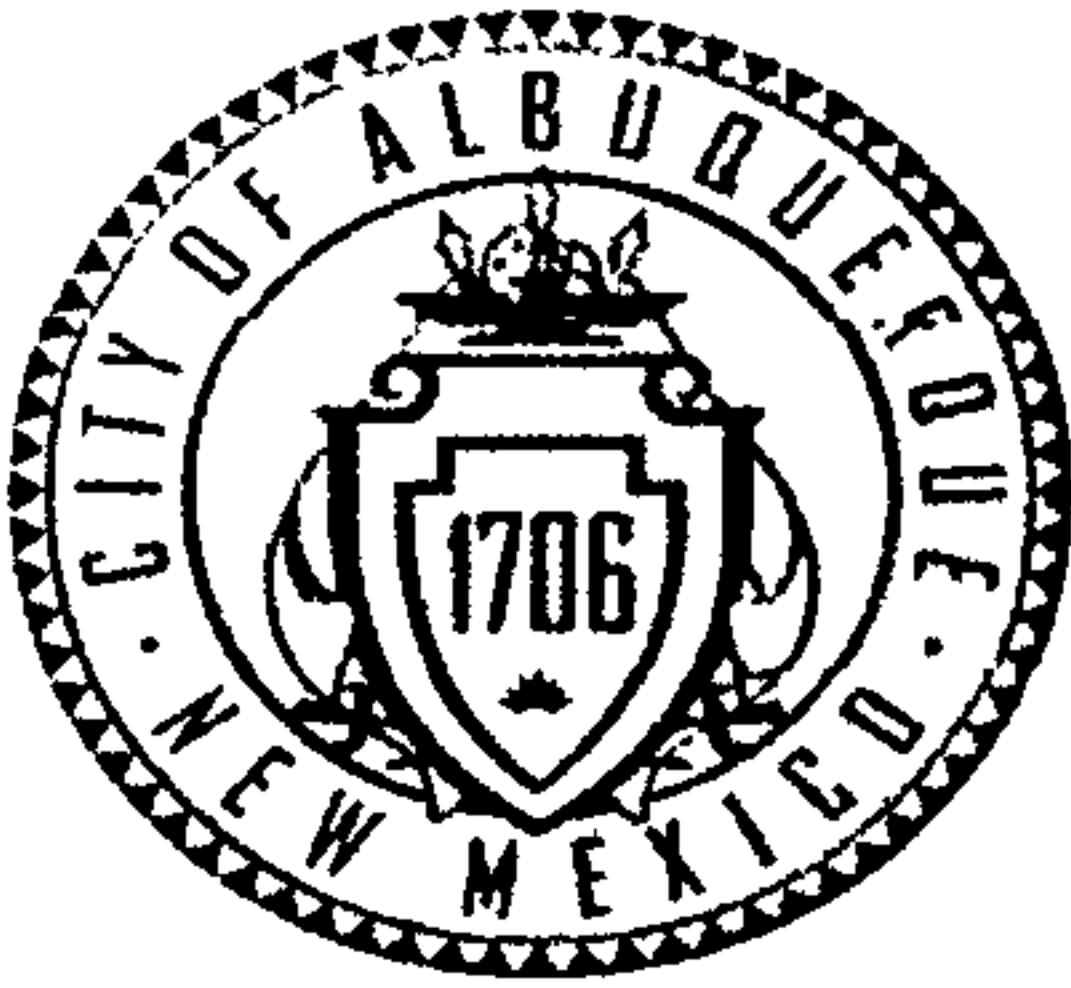
Based upon the information provided in your submittal received 3/14/17, the Grading and Drainage Plan cannot be approved for Grading or Building Permit until the following is addressed:

1. This work requires an Erosion and Sediment Control Plan to be submitted to the storm water quality engineer (Curtis Cherne, PE, ccherne@cabq.gov).

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Blakes Lotaburger Building Permit #: _____ City Drainage #: M150012
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 9-B-1A, Kirtland Addition Block A; Tract A, Airport Center
City Address: 1640 Gibson Blvd SE

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.
Address: 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Modulus Architects Contact: Craig Calvert
Address: 100 Sun Ave NE, Suite 305, Albuquerque, NM, 87109
Phone#: 505-338-1499 Fax#: N/A E-mail: ccalvert@modulusarchitects.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
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☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 3/14/2017 By: Jeffrey T. Wooten, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED. _____

CITY OF ALBUQUERQUE



July 25, 2008

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

Re: University Plaza, 1600 Gibson Blvd. SE, Traffic Circulation Layout
Engineer's Stamp dated 7-22-08 (M-15/D012A)

Dear Mr. Garcia,

The TCL submittal received 7-22-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.** Please note that the proposed replat must be finalized and recorded prior to Certificate of Occupancy approval.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: University Plaza

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE # M-15/DOIZA

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9, Block A Kirtland Addition Unit 2

CITY ADDRESS: 1600 Gibson Boulevard SE, Albuquerque, NM 87106

ENGINEERING FIRM: ABQ Engineering

ADDRESS: 6739 Academy Rd N.E. Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255.7802

ZIP CODE: 87109

OWNER: DT Land and Development, LLC

ADDRESS: 4509 B. Alameda Blvd NE

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: 821-5600

ZIP CODE: 87113

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: July 21, 2008

BY: Martin J. Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED

JUL 22 2008

**HYDROLOGY
SECTION**

*Beena
Plotted
with assessment to
per McGavin
2/27/08*

CITY OF ALBUQUERQUE



June 16, 2006

Gregory J. Krenik, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM 87199

Re: New Self Storage on Gibson, 1600 Gibson Blvd SE
Conceptual Grading and Drainage Plan
Engineer's Stamp dated 5-02-06 (M15-D12A)

Dear Mr. Krenik,

Based upon the information provided in your submittal received 5-25-06, the above referenced plan is approved for Site development plan for building permit action by DRB. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology also submit a mylar copy of the grading plan for my signature in order to obtain a Grading Permit.

Before a building permit can be issued for this site, drainage calculations will be needed quantifying the amount of discharge leaving the site, address off site flows and provide channel calculations.

If you have any questions, you can contact me at 924-3977.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

M-15/D12A

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: New Self Storage on Gibson
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: L-15
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9, Block A, Kirtland Addition, Unit 2
CITY ADDRESS: 1600 Gibson Blvd SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: Gregory J. Krenik
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Dos Piedras, LLC.
ADDRESS: 11 Koonte Road
CITY, STATE: Corrales, NM

CONTACT: Randy Stone
PHONE: 379-5645
ZIP CODE: 87048

ARCHITECT: Rick Bennett Architects
ADDRESS: 1104 Park Avenue SW
CITY, STATE: Albuquerque, NM

CONTACT: Darby Miera
PHONE: 242-6630
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: _____
ZIP CODE: 87107

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

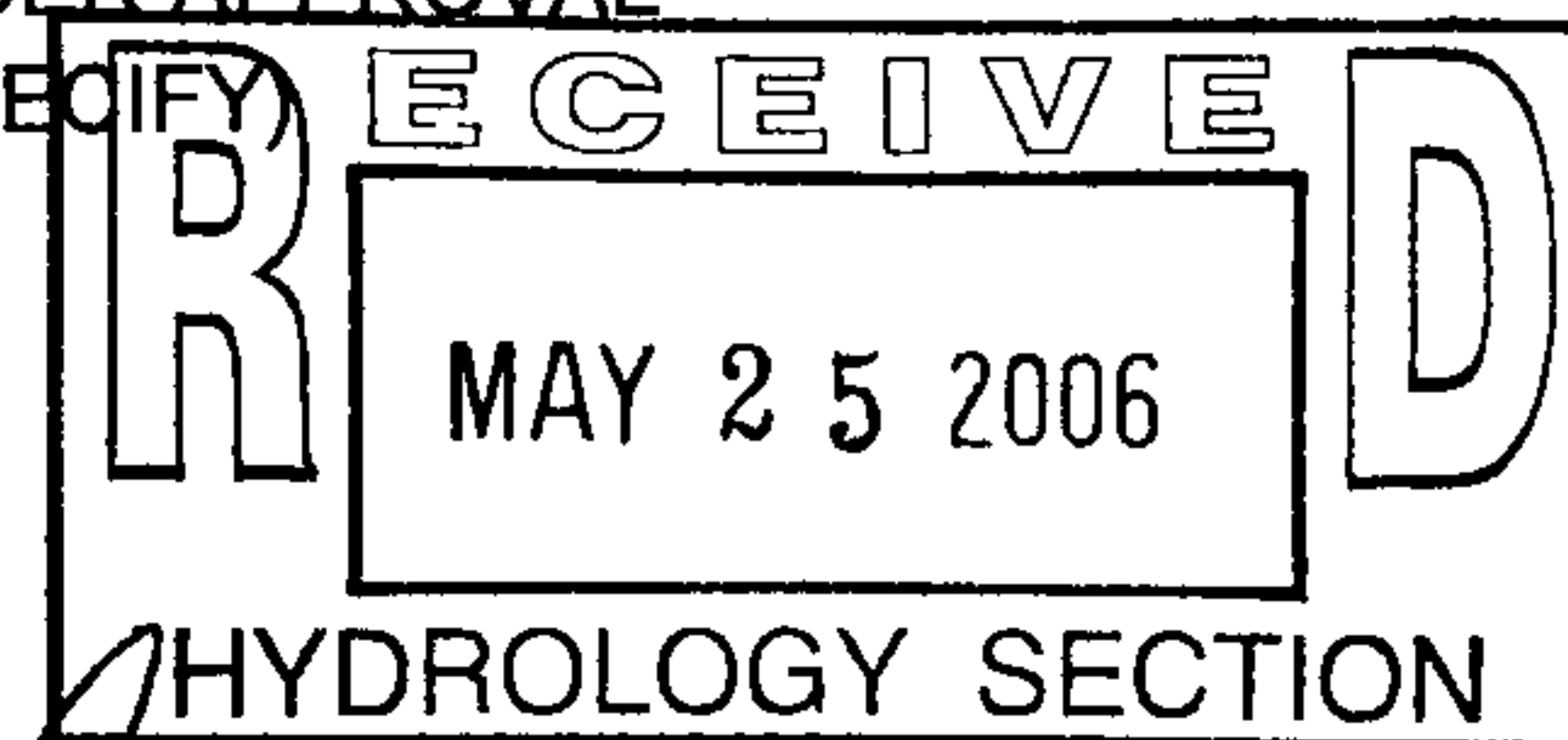
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 5/25/06

