

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

May 13, 2014

Joel Hernandez
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Chili's, 1700 Miles Road SE
Traffic Circulation Layout
Engineer's Stamp dated 12-31-14 (M15-D012B)

Dear Mr. Hernandez,

The TCL submittal received 05-13-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chilis Gibson & University City Drainage #: M15-D012B
DRB#: 15DRB-70091 EPC#: _____ Work Order#: _____
Legal Description: Tract A-1 Airport Center
City Address: 1700 Miles RD Albuquerque, NM

Engineering Firm: Tierra West, LLC Contact: Joel Hernandez
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: jdhernandez@tierrawestll.com

Owner: Josh Skarsgard Contact: _____
Address: 8220 San Pedro NE Suite 500
Phone#: 505-262-2323 Fax#: _____ E-mail: josh@skarsgardfirm.com

Architect: GHA Architecture/Development Contact: Keilah Brown
Address: 14901 Quorum Drive, Suite 300 Dallas Texas 75254
Phone#: 972-238-8884 Fax#: 972-239-5054 E-mail: kbrown@GHA-Architects.com

Surveyor: Precision Surveys Contact: Larry Medrano
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-856-5700 Fax#: _____ E-mail: larry@presurv.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☒ OTHER (SPECIFY) Information Only

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

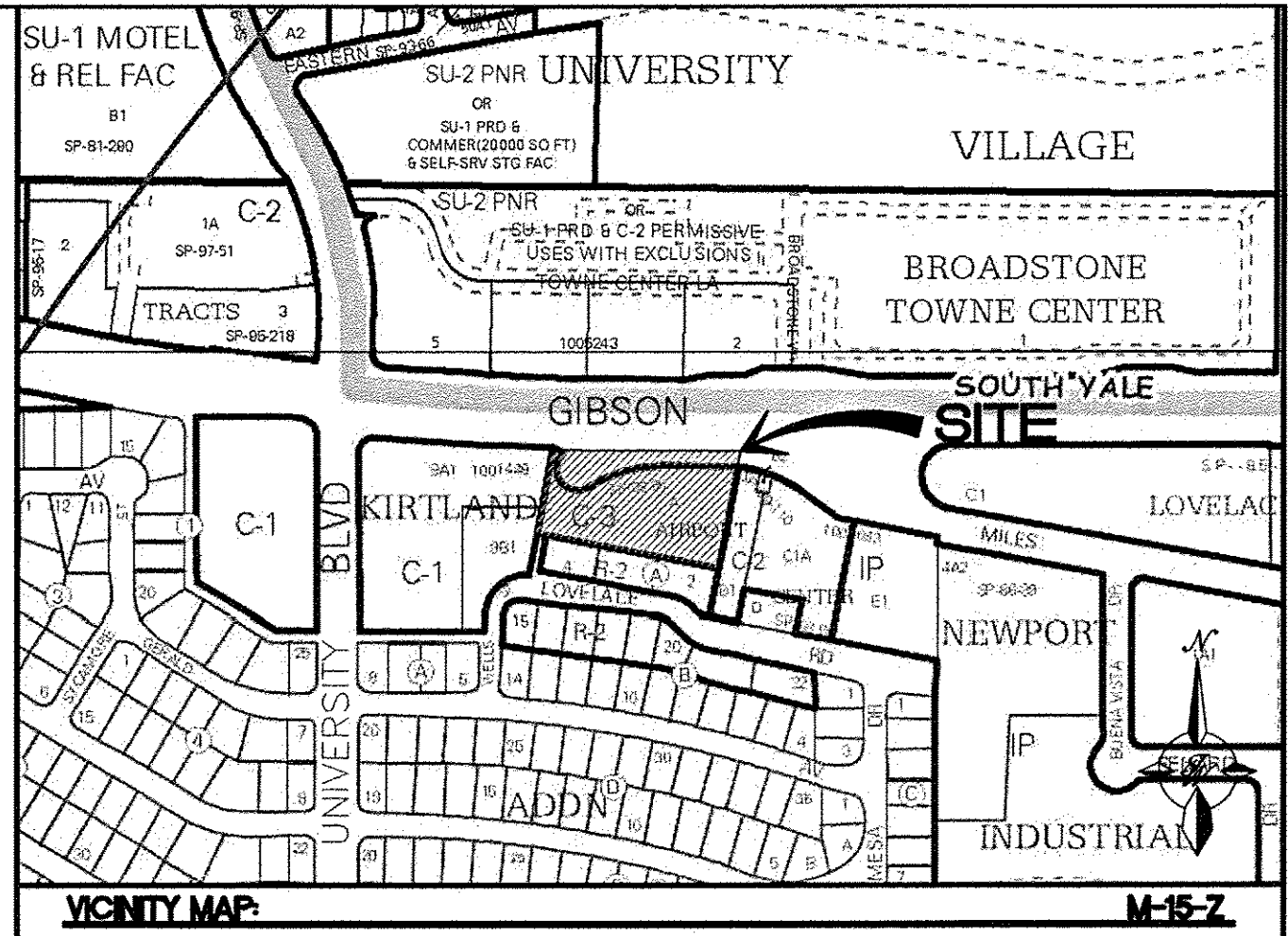
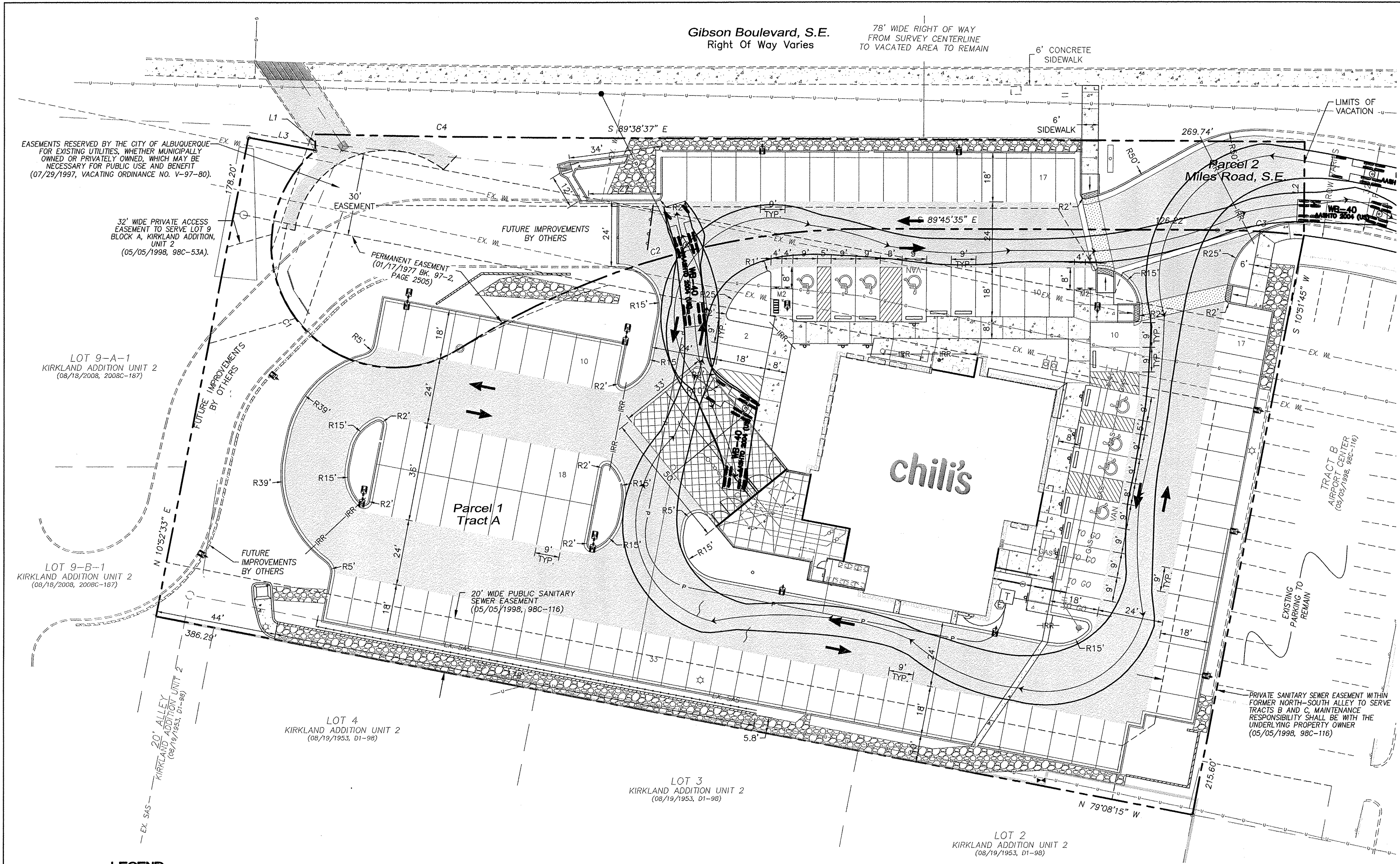
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 05/12/2015 By: Joel Hernandez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



