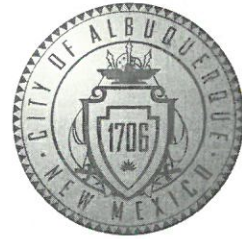


CITY OF ALBUQUERQUE



March 27, 2017

Devin Nguyen
Modulus Architects
100 Sun Ave NE Suite 305
Albuquerque, NM 87109

Re: Blakes Lotaburger
1640 Gibson Blvd SE
Traffic Circulation Layout
Architect's Stamp dated 03-10-17 (M15-D012A)

Dear Mr. Nguyen,

The TCL submittal received 03-23-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Blakes Lotaburger Building Permit #: BP-2017-08997 City Drainage #: MSD012A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 9-B-1A, Kirtland Addition Block A; Tract A, Airport Center

City Address: 1640 Gibson Blvd SE

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.

Address: 1005 21st Street SE, Suite A5, Rio Rancho, NM 87124

Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Modulus Architects Contact: Devin Nguyen

Address: 100 Sun Ave NE, Suite 305, Albuquerque, NM, 87109

Phone#: 505-338-1499 ext 1007 Fax#: N/A E-mail: devinn@modulusarchitects.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 3/23/2017

By: Devin Nguyen

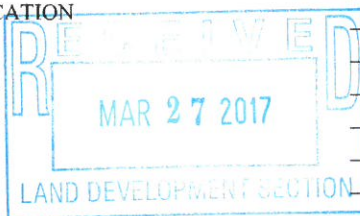
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

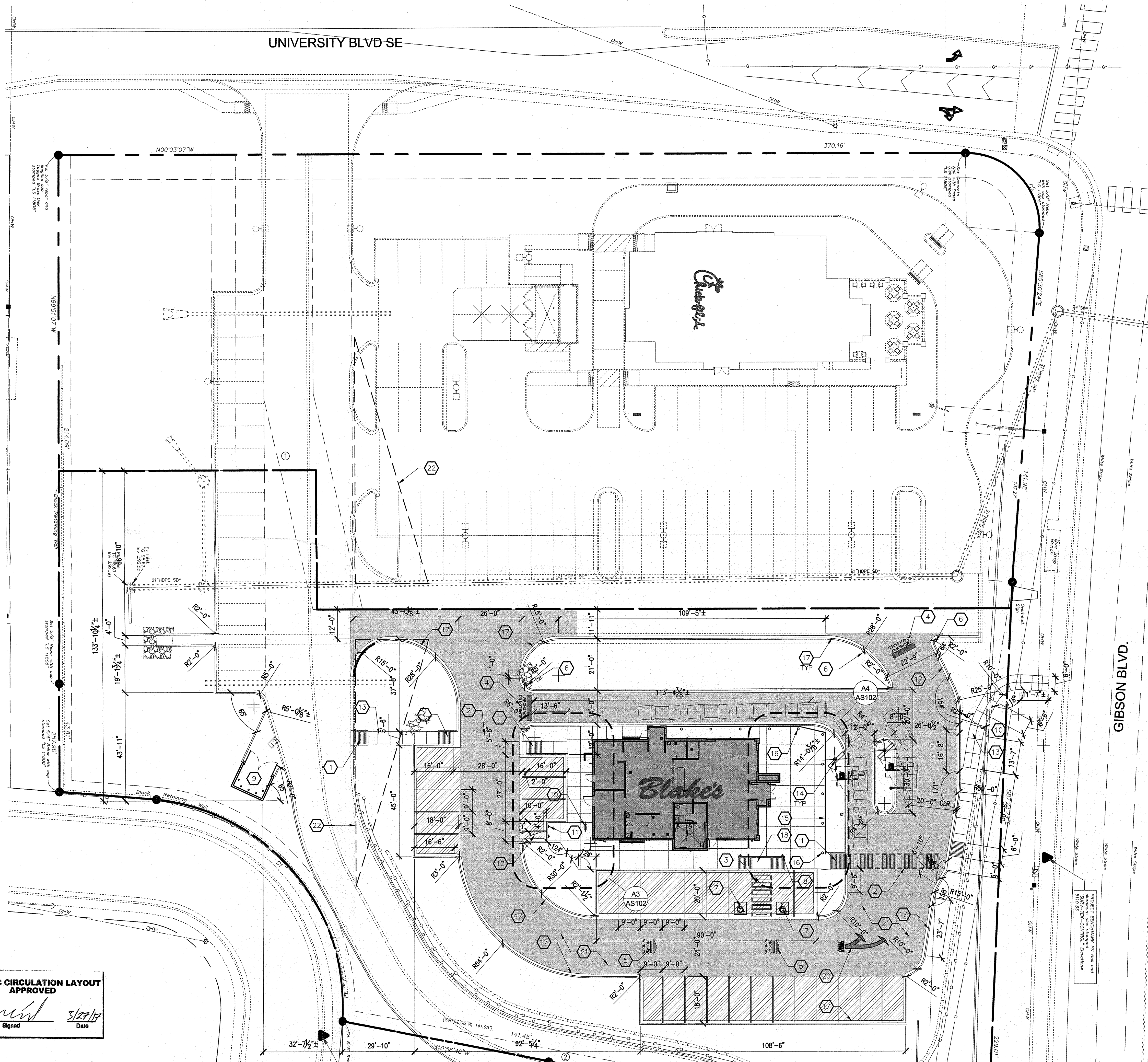
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