BY: GREGORY J. KRENIK

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

October 12, 1999

Paul Brasher, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Arbys @ Gibson Grading and Drainage Plan
Engineer's Stamp dated 8-9-99 (L15/D49)

Dear Mr. Brasher,

Based upon the information provided in your submittal dated 8-9-99, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

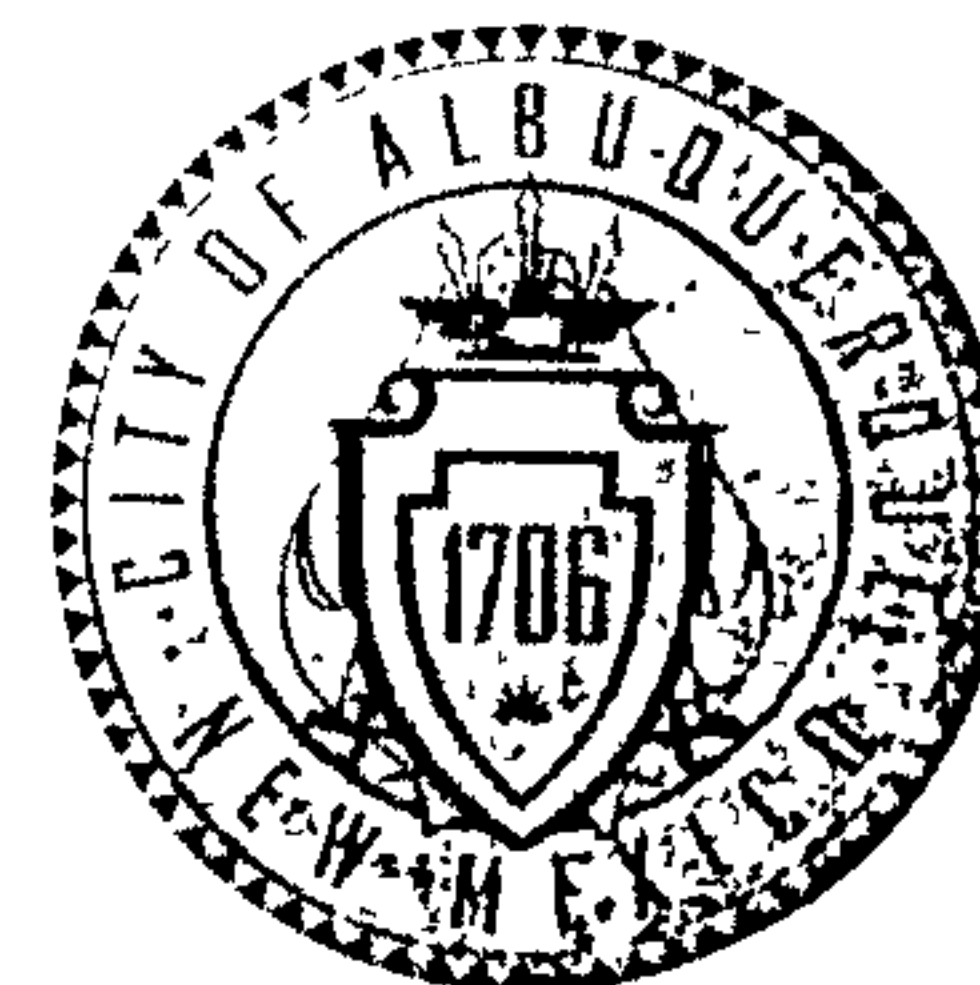
Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Hydrology Review Engineer

C: Arlene Portillo
file

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



July 22, 2008

Martín Garcia, P.E.
ABQ Engineering
6739 Academy Road NE, Suite 130
Albuquerque, New Mexico 87109

RE: **UNIVERSITY PLAZA** – SE Corner of University & Gibson (M15 – D 012 A)
Grading and Drainage Plan for Building Permit (PE Stamped 07-21-08)

Dear Mr. Garcia:

Based upon the information provided in your submittal received 7/8/08, and revised plan received 7/22/08, the above referenced Grading and Drainage Plan is approved for Building Permit and SO-19 construction, conditioned upon compliance with the NPDES/SWPPP requirements discussed below.

SWPPP: This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of the P.E. certified Storm Water Pollution Prevention Plan (SWPPP) on a CD to City of Albuquerque, Storm Drainage Division at:

PO Box 1293

Department of Municipal Development, Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

Albuquerque

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by the Hydrology Section.

NM 87103

SO-19 : A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

www.cabq.gov

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM. To obtain a temporary or permanent CO, the manhole and storm drain connection at the NW corner of the site must be inspected and accepted. Please contact Duane Schmitz, Storm Drain Maintenance (235-8016) to schedule an inspection.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.
Hydrology Section

XC: Bradley Bingham, COA-PLN/Hydrology
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

Kathy Verhage, COA/DMD-Storm Drainage
Drainage file M15-D 12 A

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: University Plaza

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE # M-15/DO12A

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9, Block A Kirtland Addition Unit 2

CITY ADDRESS: 1600 Gibson Boulevard SE, Albuquerque, NM 87106

ENGINEERING FIRM: ABQ Engineering

ADDRESS: 6739 Academy Rd N.E. Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255.7802

ZIP CODE: 87109

OWNER: DT Land and Development, LLC

ADDRESS: 4509 B. Alameda Blvd NE

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: 821-5600

ZIP CODE: 87113

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

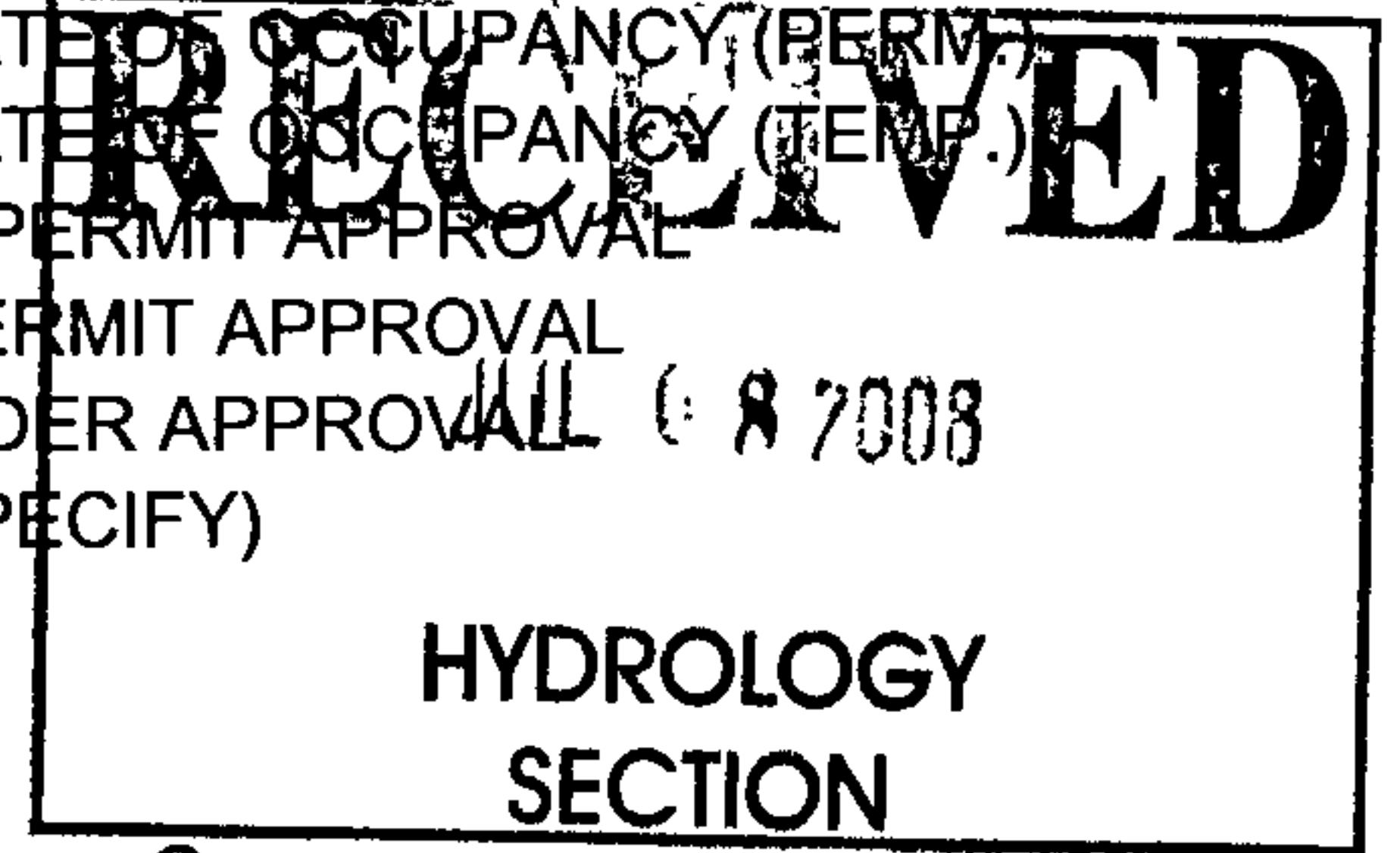
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: July 8, 2008

BY: Martin J. Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



*TRANS.
HAS
FILE*

[Signature]

July 7, 2008

Mr. Greg Olson
Planning Department, Hydrology Development
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