LEGAL DESCRIPTION
TRACT A, OF TRACTS A-E, AIRPORT CENTER

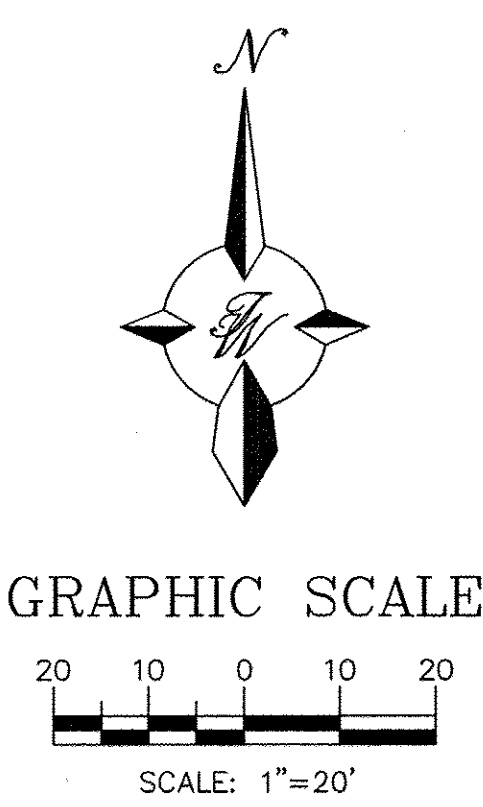
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - BUILDING
 - SIDEWALK
 - EXISTING SCREEN WALL
 - RETAINING WALL
 - STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - TRANSFORMER
 - SITE LIGHTING (SEE LIGHTING PLAN)
 - LIGHT DUTY PAVING (AC)
 - HEAVY DUTY PAVING (AC)
 - 7' CONCRETE APRON

SITE DATA
ADDRESS: 1700 MILES RD SE
LEGAL DESCRIPTION: TRACT A OF TRACTS A THROUGH E, AIRPORT CENTER
ZONING: C-3
SITE AREA: 1.90 ACRES