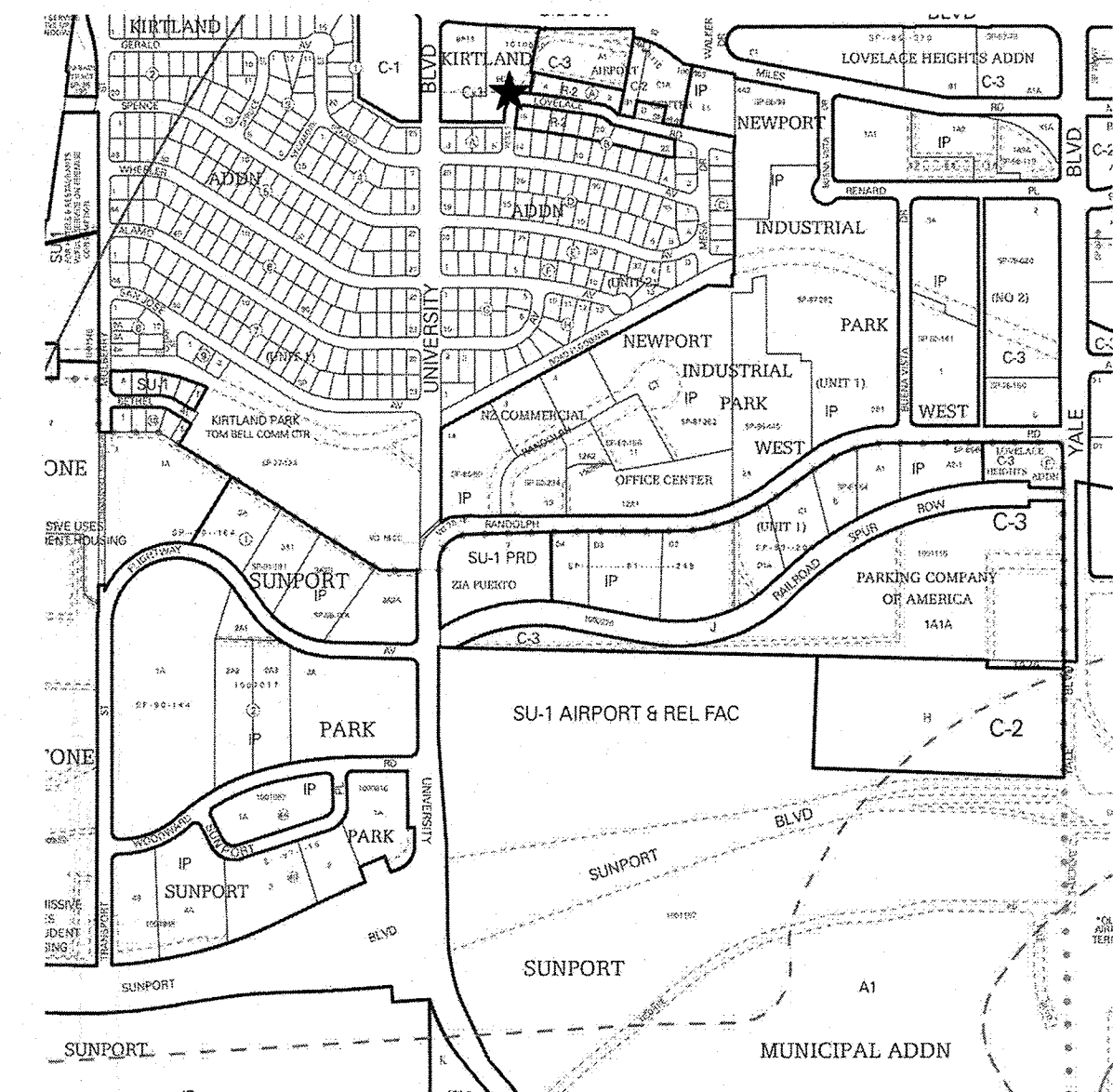
UNIVERSITY BLVD SE

GIBSON BLVD.

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: Devin Nguyen
Date: 3/27/17

A1 TRAFFIC CIRCULATION LAYOUT PLAN
SCALE: 1" = 20'-0"

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



VICINITY MAP

SCALE: NTS

LEGAL DESCRIPTION

LOTS 9-B-1A, KIRTLAND ADDITION BLOCK A; TRACT A, AIRPORT CENTER.

SITE DATA

LEGAL DESCRIPTION: LOTS 9-B-1A, KIRTLAND ADDITION BLOCK A; TRACT A, AIRPORT CENTER.

UPC: 101505530848511714
ADDRESS: 1640 GIBSON BLVD. SE
PROPERTY AREA: 68,127 SF
CURRENT ZONING: C-1
BUILDING AREA: 2,955 CSF

EXISTING EASEMENTS

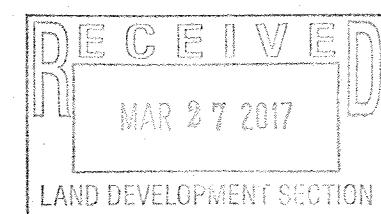
- EXISTING 20' PRIVATE WATERLINE EASEMENT.
- EXISTING 5' UTILITY AND DRAINAGE EASEMENT.

GENERAL NOTES

- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- INDICATED DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF FINISH; UNLESS OTHERWISE NOTED.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.

KEYED NOTES

- SIDEWALK ACCESSIBLE RAMP: REFER TO A2/AS104 FOR ADDITIONAL INFORMATION.
- PATH WALK MARKING: REFER TO C3/AS104 FOR ADDITIONAL INFORMATION.
- HANDICAP PARKING AISLE: REFER TO C5/AS103 FOR ADDITIONAL INFORMATION.
- "DO NOT ENTER" MARKING: REFER TO B5/AS104 FOR ADDITIONAL INFORMATION.
- PAVEMENT DIRECTIONAL MARKING: REFER TO B2/AS104 FOR ADDITIONAL INFORMATION.
- "DO NOT ENTER" SIGNAGE: REFER TO C2/AS104 FOR ADDITIONAL INFORMATION.
- ACCESSIBLE MARKING: REFER TO C5/AS104 FOR ADDITIONAL INFORMATION.
- HANDICAP SIGNAGE, TYPICAL OF 2: REFER TO A1/AS104 FOR ADDITIONAL INFORMATION.
- REFUSE ENCLOSURE: REFER TO A1/AS102.
- MISCELLANEOUS SIGNAGE: SEE A1/AS103.
- MOTORCYCLE PARKING SIGNAGE, TYPICAL OF 2: SEE A2/AS103.
- MOTORCYCLE PARKING SPACE, TYPICAL OF 2.
- CONCRETE SIDEWALK: REFER TO A4/AS103 AND C3/AS103.
- PREFABRICATED ORDERING MENU/CANOPY (BY OTHER): CONTRACTOR TO PROVIDE ELECTRICAL POWER.
- CABLE RAILING (APPROXIMATELY 115'-0" LINEAR FEET): REFER TO A5/AS104.
- BOLLARD LIGHTING FIXTURE: REFER TO ELECTRICAL SITE PLAN ON SHEET ES101 FOR ADDITIONAL INFORMATION, TYPICAL OF 10.
- CURB AND GUTTER: REFER TO C1/AS103.
- TAPERED RAMP: REFER TO D2/AS102.
- BIKE RACK: REFER TO B1/AS102.
- PAVEMENT DIRECTIONAL MARKING: REFER TO B1/AS104.
- ASPHALT PAVEMENT.
- DASHED LINE INDICATES 30'x100' CLEAR SIGHT TRIANGLE.