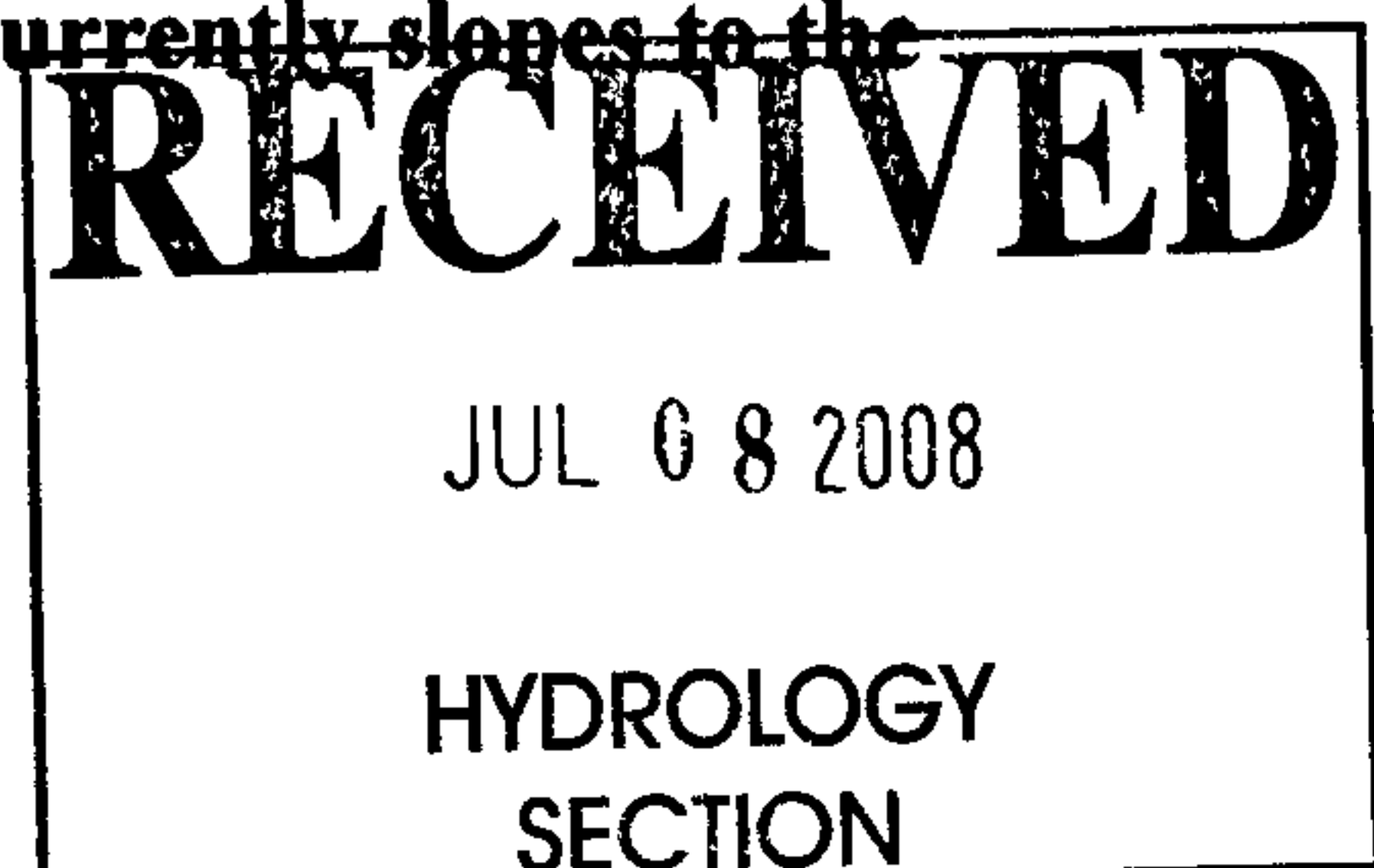
RE: UNIVERSITY PLAZA – SE Corner of University & Gibson (M15 – D 012 A)
Grading and Drainage Plan for Building Permit (PE Stamped 05-22-08)

Dear Mr. Olson:

I am in receipt of your comments dated June 26, 2008 for this project. In light of the comments we have made amendments to the plan, and offer responses to your comments as identified in bold print below:

1. This plan should reflect current platting, including Lots 9A & 9B filed 5/22/08:
 - a.) Show lot lines and label the lots on the plan ...
 - b.) Include a notation regarding the cross-lot drainage easement dedicated by plat ...
 - c.) Show the offsite access easement to the Miles Road Cul-de-Sac and ensure that no offsite flows are entering the site at that location ...

The lot numbers have been added to the plan to clearly identify the two lots, in addition the easement to the cul de sac has also been shown. There are no off-site flows from miles road that enter the property at that location. The cul de sac currently drains to Gibson Boulevard via a concrete rundown at the northwest corner of the cul de sac. There is a small area along the east property line that drains incidental flows into this site. The runoff will be directed south to wells street along the new retaining wall to be constructed. The area currently slopes to the south.



2. Per the Master Drainage Plan (MDP) prepared by for this area by Jeff Mortensen & Associates (JMA) in 1996, and updated in March 1997, most of the developed flows from this site must be directed to the new storm drain system in Gibson Blvd.
- a.) Due to downstream flooding history, the MDP limits the developed discharge to University Blvd from this site to only 0.8 cfs (portions of MDP enclosed for info).

The discharge to University has been modified and reduced below 0.8cfs as shown herein

- b.) The recent Gibson Blvd. Rehab project, City project number **485091**, provided a 24" (600mm) diameter RCP storm drain stub-out to the site, approximately 70' east of the east curb line on University Boulevard (.pdf file on disk enclosed). This pipe must be used for connection of "Private Storm Drain" improvements for this site, in compliance with "SO-19" provisions below. Since this section of Gibson Blvd is super-elevated to the north, site drainage through the curb will not be allowed.

A private storm drain has been added to the plan that will drain the site to this storm drain stub-out as shown in the new plan.

- c.) Due to the recent shift in the south R/W line on Gibson, the 24" RCP stub off the Gibson storm drain terminates within the Gibson R/W. We will not require extension of the RCP line to the new R/W line, however the existing cap must be removed and a "Private" storm drain manhole or area inlet installed in that area, **at least 14' back of curb**, which will serve as a maintenance access point for the line into Gibson. Include a note on the plan requiring the contractor to **"Contact Duane Schmitz, Storm Drain Maintenance (Phone: 235-8016), to schedule an inspection of this connection prior to backfilling."** This inspection will be a condition of approval for Certificate of Occupancy.

With this plan, the existing storm drain stub-out will be extended such that the centerline of the new manhole is 14 ft from the back of curb on Gibson.

- d.) **SO-19**: A separate permit is required for construction within City R/W. Include the standard "Notice To Contractors" language on the plan and provide a signature bar for Storm Drain Maintenance inspector approval.

The SO-19 language has been added to the current plan.

- e.) Include layout, details and build notes for any private storm drainage improvements necessary to convey site discharge to the Gibson storm drain.

This information has been added to the current plan.

3. Expand your "Drainage Narrative" section to include a discussion of the "PROPOSED CONDITIONS" in addition to the "EXISTING CONDITIONS" provided.

The drainage narrative has been expanded as requested, and now includes more information on the proposed storm drain improvements.

4. The Building Permit submittal needs to include any referenced details, such as the Retaining Wall Sections (see sheet C-501).

The building permit plans include all pertinent details, a copy of those plans is included with this submittal for information.

5. Label the site TBM on the plan and confirm its elevation (is it really tied to the COA monument over 5 miles away?). The TBM elevation provided is roughly 60' above the site grade at the SW corner of the property.

The TBM has been identified as well as the ACS BM corrected from the previous plan.

6. Provide proposed contours to clarify grading intent, particularly at perimeter walls.

Contours were not added along the perimeter walls because it was my opinion that it would confuse the plan rather than provide clarification. For clarification, the "TW" references top of wall elevation, "BW" references bottom of wall at its lowest point (not at the foundation). If two TW elevations are shown it indicates that the top of the wall is stepping to a different elevation at that point. A copy of the wall details is provided with this plan. If additional clarification is required beyond this response we will be happy to provide it.

7. Clarify the Retaining Wall layout/locations and details.
 - a.) What is intended at south side of the lot where call-outs show two "TW" elevations?
 - b.) What does "BW" grade represent? (e.g.- Top of footing or FG on low side of wall?) Several locations have BW grades

See response to number 6 above.

8. There may be a site grade error (1.5' difference between TC and FL) near the NE corner of the small structure (FF=5103.45) on Lot 9B.

This has been corrected with this plan.

9. Correct the site location on the FEMA map.

Site has been corrected.

10. Clarify building footprints on the plan; there appears to be a building crossing the north lot line of lot 9B. Label any intended "Restaurant" Pads.

The restaurant pads have been labeled. There are no intentions of crossing lot lines with structures.

11. Label Wells Street/Lovelace Rd and adjacent, 20' Alley on the east side of Lot 9B.

Labels have been added.

12. TRASH ENCLOSURE DRAINS: (restaurants only) Per the DPM Chapter 22 Section 9, runoff from the trash enclosure pad at a restaurant is required to drain to the sanitary sewer after passing through a grease trap. Trash enclosures at other business types should not drain to the sanitary sewer. Label any restaurant pads on the plan and provide utility plan and build notes for dumpster drains to meet code.

All solid waste enclosures that serve restaurants have drains to the sanitary sewer. A copy of the site utility plans is provided with this submittal for clarification.

13. Provide site feature labeling or additional legend items to clarify limits of such items as sidewalk, paving, landscape areas and structures, which are basis for runoff calculations.