PROPOSED USE
RESTAURANT BAR WITH 249 SEATS
(294 PROPOSED OCCUPANT LOAD)

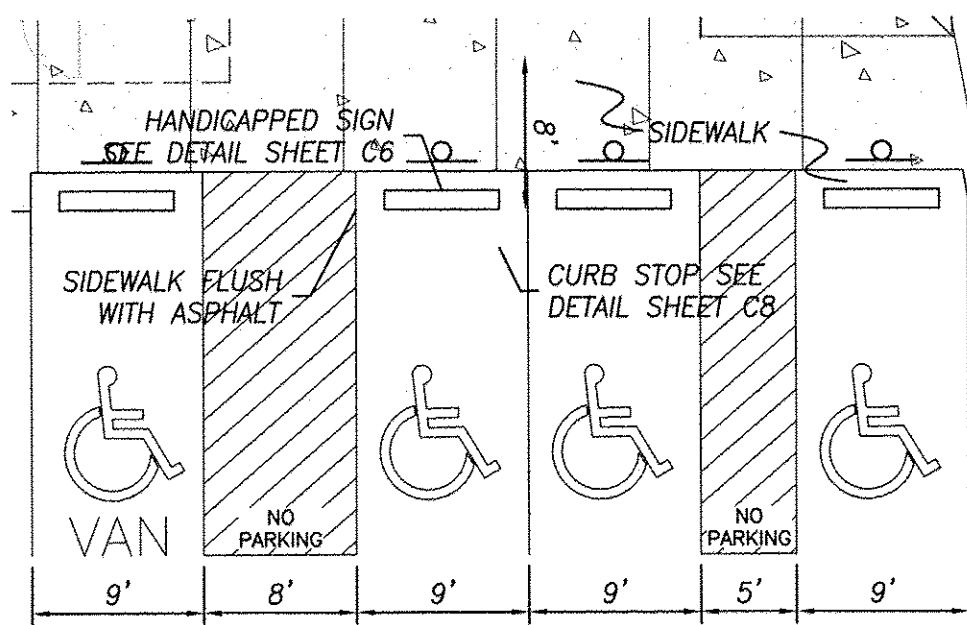
PARKING REQUIRED
ONE AUTOMOBILE SPACE PER THREE PERSONS OF PERMITTED FIRE OCCUPANCY LOAD (294/3)=98
ADA ACCESSIBLE SPACES REQUIRED: 8 (2 VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED: 3
ONE BICYCLE SPACE PER 20 REQUIRED AUTO SPACES (98/20)=5

PARKING PROVIDED
STANDARD SPACES: 109
ADA ACCESSIBLE SPACES: 8 (2 VAN ACCESSIBLE)
TOTAL AUTOMOBILE SPACES: 117
MOTORCYCLE SPACES: 4
BICYCLE SPACES: 1 RACK (5 SPACES)



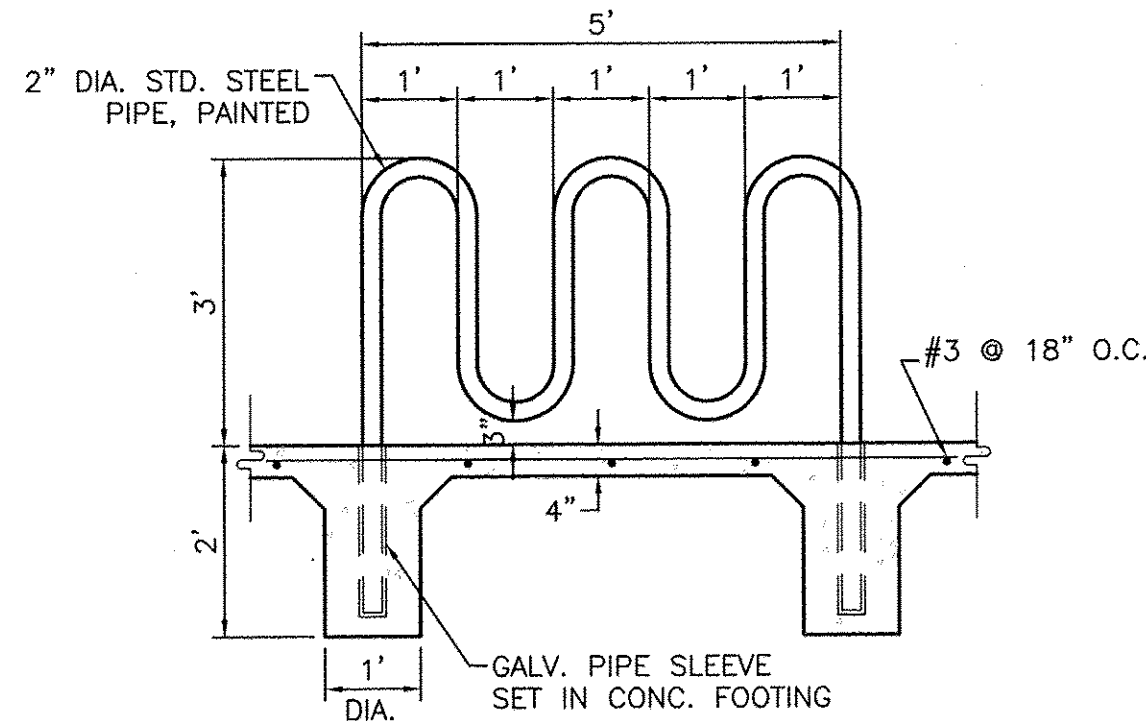
	ENGINEER'S SEAL	CHILI'S UNIVERSITY BLVD & GIBSON BLVD	DRAWN BY DY
		TCL- DELIVERY VEHICLE EXHIBIT	DATE 11/11/14
		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2013086-SPE-DELIVERY
			SHEET # TCL-2
RONALD R. BOHANNON P.E. #7868			JOB # 2013086