GRAPHIC LEGEND

- HEAVY DUTY ASPHALT: REFER TO B3/AS103.
- LIGHT DUTY ASPHALT: REFER TO B5/AS103.

PARKING CALCULATION

BUILDING AREA	# SEATS	AREA (SQUARE FEET)	
BLAKE'S LOTABURGER RESTAURANT	37	2,955 SF	
KITCHEN AREA	N/A	832 SF	
TOTAL	37	1,388 SF	
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
BLAKE'S LOTABURGER RESTAURANT	1/4 SEATS	10 SPACES	19 SPACES
KITCHEN AREA	1/200 SF	5 SPACES	8 SPACES
ACCESSIBLE PARKING SPACE	1/25 SPACES	2 SPACES	2 SPACES
MOTORCYCLE PARKING SPACE	---	2 SPACES	2 SPACES
BIKE PARKING SPACE	---	2 SPACES	4 SPACES

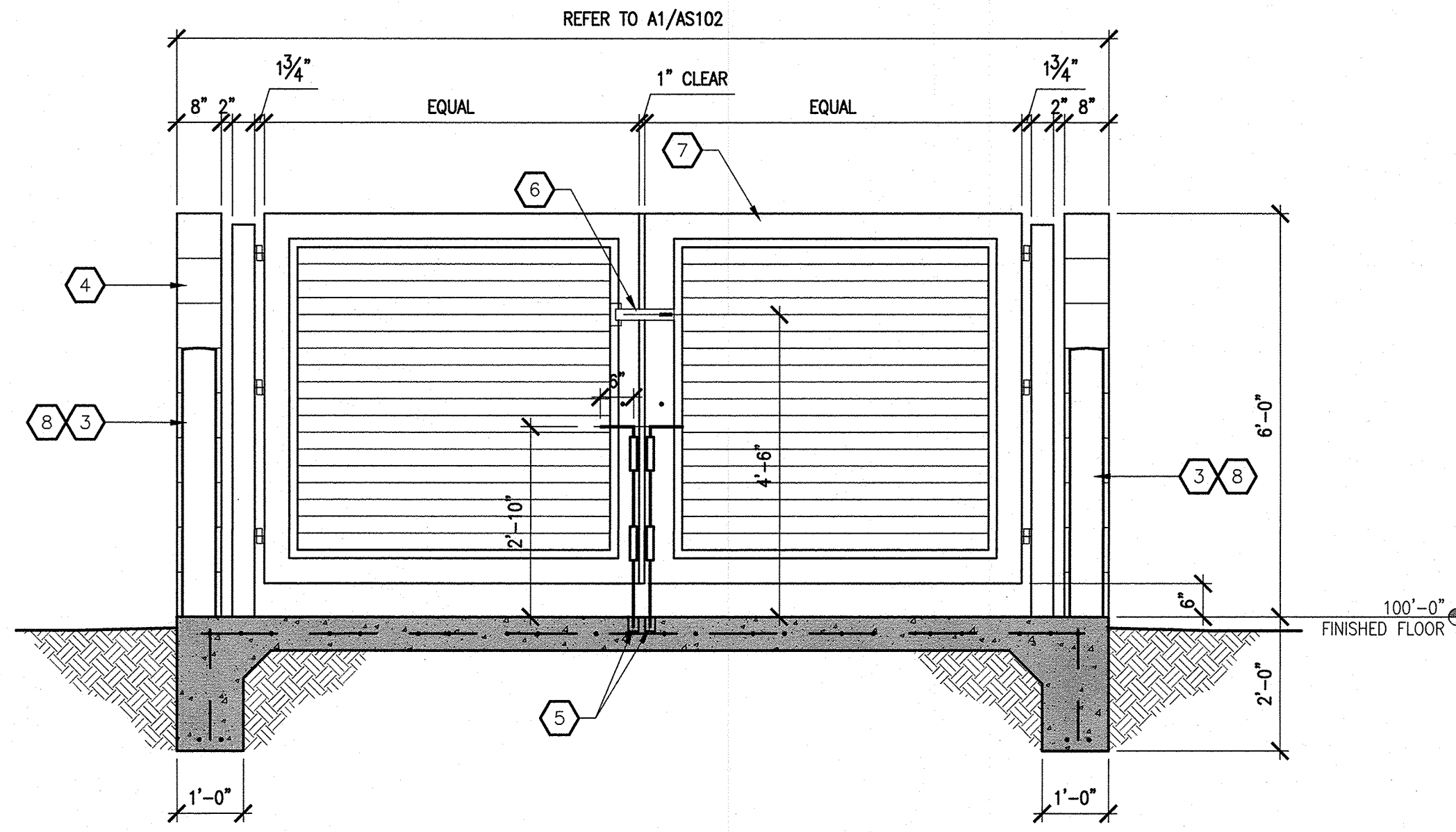
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218
03/10/2017

PROJECT TITLE BLAKE'S LOTABURGER #6 1640 GIBSON BLVD. SE ALBUQUERQUE, NEW MEXICO 87106	DRAWN BY DEVIN NGUYEN	DATE 03.10.2017	SHEET TCL
PROJECT MANAGER DEVIN NGUYEN	JOB NO. Blake's #6	SCALE AS NOTED	TRAFFIC CIRCULATION LAYOUT



D2 TAPERED RAMP
SCALE: NTS

Technical drawing showing the side elevation and front elevation of a tapered ramp. The side elevation shows a vertical structure with a tapered top, with dimensions including 4'-2" total width, 1'-5" side sections, and 1'-4" central section. The front elevation shows a similar structure with a 2'-0" central section. A detail view shows a cross-section of the ramp with dimensions 1'-0", 1'-3", 3'-6 1/8", 2'-4 1/8", 7", and 1'-0". A note indicates: "1/8\"

B2 REFUSE ENCLOSURE - SIDE ELEVATION
SCALE: 1/2" = 1'-0"

Technical drawing showing the side elevation of a refuse enclosure. The drawing includes a vertical dimension of 6'-0" and a horizontal dimension of 100'-0" labeled "FINISHED FLOOR". A note indicates: "REFER TO A1/AS102". A detail view shows a cross-section of the enclosure with dimensions 8", 4", and 8". A note indicates: "TYP. AT ALL T.S.-PIPE INTERSECTIONS GRIND SMOOTH/READY FOR PRIMER".