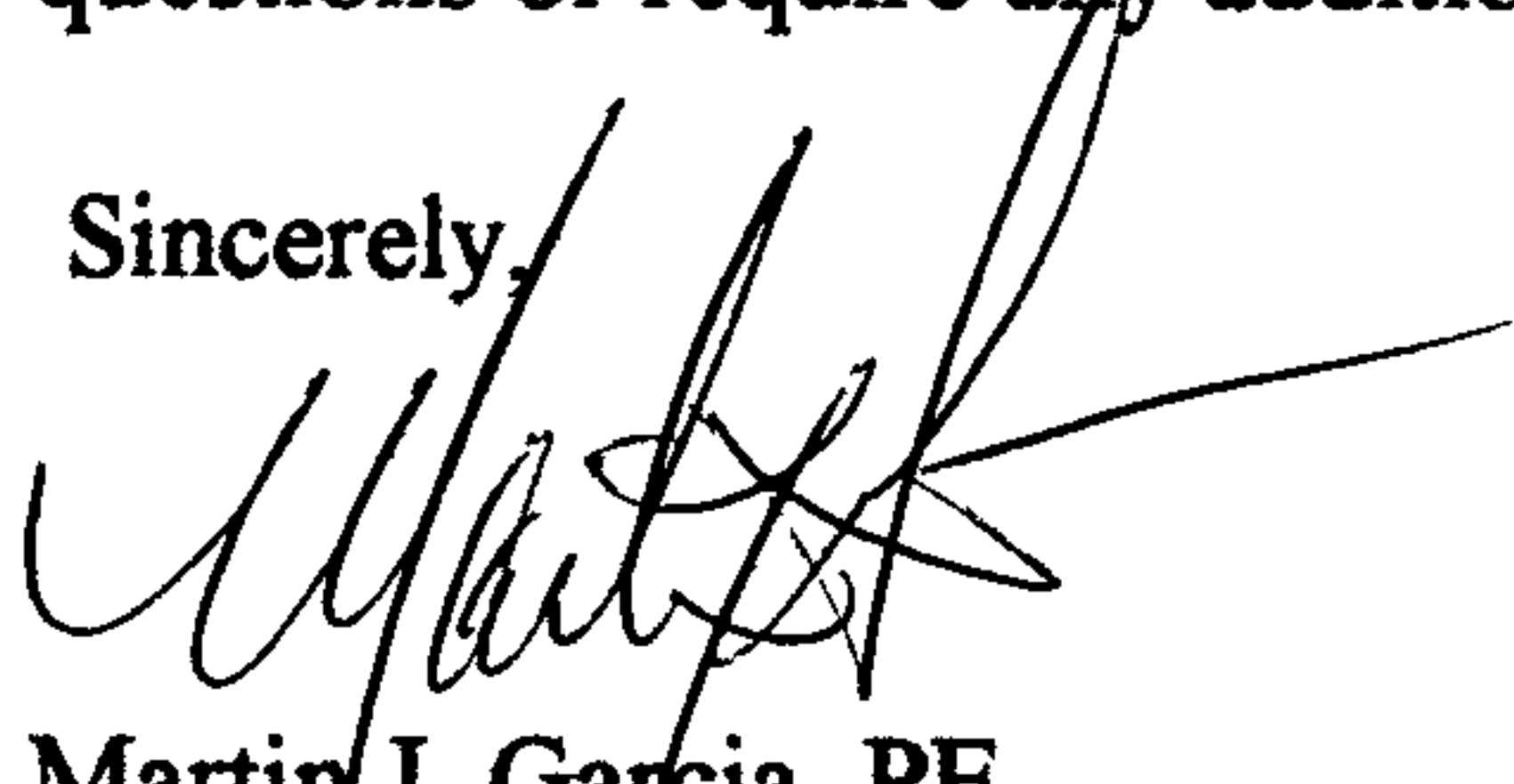
A copy of the site plan is included with this submittal for clarification of surface treatment types.

14. Label proposed Bus Shelter on Gibson to avoid confusion with drainage improvements.

The bus shelter has been labeled.

With this submittal I believe that we have addressed your previous comments and are ready to receive approval of the grading and drainage plan for this site. If you have any questions or require any additional information, please call me at 255-7802.

Sincerely,



Martin J. Garcia, PE
ABQ Engineering, Inc.
28018

Cherne, Curtis

From: Cherne, Curtis
Sent: Friday, October 24, 2014 10:05 AM
To: 'Heather Macomber'
Subject: RE: 2014.061 McDonald's Albuquerque, NM (SEC Gibson/University)

Heather,

- a. It is not clear that the storm drain was constructed as the site is left ½ built.
1. Most of the site is to drain to the 24" stub in Gibson. Verify existing onsite storm drain inverts and whether manhole was constructed that ties to 24" stub in Gibson Blvd.
2. Yes
3. The site is to retain the first flush volume. Volume= 0.34 inches times the impervious area.
4. No
5. Yes, 0.8 cfs is allowed to surface drain to University Blvd.
6. You may have to build a manhole that connects to the City system. A manhole will be required at the end of the 24" stub on Gibson. This can be constructed via SO-19 Permit if barricading is not required in Gibson Blvd. Please contact Construction Services for fees.
7. Storm drain material in ROW to be RCP, ductile iron or PVC. Private is private and can be generally accepted materials.
8. Yes, for the realignment of Miles Rd. For onsite, you are to review previous studies to ensure your drainage plan is in compliance. Drainage file M15D012A and another study is referenced.
9. Hard to tell on the easements. Both properties will share a storm drain connection to Gibson Blvd. Depending on where it is located will dictate the appropriate private drainage easement required.
10. Yes. First flush, mentioned earlier.
11. No
12. Perform site visit and review previous drainage plans/studies.

It looks like a platting action is required and the realigned Miles Road cuts through Tract A. It is difficult to commit to the realignment of Miles Rd without more information.

You should contact Kristal Metro of Transportation Development.

Curtis Cherne, P.E.
City Hydrologist

From: Heather Macomber [<mailto:Heather.Macomber@Adams-Engineering.com>]
Sent: Thursday, October 16, 2014 5:18 PM
To: Cherne, Curtis
Subject: 2014.061 McDonald's Albuquerque, NM (SEC Gibson/University)

Curtis,

We are working on a new McDonald's at the southeast corner of Gibson and University. Attached is a concept plan for reference. There's a few questions that we have for you:

Storm Sewer

It is our understanding that there is a 21" HDPE storm pipe running thru the site in between the proposed McDonald's and Chick-fil-A, and then connects to a storm manhole in Gibson ROW.

- 1) Will we be able to utilize the existing storm system for our drainage? Or will we need to do a new tap?
- 2) Is the city's system adequate for McDonald's use?
- 3) Will we need to detain any stormwater? Detention or Retention Required? Above Ground or Below Ground?
- 4) Is infiltration testing required?
- 5) Can any portion of the site surface drain to the street?
- 6) Who is responsible for taps (city or local companies) and what fees are associated?
- 7) What type of pipe material is required for tap? What type for private?
- 8) Will a drainage study be required?
- 9) Are any easements required for utilities on McDonald's property?
- 10) Any water quality measures required?
- 11) Any storm sewer moratorium in effect?
- 12) Any additional requirements / work required for storm water?

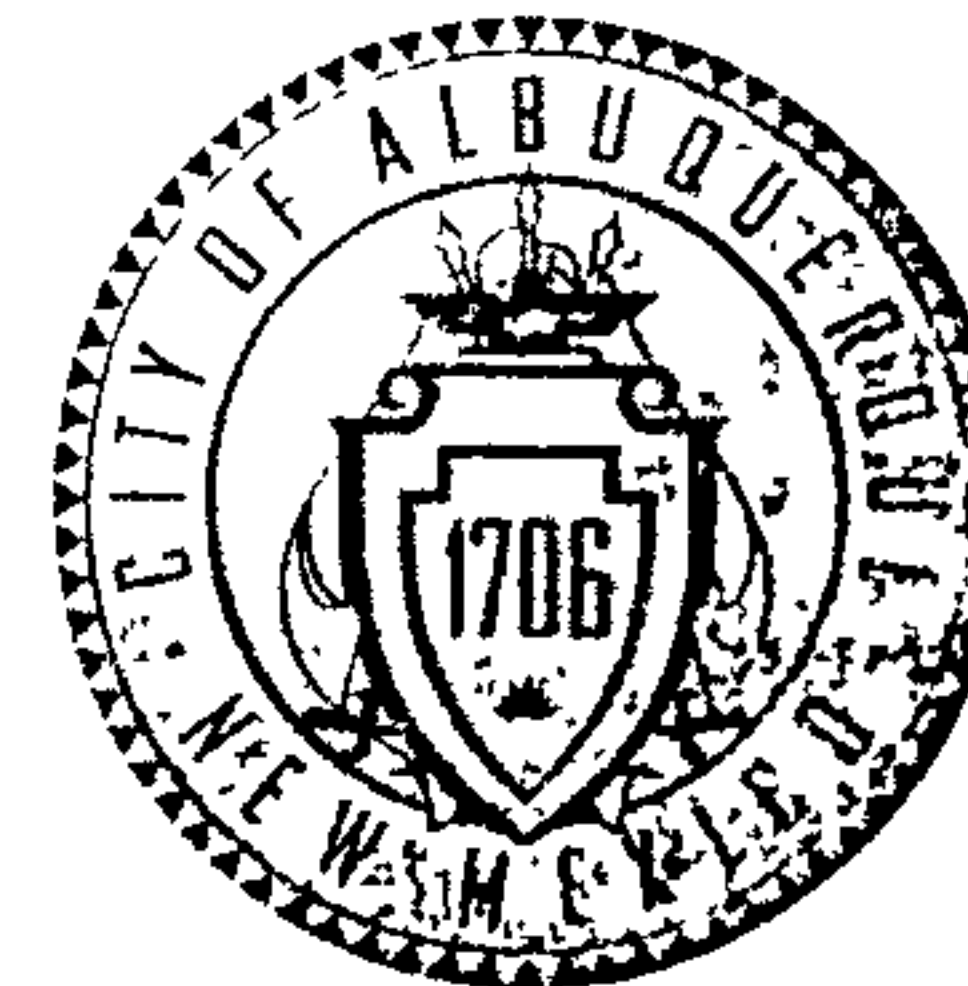
Thanks,

Heather Macomber
Designer

Adams | Engineering & Development Consultants
Tyler | Dallas/Fort Worth | Austin | Tampa

O: 817.328.3200 | D: 817.328.3243
910 S. Kimball Avenue
Southlake, Texas 76092
heather.macomber@adams-engineering.com
www.adams-engineering.com

CITY OF ALBUQUERQUE



July 18, 2008

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

Re: University Plaza, 1600 Gibson Blvd. SE, Traffic Circulation Layout
Engineer's Stamp dated 7-14-08 (M-15/D012A)

Dear Mr. Garcia,

Based upon the information provided in your submittal received 7-15-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

1. The proposed replat must be finalized and recorded prior to Certificate of Occupancy approval.
2. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
3. The table titled "Reference Std. Drawings" should refer to City Standard 2426, not 2425.
4. Remove the extraneous arrow (which currently points in the wrong direction) from near the center of the plan.