ISSUE FOR PERMIT 9/17/14

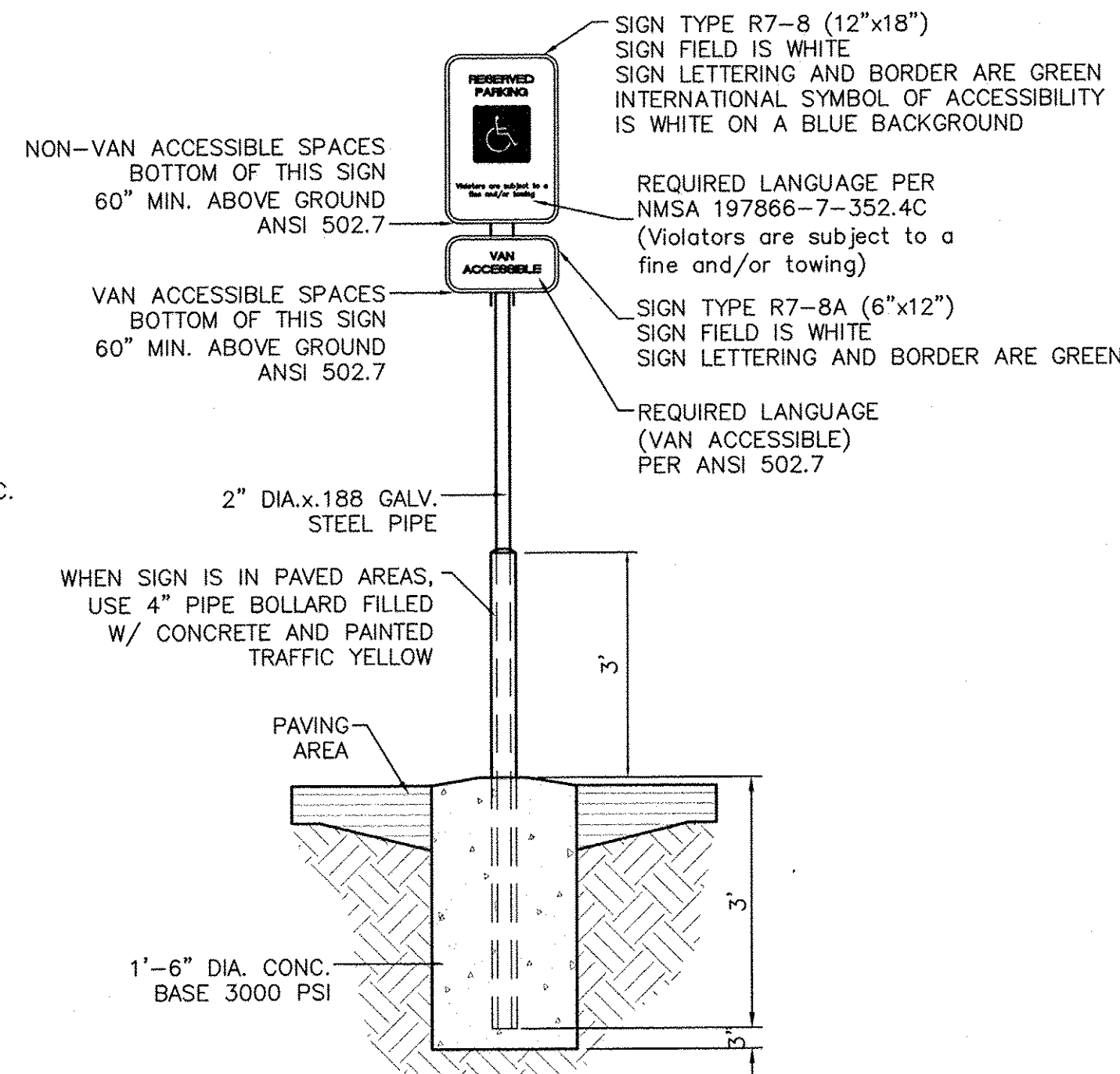


NOTES:
 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 2) Parking space lines and diagonal striping to be painted blue.
 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