B1 BIKE RACK

SCALE: $1/2" = 1'-0"$

TOP VIEW

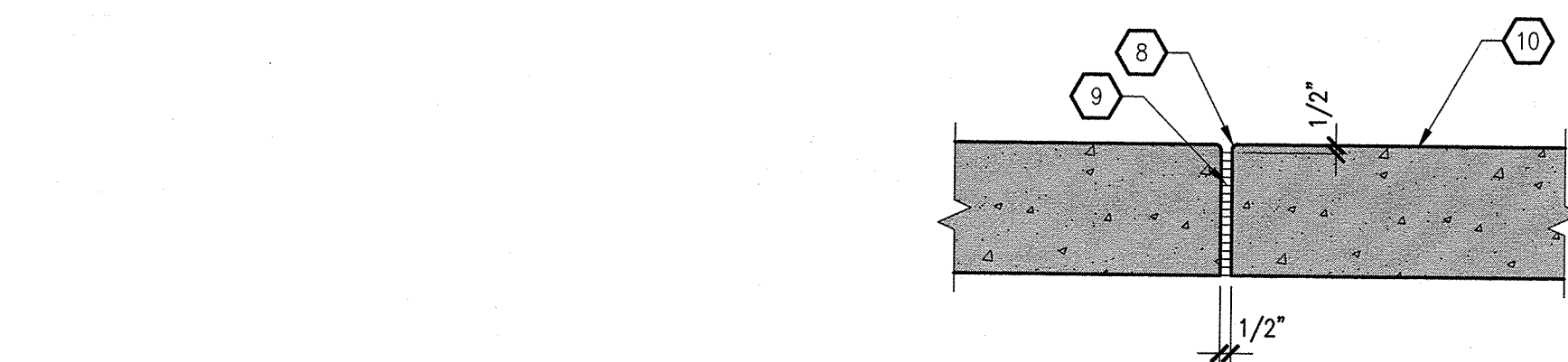
Dimensions and Callouts:

- Overall width: $12'-0"$ CLEAR
- Overall depth: $10'-8"$
- Top-left corner: $8'-0"$ (vertical), $1'-8"$ (horizontal), $3'-2'-0"$ (diagonal)
- Top-right corner: $12'-0"$ CLEAR
- Bottom-left corner: $1'-0"$ (vertical), $2'-0"$ (horizontal), $3'-8"$ (diagonal)
- Bottom-right corner: $1'-0"$ (vertical), $2'-0"$ (horizontal), $14'-8"$ (diagonal)
- Internal dimensions: $3'-8"$, $3'-8"$, $2'-0"$
- Callouts: 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 77

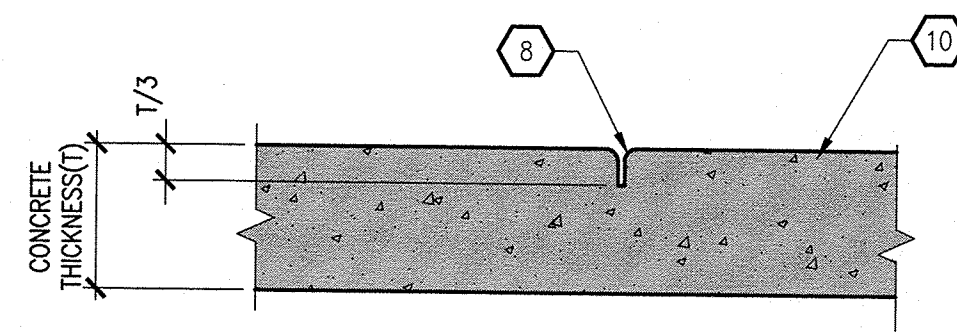
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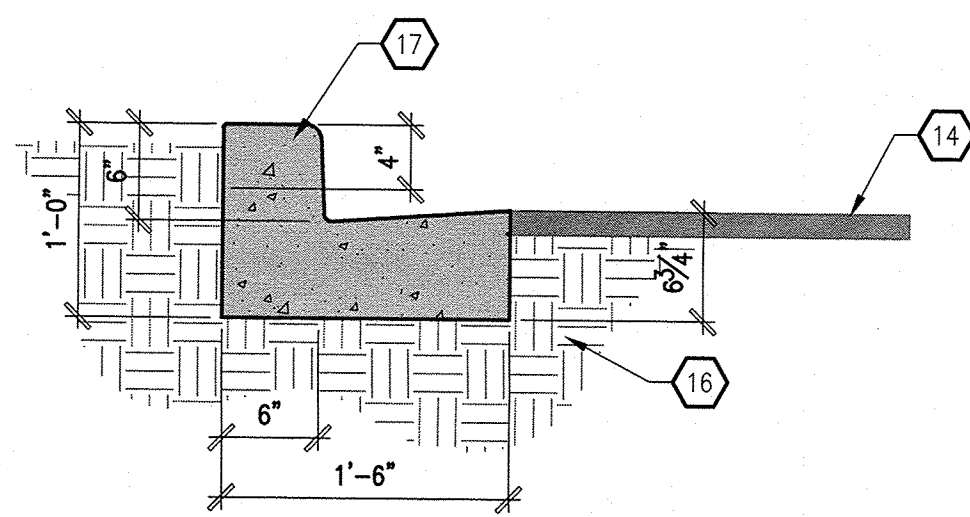
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MAR 27 2017
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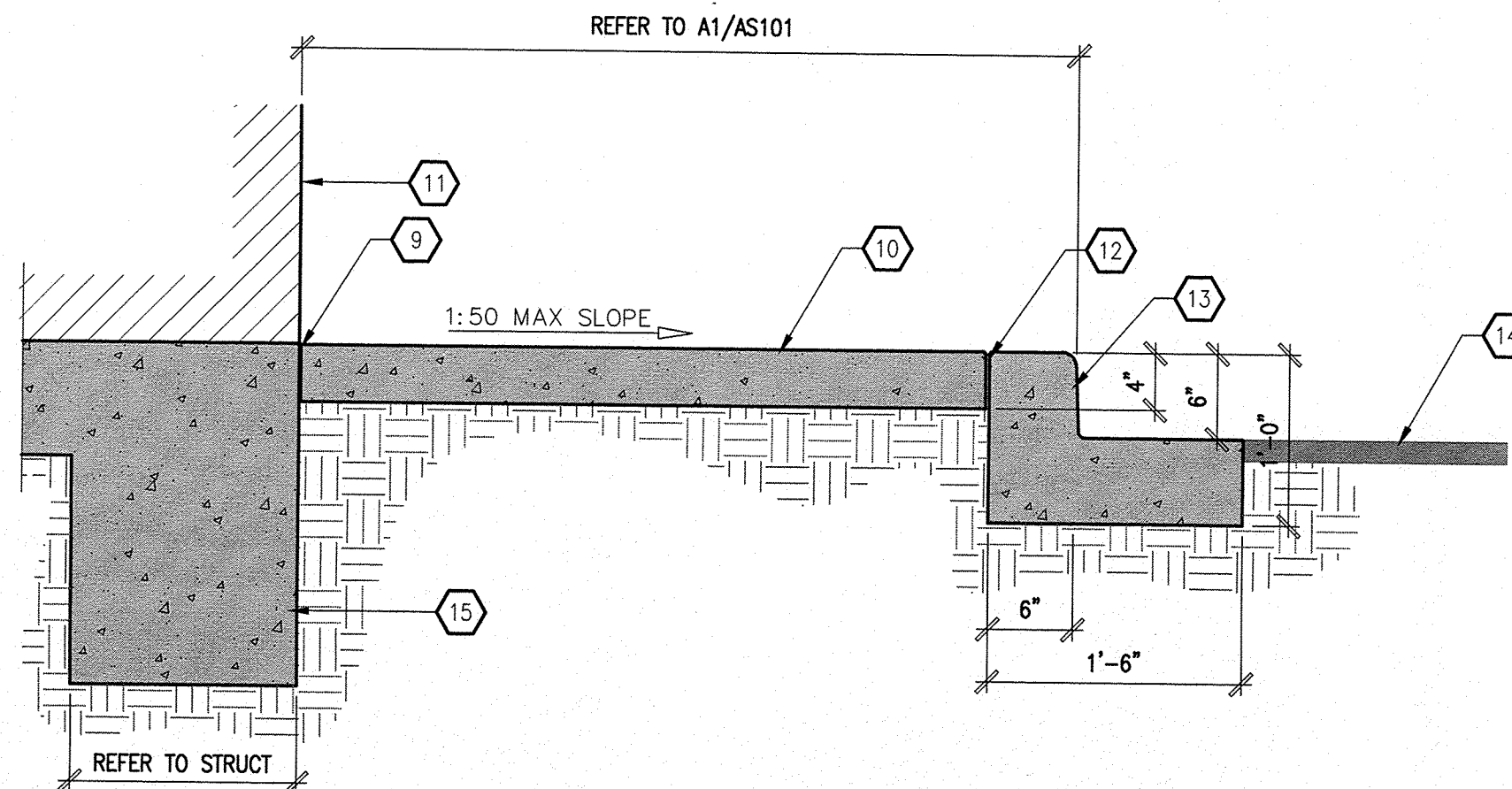
D2 CONCRETE EXPANSION JOINT
SCALE: 1-1/2" = 1'-0"