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

M-15/D12A

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-15/D012A

PROJECT TITLE: University Plaza

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE # M-19

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9, Block A Kirtland Addition Unit 2

CITY ADDRESS: 1600 Gibson Boulevard SE, Albuquerque, NM 87106

ENGINEERING FIRM: ABQ Engineering

ADDRESS: 6739 Academy Rd N.E. Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255.7802

ZIP CODE: 87109

OWNER: DT Land and Development, LLC

ADDRESS: 4509 B. Alameda Blvd NE

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: 821-5600

ZIP CODE: 87113

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) / *SITE PLAN*
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: June 20, 2008

BY: Martin J. Garcia

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

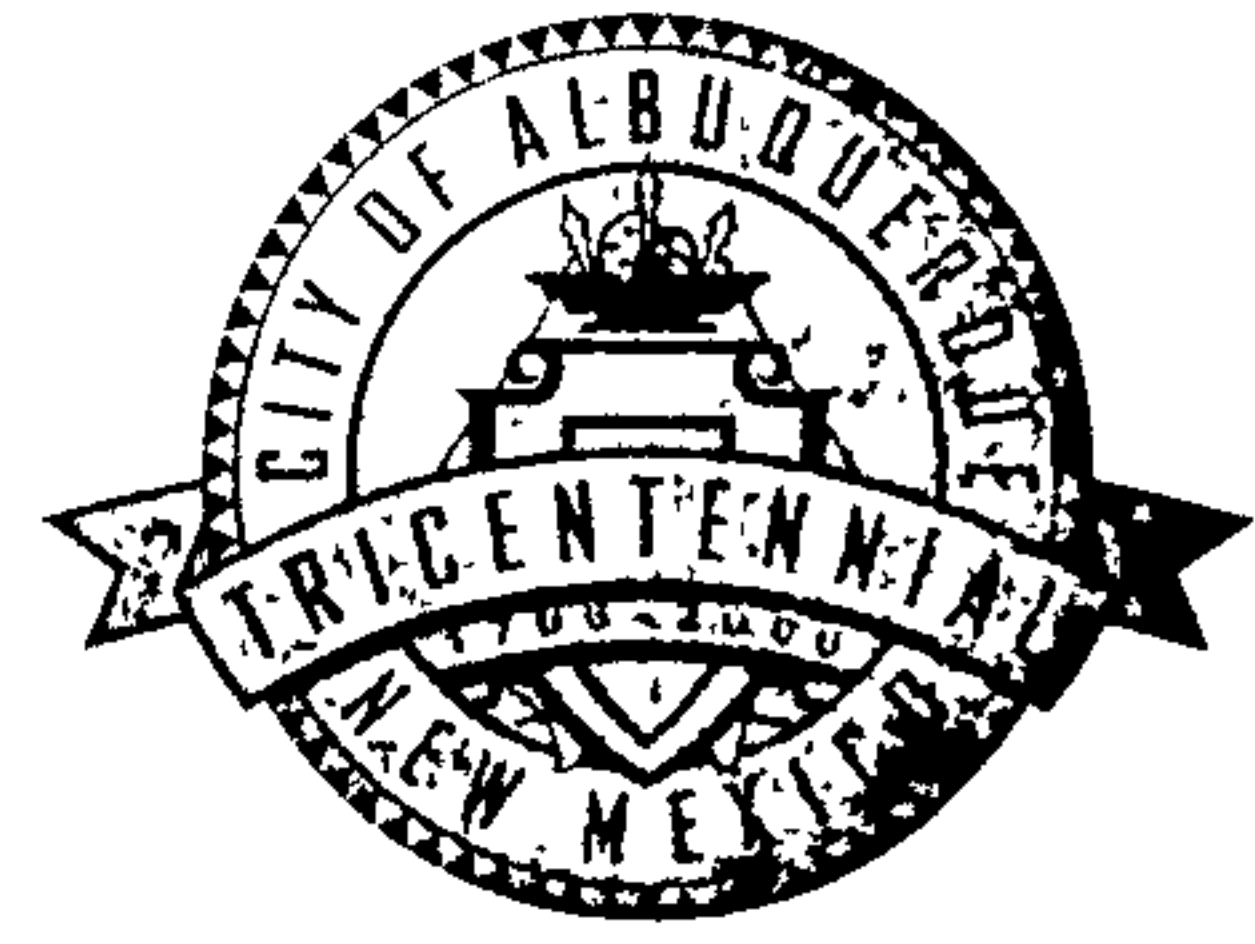
7/10/08
Verbal Review
Comments
Issued

HYDRO
HAS FILE
7/17/08

RECEIVED
JUN 24 2008
HYDROLOGY
SECTION

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



June 26, 2008

Martín Garcia, P.E.
ABQ Engineering
6739 Academy Road NE, Suite 130
Albuquerque, New Mexico 87109

RE: **UNIVERSITY PLAZA – SE Corner of University & Gibson (M15 – D 012 A)**
Grading and Drainage Plan for Building Permit (PE Stamped 05-22-08)

Dear Mr. Garcia:

Based upon the information provided in your submittal received on 5/27/08, the above referenced plan cannot be approved for Grading or Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. This plan should reflect current platting, including Lots 9A & 9B filed 5/22/08:
 - a.) Show lot lines and label the lots on the plan ...
 - b.) Include a notation regarding the cross-lot drainage easement dedicated by plat ...
 - c.) Show the offsite access easement to the Miles Road Cul-de-Sac and ensure that no offsite flows are entering the site at that location ...
2. Per the Master Drainage Plan (MDP) prepared by for this area by Jeff Mortensen & Associates (JMA) in 1996, and updated in March 1997, most of the developed flows from this site must be directed to the new storm drain system in Gibson Blvd.
 - a.) Due to downstream flooding history, the MDP limits the developed discharge to University Blvd from this site to only 0.8 cfs (portions of MDP enclosed for info).
 - b.) The recent Gibson Blvd. Rehab project, City project number **485091**, provided a 24" (600mm) diameter RCP storm drain stub-out to the site, approximately 70' east of the east curb line on University Boulevard (.pdf file on disk enclosed). This pipe must be used for connection of "Private Storm Drain" improvements for this site, in compliance with "SO-19" provisions below. Since this section of Gibson Blvd is super-elevated to the north, site drainage through the curb will not be allowed.
 - c.) Due to the recent shift in the south R/W line on Gibson, the 24" RCP stub off the Gibson storm drain terminates within the Gibson R/W. We will not require extension of the RCP line to the new R/W line, however the existing cap must be removed and a "Private" storm drain manhole or area inlet installed in that area, **at least 14' back of curb**, which will serve as a maintenance access point for the

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

RE: University Plaza Grade & Drain for Building Permit
June 26, 2008



line into Gibson. Include a note on the plan requiring the contractor to **“Contact Duane Schmitz, Storm Drain Maintenance (Phone: 235-8016), to schedule an inspection of this connection prior to backfilling.”** This inspection will be a condition of approval for Certificate of Occupancy.

- d.) **SO-19**: A separate permit is required for construction within City R/W. Include the standard **“Notice To Contractors”** language on the plan and provide a signature bar for Storm Drain Maintenance inspector approval.
- e.) Include layout, details and build notes for any private storm drainage improvements necessary to convey site discharge to the Gibson storm drain.
3. Expand your “Drainage Narrative” section to include a discussion of the **“PROPOSED CONDITIONS”** in addition to the **“EXISTING CONDITIONS”** provided.
4. The Building Permit submittal needs to include any referenced details, such as the Retaining Wall Sections (see sheet C-501).
5. Label the site TBM on the plan and confirm its elevation (is it really tied to the COA monument over 5 miles away?). The TBM elevation provided is roughly 60’ above the site grade at the SW corner of the property.
6. Provide proposed contours to clarify grading intent, particularly at perimeter walls.
7. Clarify the Retaining Wall layout/locations and details.
 - a.) What is intended at south side of the lot where call-outs show two “TW” elevations?
 - b.) What does “BW” grade represent? (e.g.- Top of footing or FG on low side of wall?) Several locations have BW grades
8. There may be a site grade error (1.5’ difference between TC and FL) near the NE corner of the small structure (FF=5103.45) on Lot 9B.
9. Correct the site location on the FEMA map.
10. Clarify building footprints on the plan; there appears to be a building crossing the north lot line of lot 9B. Label any intended “Restaurant” Pads.
11. Label Wells Street/Lovelace Rd and adjacent, 20’ Alley on the east side of Lot 9B.
12. **TRASH ENCLOSURE DRAINS**: (restaurants only) Per the DPM Chapter 22 Section 9, runoff from the trash enclosure pad at a restaurant is required to drain to the sanitary sewer after passing through a grease trap. Trash enclosures at other business types should not drain to the sanitary sewer. Label any restaurant pads on the plan and provide utility plan and build notes for dumpster drains to meet code.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

MD

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

RE: University Plaza Grade & Drain for Building Permit
June 26, 2008



13. Provide site feature labeling or additional legend items to clarify limits of such items as sidewalk, paving, landscape areas and structures, which are basis for runoff calculations.
14. Label proposed Bus Shelter on Gibson to avoid confusion with drainage improvements.

If you have any questions or would like to schedule a meeting to discuss this, you may contact me at 924-3981.

Sincerely,

Gregory R. Olson, P.E.
Hydrology Section

P.O. Box 1293

Albuquerque

Enclosures: CD with Gibson As-Built
JMA Master Drainage Plan Sheets 1 & 2 of 2 (Stamped 3-4-97) - (2 each, 24x36 plans)
JMA DMP Basin computation pages for this site (4 each- 8 ½ x 11 Sheets)
Copy of G&D Plan Sheet C-102 by ABQ Engineering with Hydrology mark-ups

New Mexico 87103

XC: Bradley Bingham, COA-PLN/Hydrology (letter only)
file-M15-D-12 A

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: University Plaza

DRB # _____

EPC# _____

ZONE MAP/DRG. FILE #: M-19

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9, Block A Kirtland Addition Unit 2