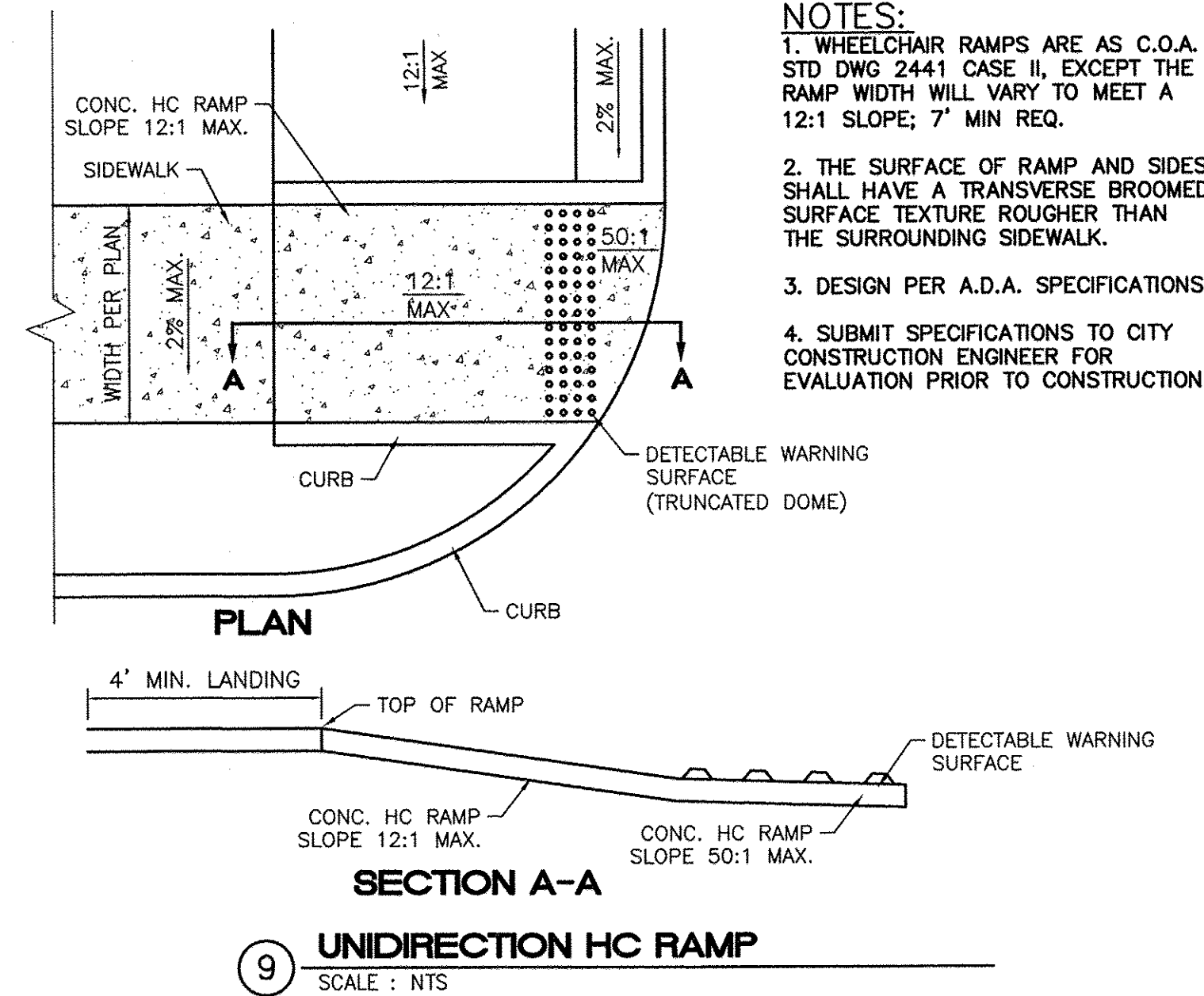
1 HC PARKING DETAIL
 NTS



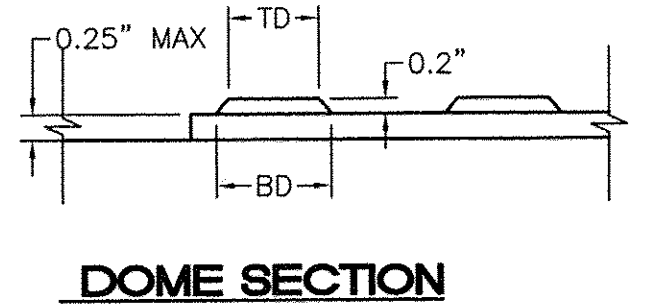
2 BIKE RACK DETAIL
 SCALE: 1/2"=1'