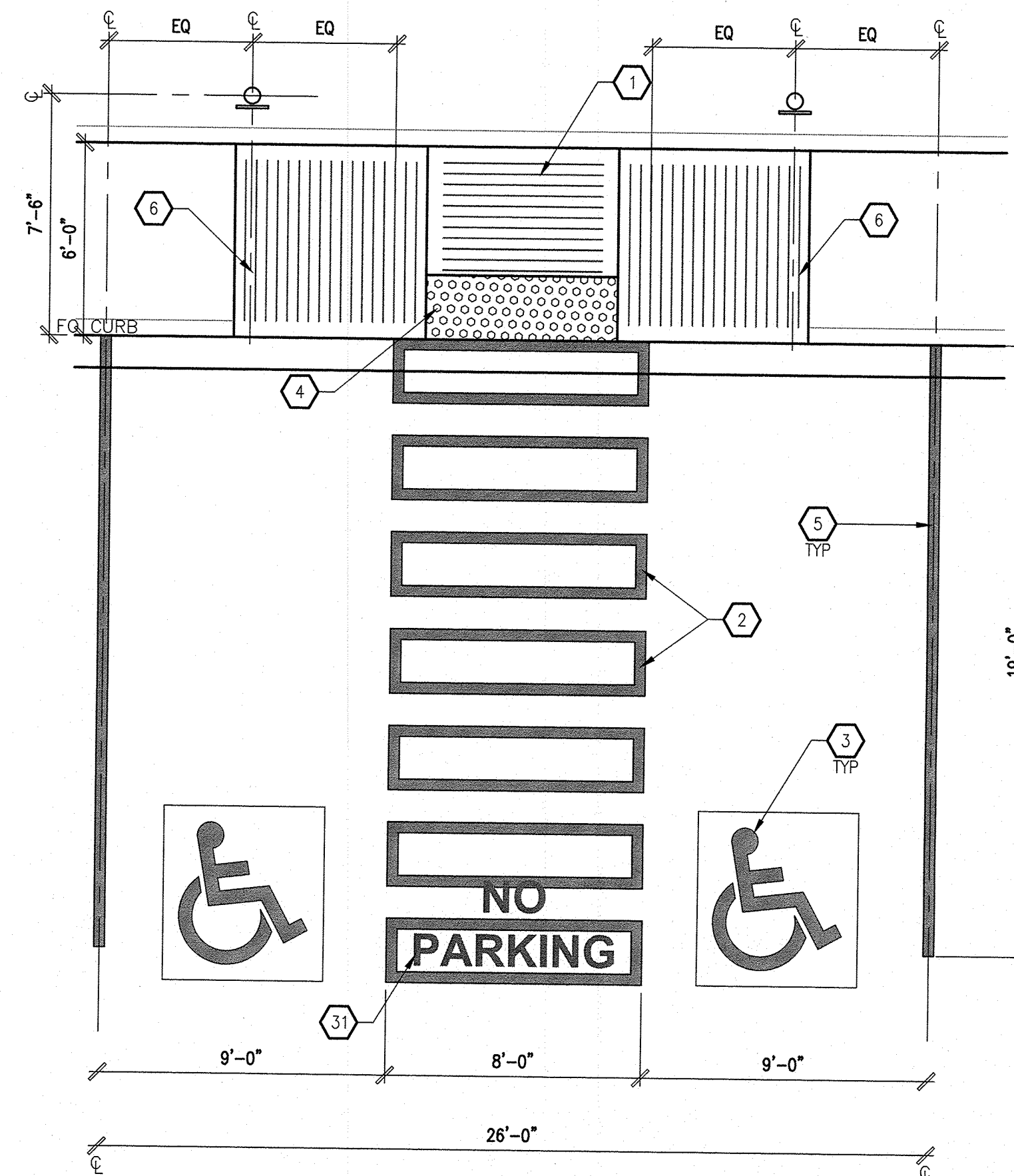
D3 CONCRETE CONTROL JOINT
SCALE: 1-1/2" = 1'-0"