CITY ADDRESS: 1600 Gibson Boulevard SE, Albuquerque, NM 87106

ENGINEERING FIRM: ABQ Engineering

ADDRESS: 6739 Academy Rd N.E. Suite 130

CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia

PHONE: 255.7802

ZIP CODE: 87109

OWNER: DT Land and Development, LLC

ADDRESS: 4509 B. Alameda Blvd NE

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: 821-5600

ZIP CODE: 87113

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

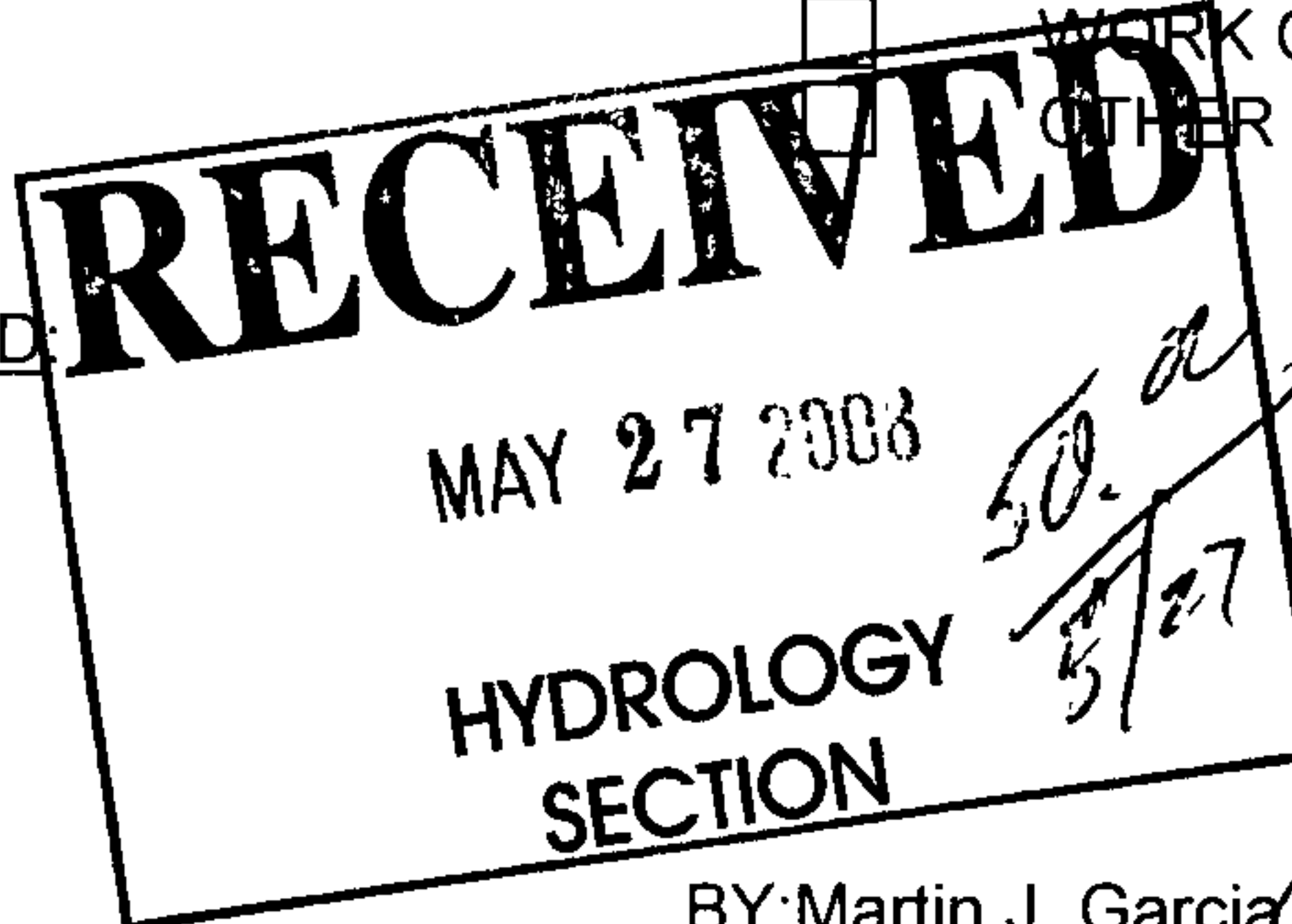
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: May 22, 2008

BY: Martin J. Garcia



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

ABQ ENGINEERING, INC.

Engineers•Planners•Construction Services

6739 Academy Road NE, Suite 130

Albuquerque, New Mexico 87109

(505) 255-7802 Fax (505) 255-7902

TRANSMITTAL LETTER

To: Plaza del Sol

ATTN: Kristal Metro / Brad Bingham

PROJECT: University Plaza

DATE: May 27, 2008

WE TRANSMIT:

(☒) Herewith () Under Separate Cover Via () In Accordance With Your Request

FOR YOUR:

(☒) Approval () Distribution to parties () Information
() Review () Record Use
() Use () Other _____

THE FOLLOWING:

() Drawings () Shop Drawings Prints () Photo Files
() Specifications () Shop Drawing Reproducible () Change Order
(☒) Submittal () Shop Drawing Marks () See Description Below

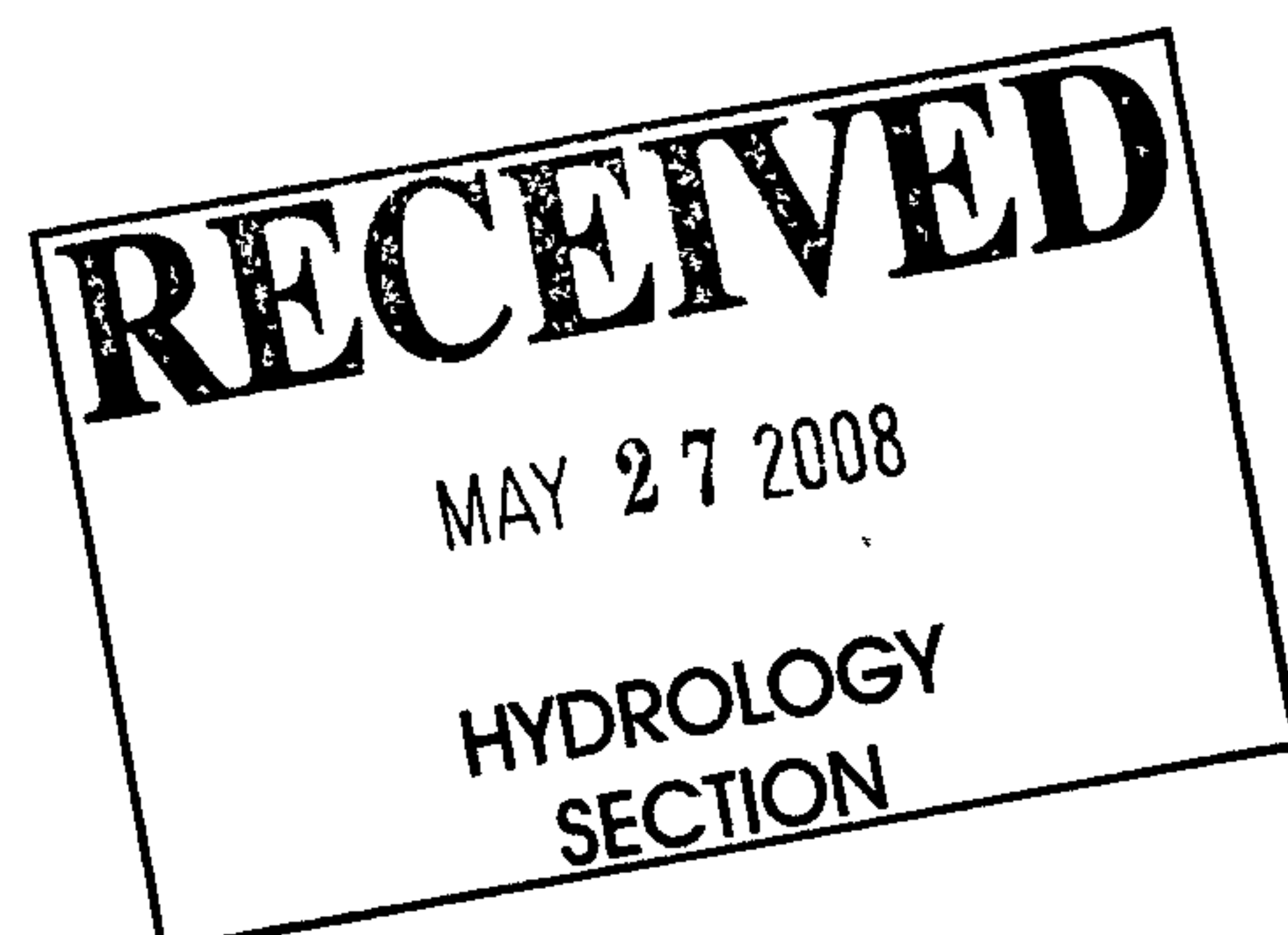
DATE	QTY.	DESCRIPTION	ACTION CODE
05/27/08	1	Drainage and Transportation Information Sheet	
05/27/08	2	Transmittal Letters to Kristal Metro and Brad Bingham	
05/27/08	1	Drainage and transportation plans for University Plaza	

ACTION CODE:

- A. Action indicated on item transmitted
B. No action required
C. For signature and return
D. For signature and forwarding
E. See remarks below

REMARKS:

Copies To: 28018
By: Ashley Tanner



May 22, 2008

Mr. Brad Bingham
Planning Department, Hydrology Development
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

RE: University Plaza Grading and Drainage Plan

Dear Mr. Bingham:

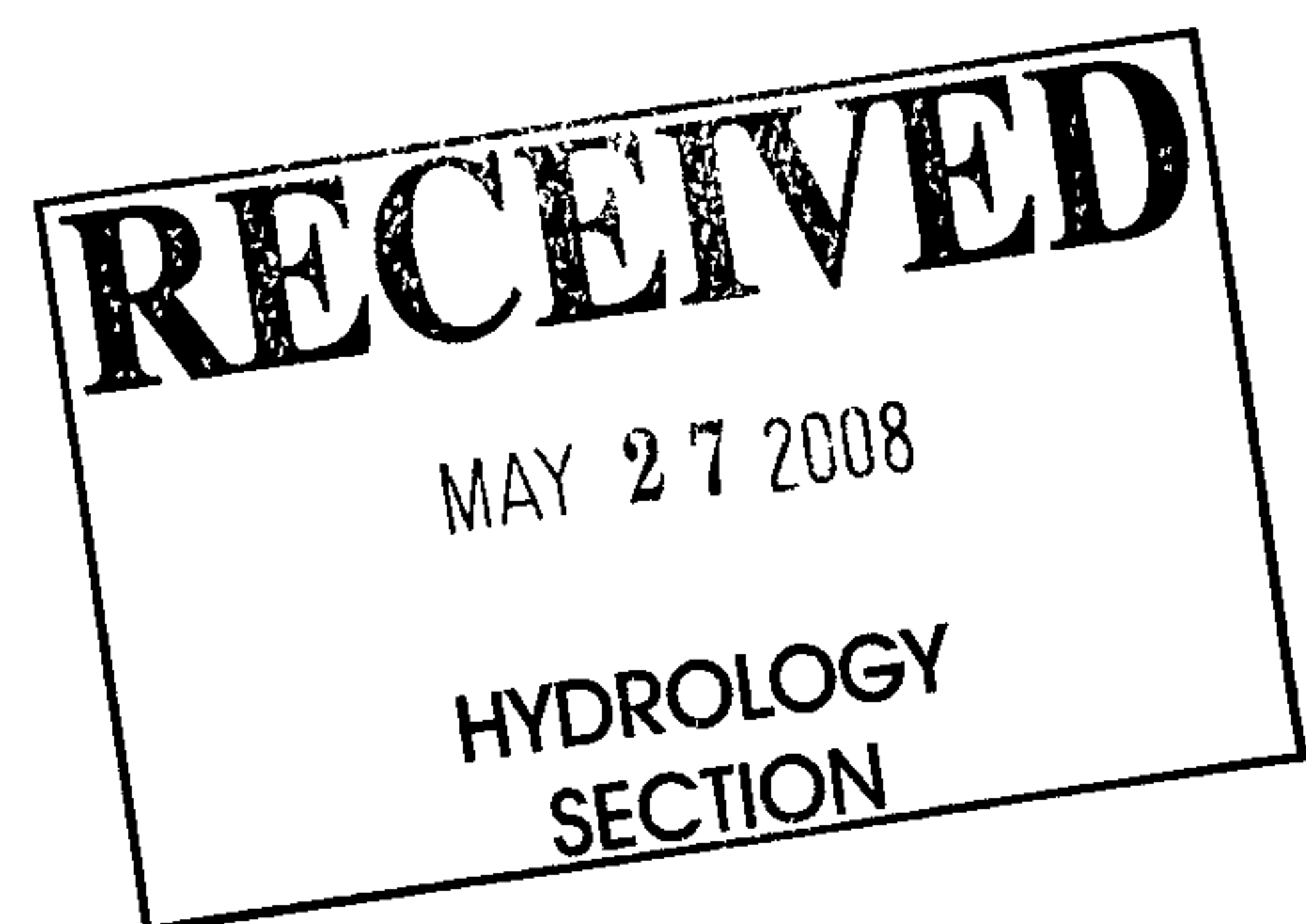
Submitted for your review and approval is the grading and drainage plan for University Plaza. The site is located on the South East corner of University Boulevard & Gibson in Bernalillo County. Please review as soon as is possible.

If you have any questions or require any additional information, please call me at 255-7802.

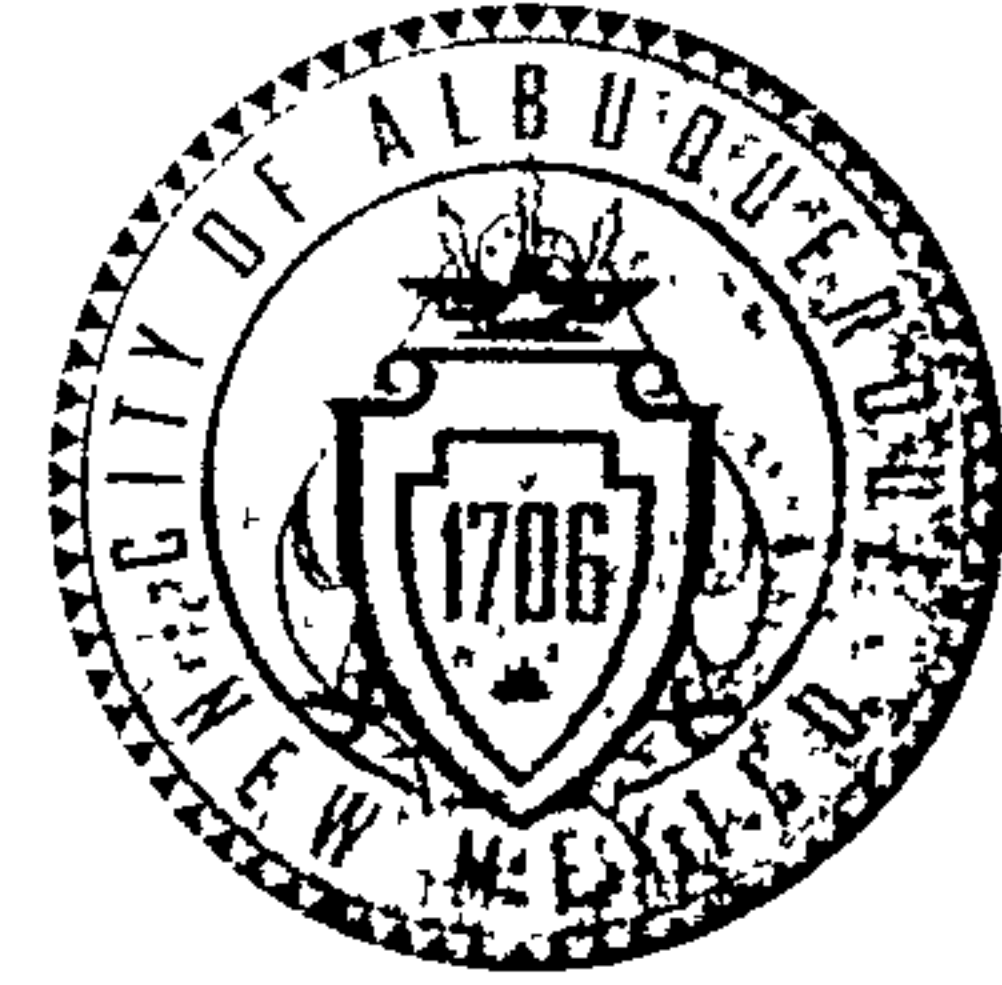
Sincerely,



Ashley Tanner
Martin J. Garcia, PE
ABQ Engineering, Inc.
28018



CITY OF ALBUQUERQUE



June 4, 2008

Martin J. Garcia, P.E.
ABQ Engineering, Inc.
6739 Academy Rd NE Ste. 130
Albuquerque, NM 87109

**Re: University Plaza, 1600 Gibson Blvd. SE, Traffic Circulation Layout
Engineer's Stamp dated 5-22-08 (M-15/D012A)**

Mr. Garcia,

Based upon the information provided in your submittal received 5-27-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

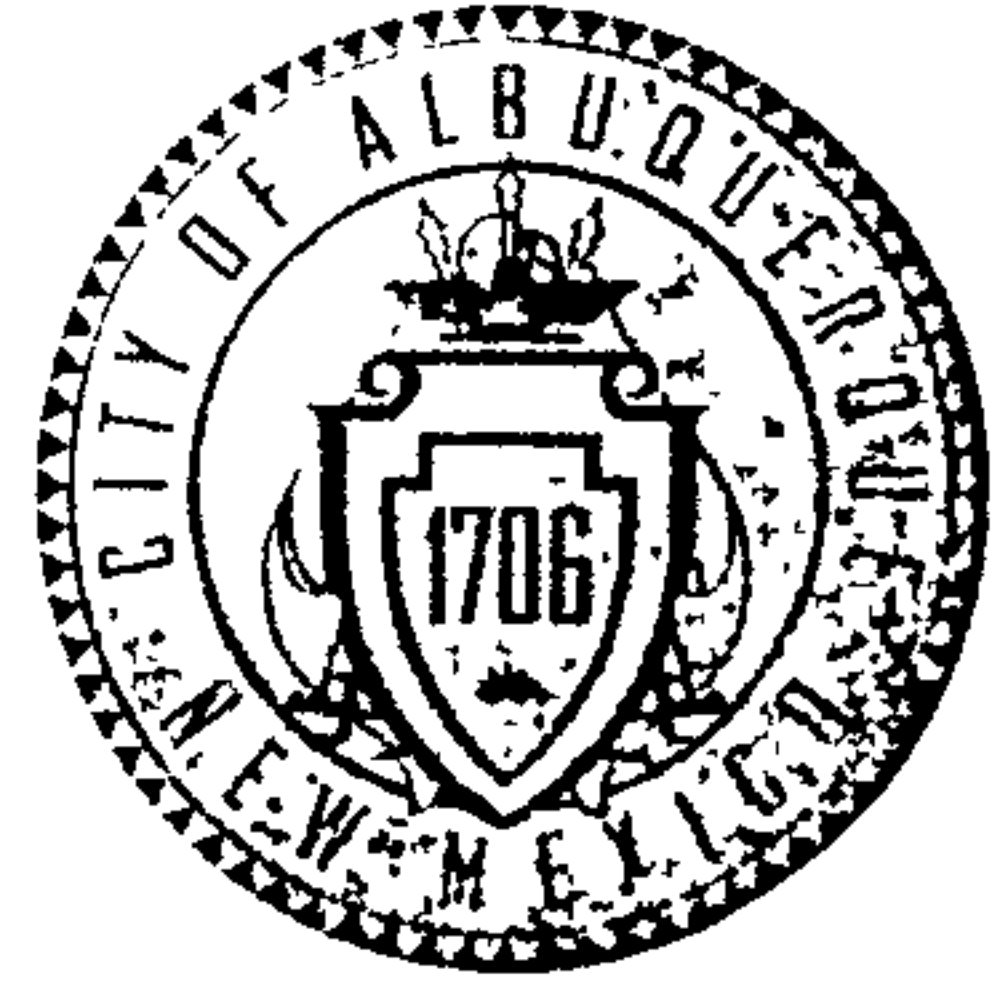
Albuquerque

NM 87103

www.cabq.gov

- ✓1. Remove all site plan references (such as the DRB signature block).
2. Previous platting actions show this site as two lots. Please clarify on plan or provide approved plat exhibit.
- ✓3. Include two copies of the TCL with the next submittal.
- ✓4. All TCL information will need to be on one sheet.
- ✓5. All sidewalks need to be 6' in width.
- ✓6. Is there existing sidewalk along University? Along Gibson? Does the ramp at the corner of University and Gibson meet current ADA standards? If not, it must be rebuilt.
- ✓7. What are the conditions of the sidewalk located on Wells Street?
- ✓8. Provide more detail for the alley and the proposed entrance. Include the distance between the two. What is the width of this entrance?
9. Call out all applicable COA Standard Drawing Numbers pertaining to: sidewalks, drive-pads, wheelchair ramps, and curb & gutter.
10. Details must be provided for all wheelchair ramps. Define the maximum slope.
- ✓11. The end of aisle islands must comply with Figure 23.7.2 of the DPM.
- ✓12. Dimension all keyways.
13. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
14. Call out all dimensions for all non-typical parking spaces. This includes compact spaces.
- ✓15. The radius for the pedestrian round-about will need to be a minimum of 15'. Label the sidewalk widths in this area.