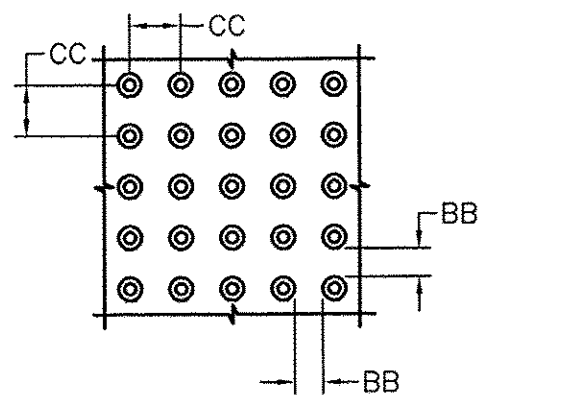
7 ACCESSIBLE PARKING LOT SIGN
 NTS



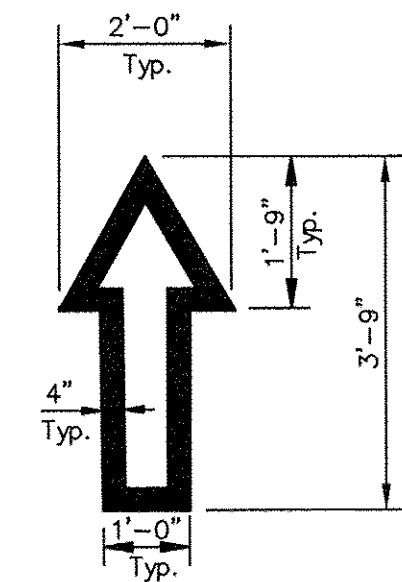
9 UNIDIRECTION HC RAMP
 SCALE: NTS



DOME SECTION

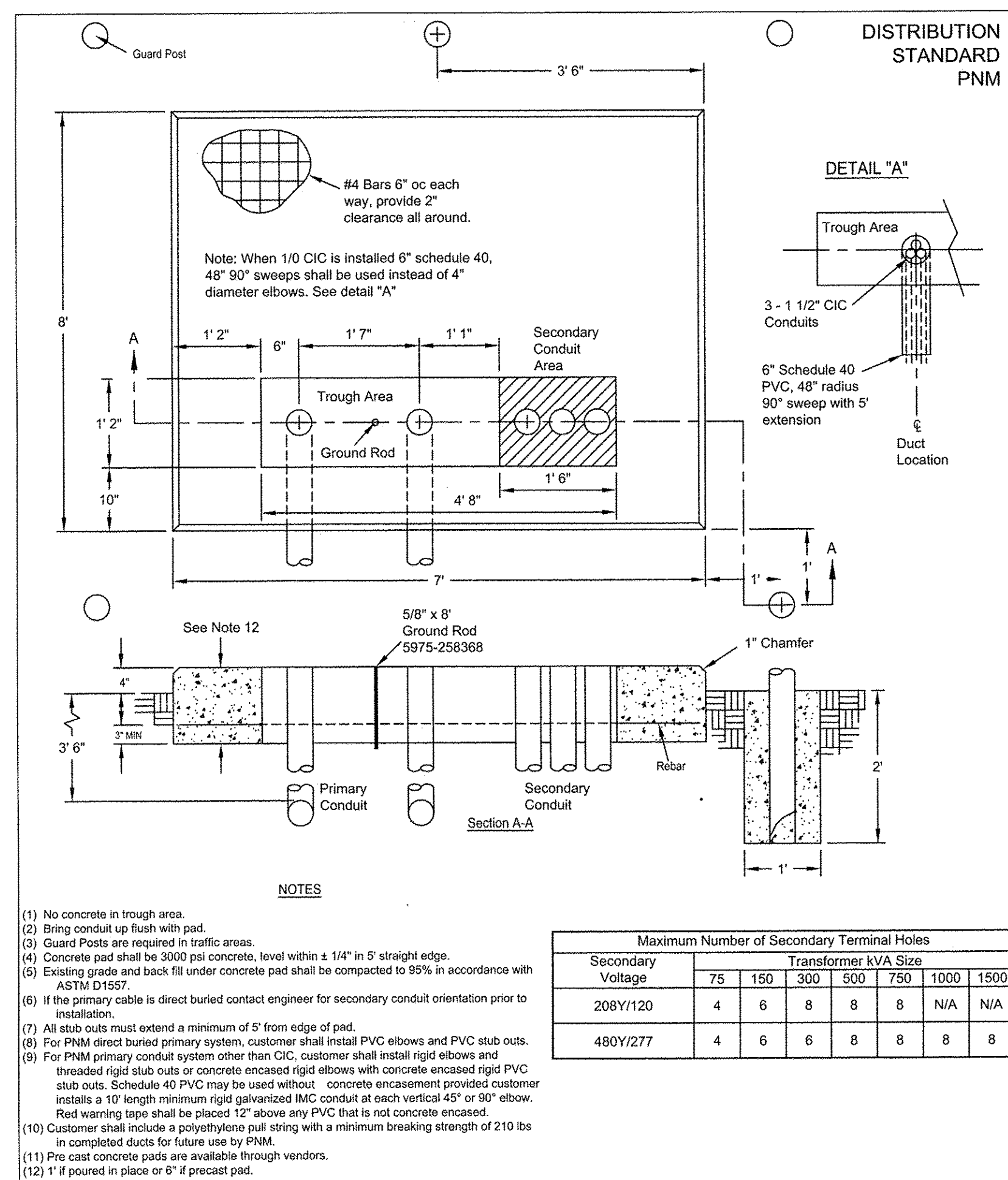


DOME SPACING
 CC - CENTER TO CENTER SPACING
 2.35"
 BB - BASE TO BASE SPACING
 1.48" MIN



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

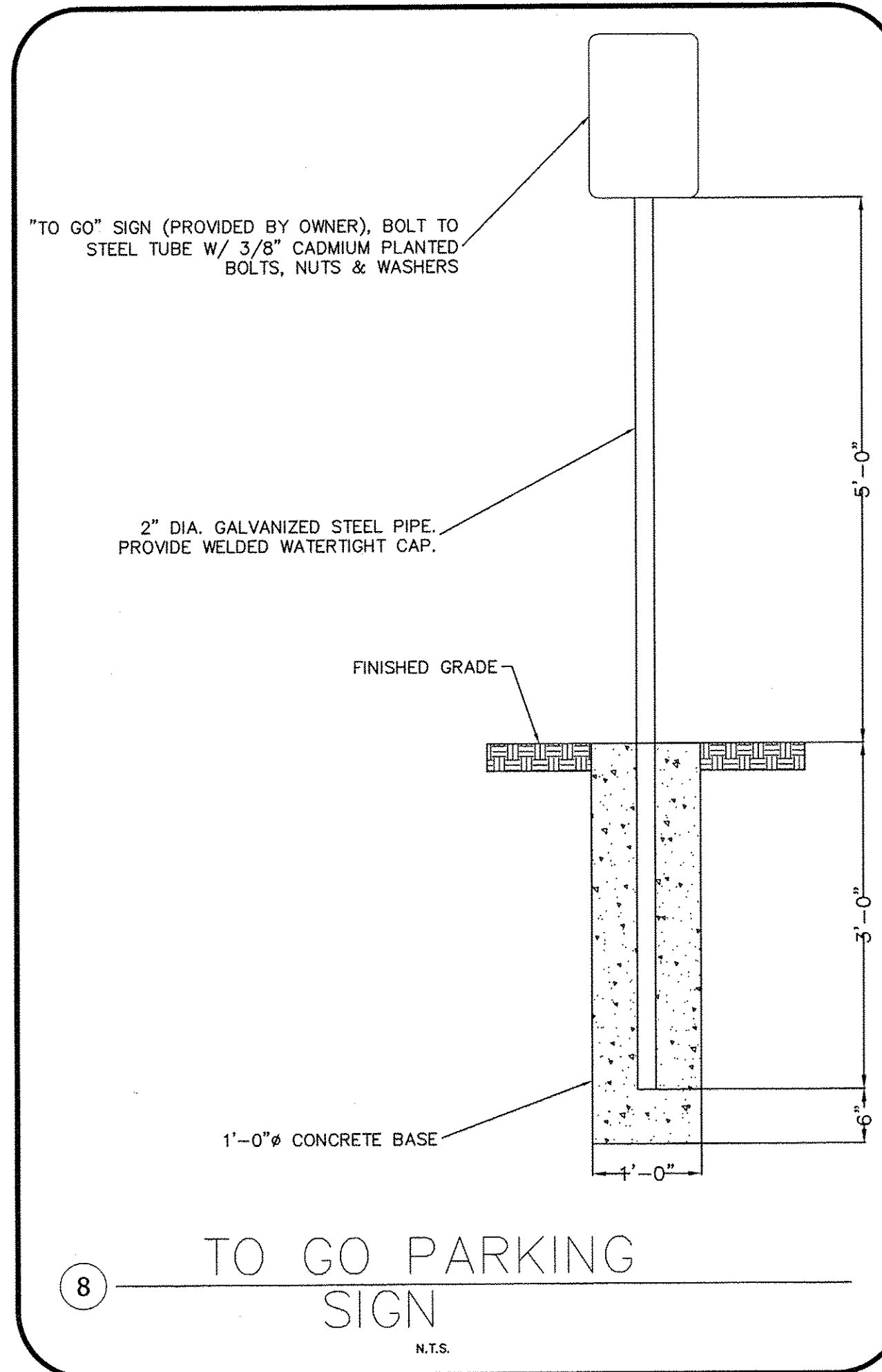
TRAFFIC FLOW ARROW
 N.T.S.



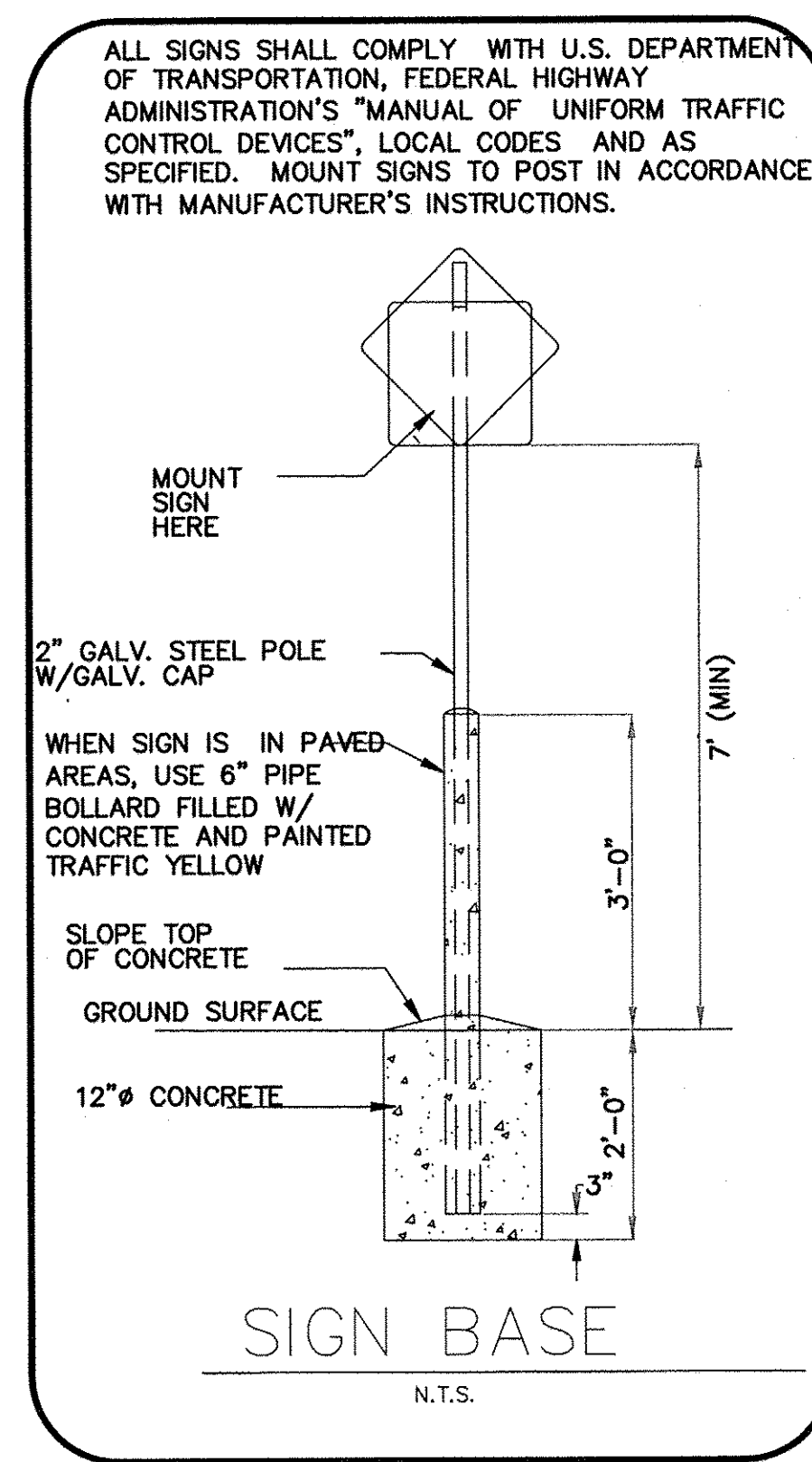
NOTES:
 (1) No concrete in trough area.
 (2) Bring conduit up flush with pad.
 (3) Guard Posts are required in traffic areas.
 (4) Concrete pad shall be 3000 psi concrete, level within $\pm 1/4"$ in 5' straight edge.
 (5) Existing grade and back fill under concrete pad shall be compacted to 95% in accordance with ASTM D1557.
 (6) If the primary cable is direct buried contact engineer for secondary conduit orientation prior to installation.
 (7) All stub outs must extend a minimum of 5' from edge of pad.
 (8) For PNM direct buried primary system, customer shall install PVC elbows and PVC stub outs.
 (9) For PNM primary conduit system other than CIC, customer shall install rigid elbows and threaded rigid stub outs or concrete encased rigid elbows with concrete encased rigid PVC stub outs. Schedule 40 PVC may be used without concrete encasement provided customer installs a 10' length minimum rigid galvanized IMC conduit at each vertical 45° or 90° elbow. Red warning tape shall be placed 12" above any PVC that is not concrete encased.
 (10) Customer shall include a polyethylene pull string with a minimum breaking strength of 210 lbs in completed ducts for future use by PNM.
 (11) Pre cast concrete pads are available through vendors.
 (12) 1" if poured in place or 6" if precast pad.