C1 CURB AND GUTTER - SECTION
SCALE: 1" = 1'-0"

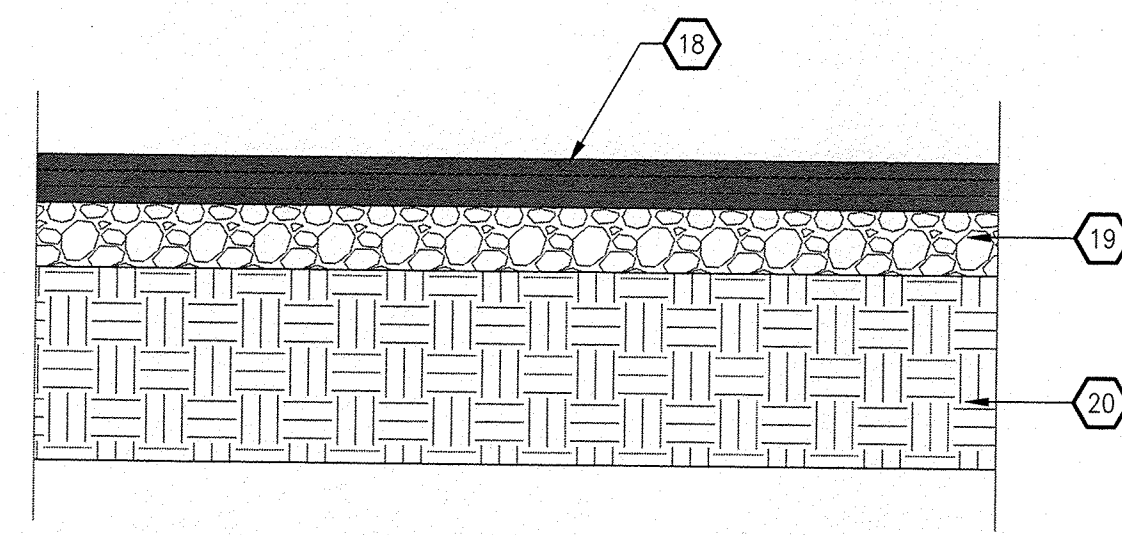


C3 CONCRETE SIDEWALK - SECTION
SCALE: 1" = 1'-0"

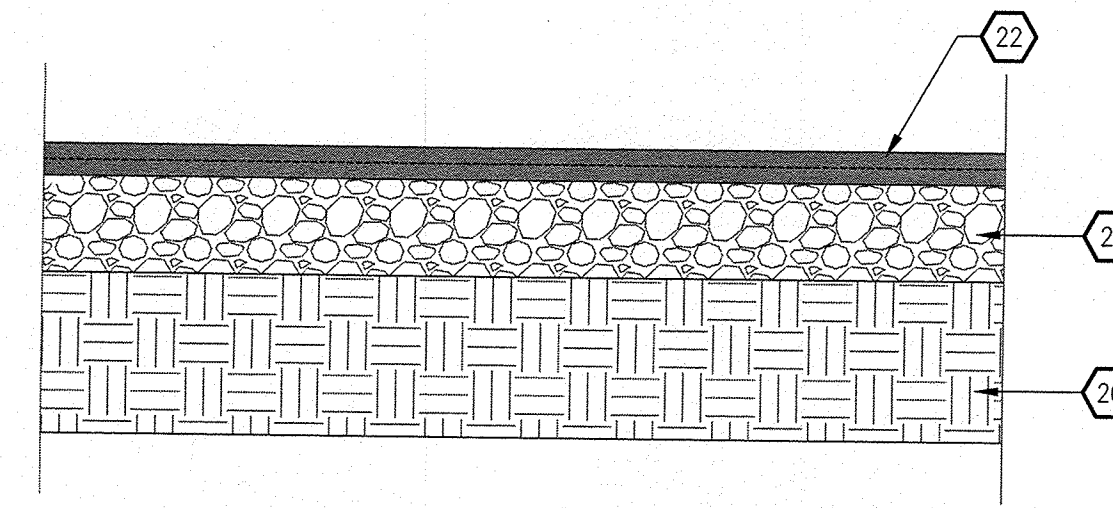


NOTE:
1. HC RAMP CONDITION VARIES; REFER TO SITE PLAN FOR RAMP TYPE.
2. SLOPE NOT TO EXCEED (NTE) 2% IN ANY DIRECTION.