CITY OF ALBUQUERQUE



- ✓16. Check the radii of the "pork chop" within the site. Adequate signage and striping is required for this area. Demonstrate how traffic flows within this area, especially from the building to the north.
- ✓17. A new bus stop shelter is shown on the plan. This will need to be built under a separate work order.
- ✓18. Identify the heavy vehicle pathway.
- 19. Provide a copy of refuse approval.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

C: File

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: University Plaza

DRB #: 1001449

EPC#: _____

ZONE MAP/DRG. FILE # 15-10-121A

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 9, Block A Kirtland Addition Unit 2
CITY ADDRESS: 1600 Gibson Boulevard SE, Albuquerque, NM 87106

ENGINEERING FIRM: ABQ Engineering
ADDRESS: 6739 Academy Rd N.E. Suite 130
CITY, STATE: Albuquerque, NM

CONTACT: Martin J. Garcia
PHONE: 255.7802
ZIP CODE: 87109

OWNER: DT Land and Development, LLC
ADDRESS: 4509 B. Alameda Blvd NE
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: 821-5600
ZIP CODE: 87113

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: May 22, 2008

BY: Martin J. Garcia

RECEIVED

MAY 27 2008

HYDROLOGY
SECTION

RECEIVED

MAY 23 2008

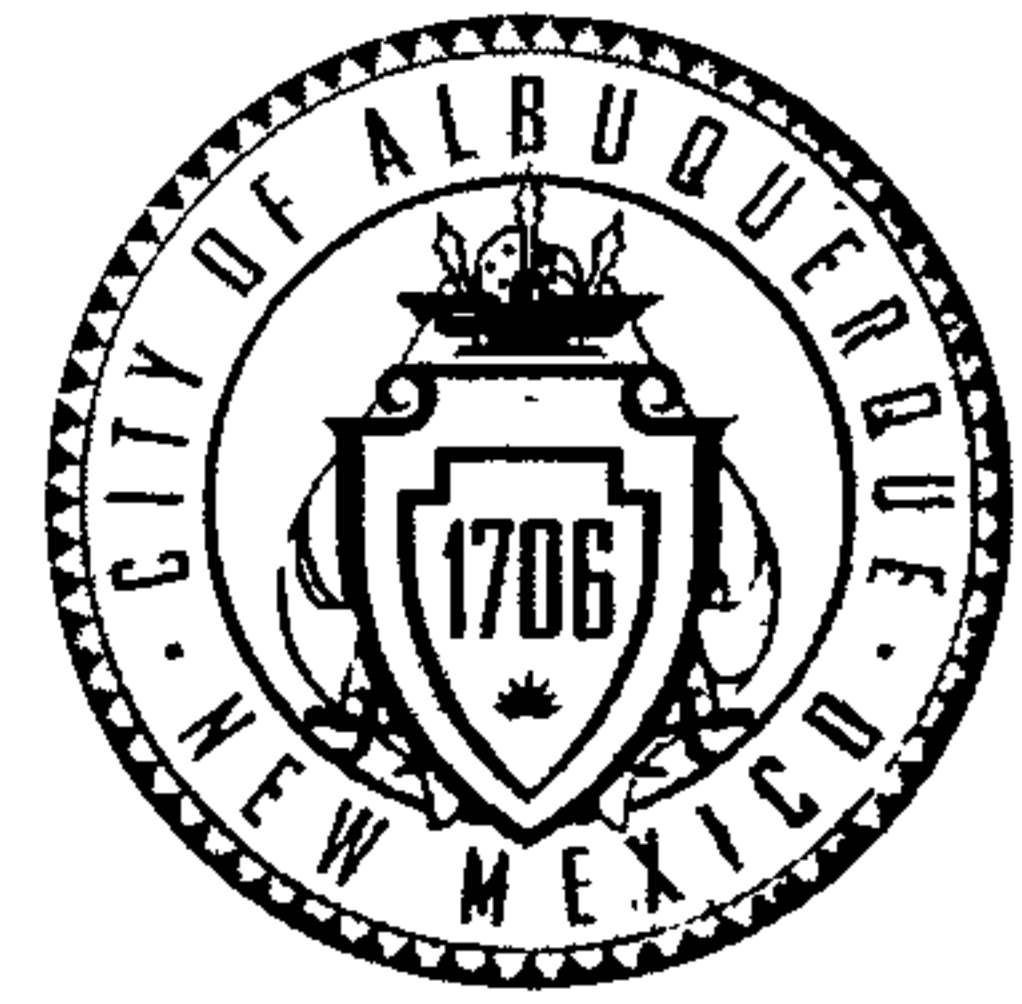
HYDROLOGY
SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

- ✓ Remove site plan references
- ✓ All TCC info should be on 1 sheet
- 6' SW
- ✓ Show tie in to alley intersection
 - call out dist between alley
 - 4' prop entrance
- ✓ Need land note for entrance
- ✓ ~~Need one 8'~~
- ✓ Detail for all ramps - call out max slope
- ✓ See Fig 23.7.2 - End of Able Islands
 - needs to conform to the figure
- ✓ Entrance width?
- ✓ Call out dimensions for all non-typical parking spaces (compact, etc)
- ✓ Status of ramp at Univ/Gibson - meet current criteria? If not, rebuild
- ✓ Label all compact w/ "compact"
- ✓ Check the radius of the park drop within the site
- ✓ Call out width of ped access points in the circular landscaped area ~~check the radius values~~ - need 15' min radius
- ✓ Call out width of all SW
- ✓ Previous platting actions - showed site as 2 lots - not shown on plan

CITY OF ALBUQUERQUE



March 27, 2017

Devin Nguyen
Modulus Architects
100 Sun Ave NE Suite 305
Albuquerque, NM 87109

Re: Blakes Lotaburger
1640 Gibson Blvd SE
Traffic Circulation Layout
Architect's Stamp dated 03-10-17 (M15-D012A)

Dear Mr. Nguyen,

The TCL submittal received 03-23-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

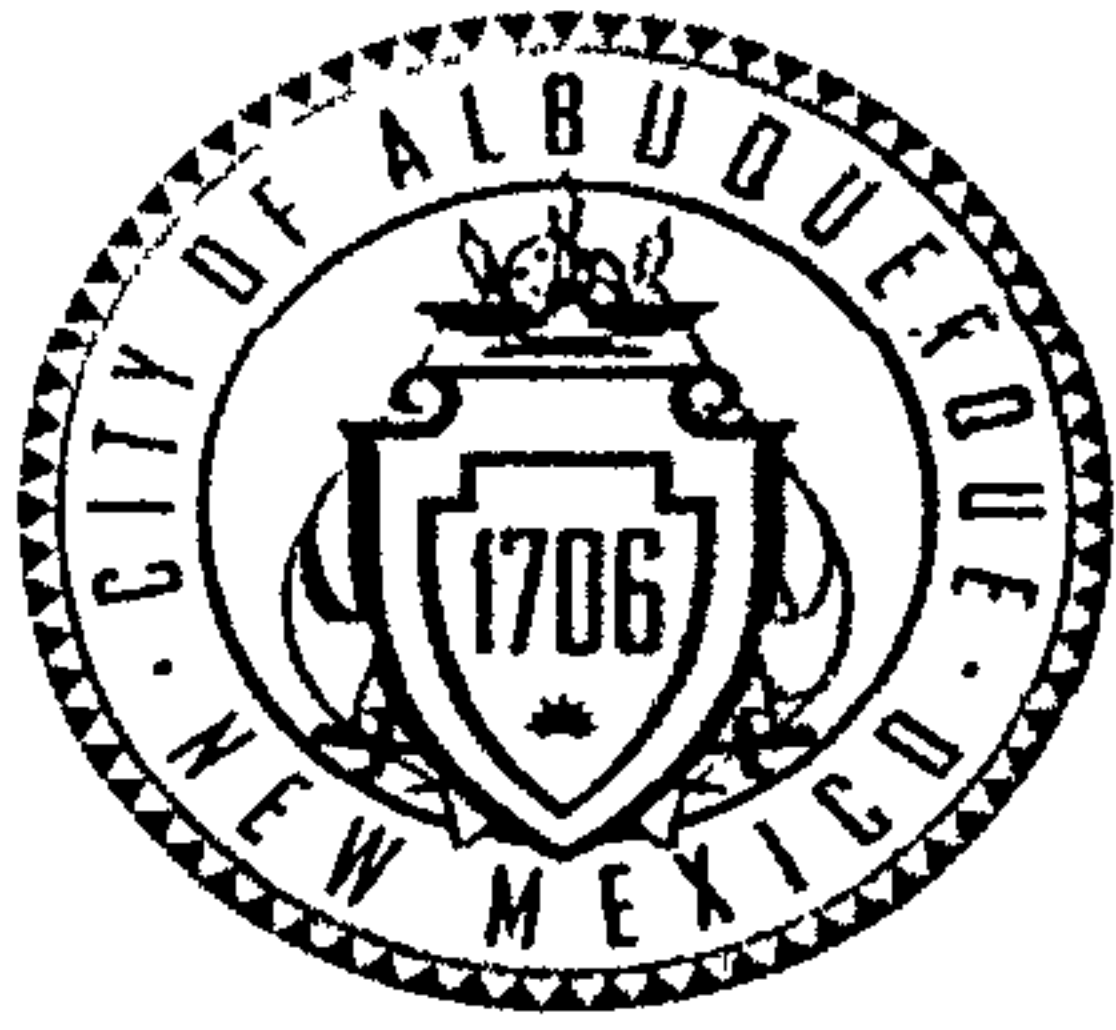
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09 2015)

Project Title: Blakes Lotaburger Building Permit #: BP-2017-08997 City Drainage #: MSD012A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 9-B-1A, Kirtland Addition Block A; Tract A, Airport Center

City Address: 1640 Gibson Blvd SE

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.

Address: 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124

Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Modulus Architects Contact: Devin Nguyen

Address: 100 Sun Ave NE, Suite 305, Albuquerque, NM, 87109

Phone#: 505-338-1499 ext 1007 Fax#: N/A E-mail: devinn@modulusarchitects.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 3/23/2017 By Devin Nguyen

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____