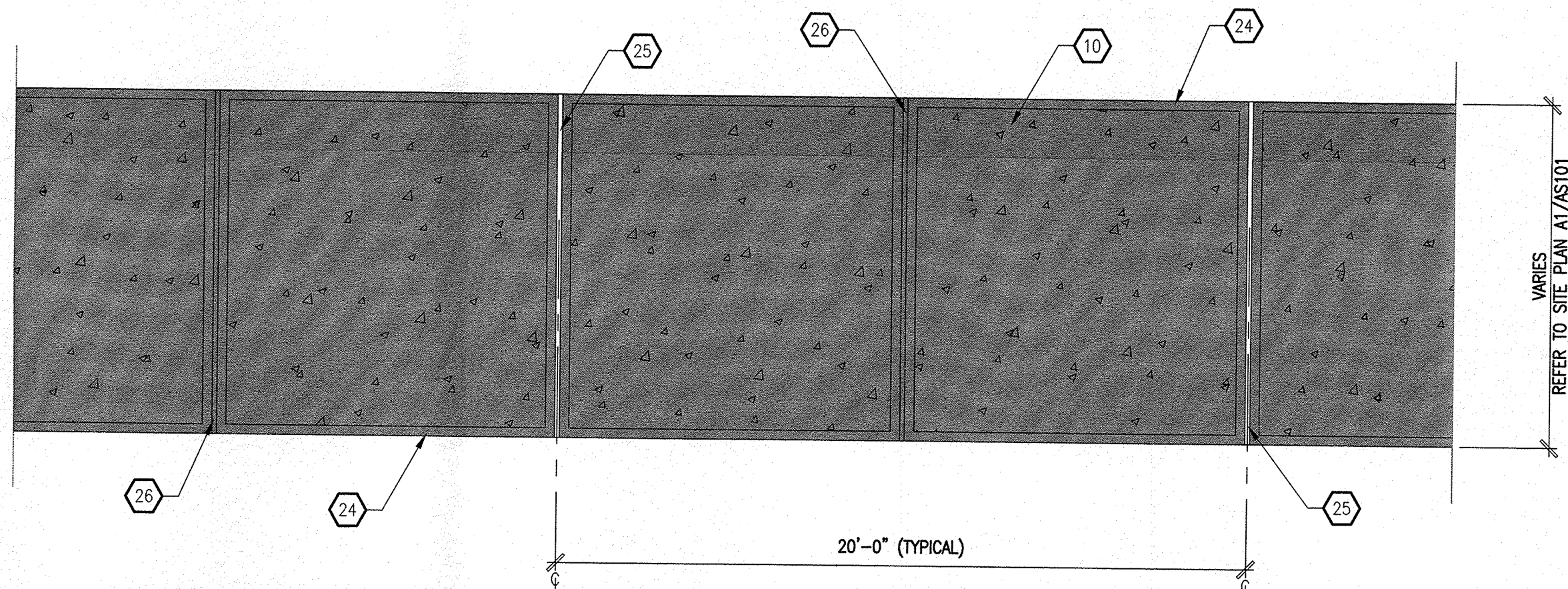
C5 HANDICAP PARKING AISLE - PLAN
SCALE: 1/2" = 1'-0"



B3 HEAVY DUTY ASPHALT - SECTION
SCALE: 1" = 1'-0"



B5 LIGHT DUTY ASPHALT - SECTION
SCALE: 1" = 1'-0"



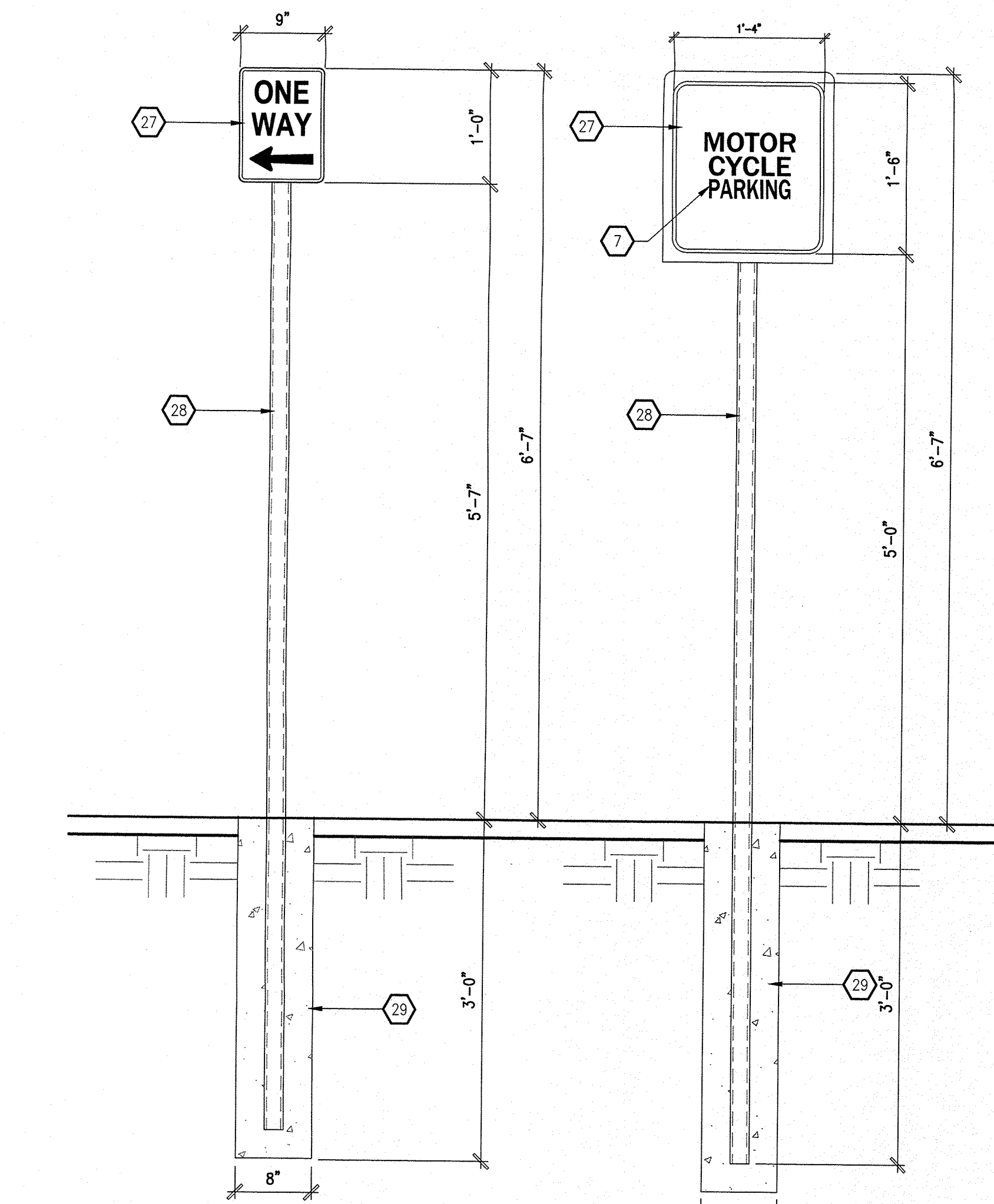
A4 TYPICAL SIDEWALK
SCALE: 1/2" = 1'-0"

GENERAL NOTES

- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- REFER TO SHEET C1.1 FOR GRADING PLAN.
- REFER TO SHEET C1.2 FOR DRAINAGE MANAGEMENT PLAN.
- REFER TO SHEET C2.1 FOR UTILITY PLAN.
- INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.

KEYED NOTES

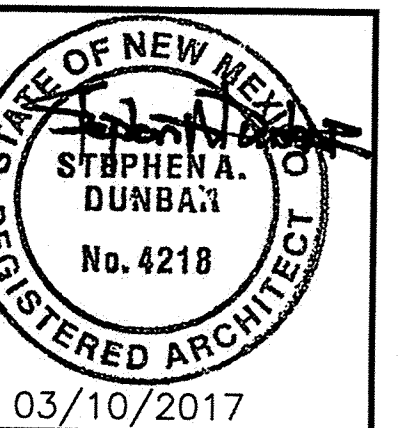
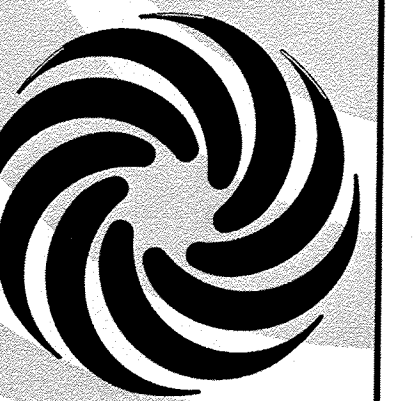
- TAPERED ADA RAMP: REFER TO D2/AS102 FOR ADDITIONAL INFORMATION.
- WALK PATH MARKING: REFER TO C3/AS104 FOR ADDITIONAL INFORMATION.
- ACCESSIBLE MARKING: REFER TO C5/AS104 FOR ADDITIONAL INFORMATION.
- TRUNCATED DOME-TYPE SURFACE APPLIED TILE: 2'-0"W.
- 4" WIDE PARKING STRIPING.
- HANDICAP SIGNAGE: REFER TO A1/AS104 FOR ADDITIONAL INFORMATION.
- "MOTOR CYCLE PARKING" SIGN WHERE INDICATED ON PLANS.
- 1/2" WIDE TOOLED JOINT WITH 1/4" RADIUS ON EXPOSED EDGES @ 6'-0" OC MAXIMUM.
- 1/2" EXPANSION JOINT MATERIAL WITH 1/4" RADIUS ON EXPOSED EDGES @ 20'-0" OC MAXIMUM.
- CAST-IN-PLACE (CIP) CONCRETE WALKWAY.
- FACE OF BUILDING.
- CONCRETE EXPANSION JOINT: REFER TO D2/AS103 FOR ADDITIONAL INFORMATION.
- CONCRETE CURB AND GUTTER: REFER TO C1/AS103 FOR ADDITIONAL INFORMATION.
- PAVEMENT: REFER TO A1/AS101 FOR ADDITIONAL INFORMATION.
- STRUCTURAL FOUNDATION SYSTEM: REFER TO SHEET S101 FOR ADDITIONAL INFORMATION.
- SUBGRADE.
- CAST-IN-PLACE (CIP) CONCRETE CURB.
- 3" ASPHALT CONCRETE PAVEMENT.
- 4" BASE COURSE.
- 10" COMPACTED SUBGRADE.
- 2" ASPHALT CONCRETE PAVEMENT.
- PORTION OF CONCRETE CURB TO RECEIVE PAINT FINISH: SAFETY YELLOW IN COLOR.
- SMOOTH TOOLED FINISH.
- CONCRETE EXPANSION JOINT: REFER TO D2/AS103 FOR ADDITIONAL INFORMATION.
- CONCRETE CONTROL JOINT: REFER TO D3/AS103 FOR ADDITIONAL INFORMATION.
- 1/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
- 2" OD GALVANIZED STEEL SIGN POST.
- 3,500 PSI CONCRETE FOUNDATION.
- RE-COMPACTED SUBGRADE.
- "NO PARKING" PAVEMENT MARKING: LETTERS SHALL BE 12" IN HEIGHT AND 2" WIDE PLACED AT REAR OF ACCESS AISLE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE REAR TIRES WOULD BE PLACED.



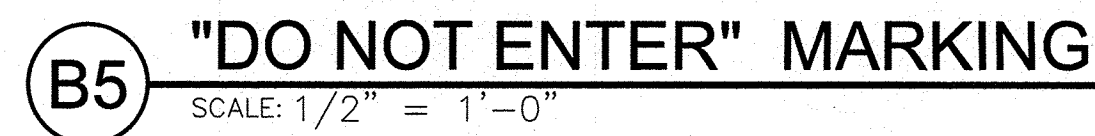
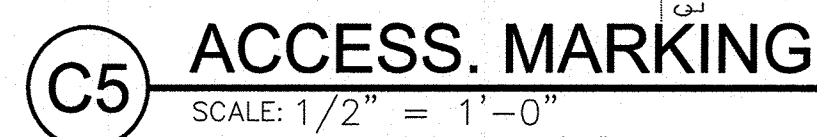
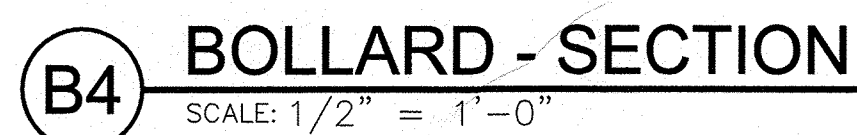
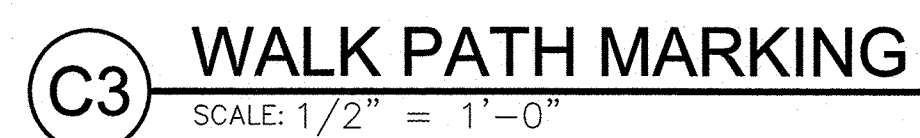
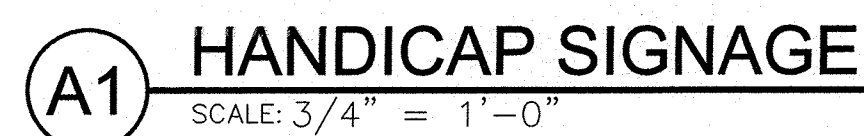
A1 MISC. SIGNAGE
SCALE: 1" = 1'-0"

A2 MISC. SIGNAGE
SCALE: 1" = 1'-0"

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE BLAKE'S LOTABURGER #6		DRAWN BY: DEVIN NGUYEN	
1640 GIBSON BLVD. SE ALBUQUERQUE, NEW MEXICO 87106		JOB NO. Blake's #6	
PROJECT MANAGER DEVIN NGUYEN		SHEET TITLE SITE DETAILS	
DATE: 03.10.2017		SHEET NO. AS103	
SCALE: AS NOTED		of:	



- AS

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