TRANSFORMER PAD DETAIL

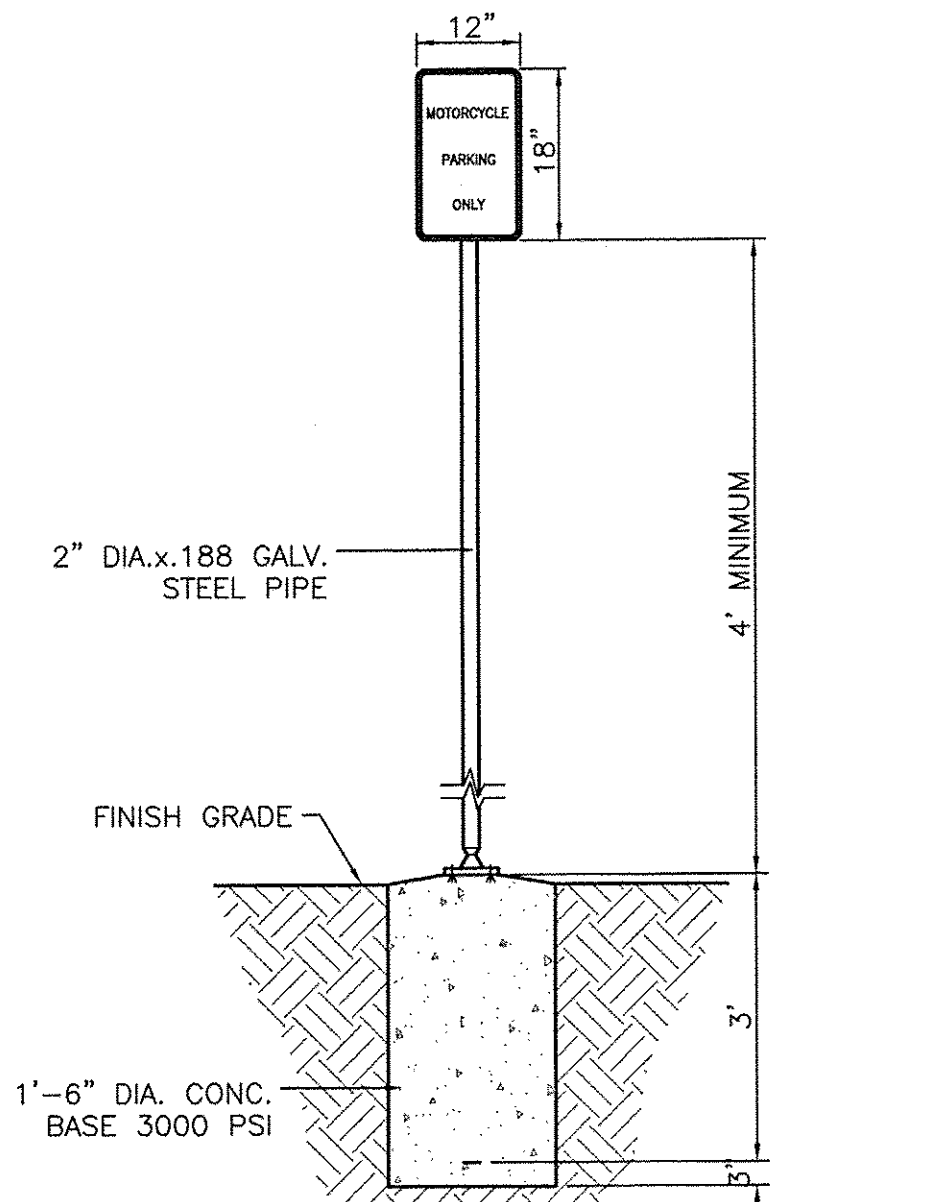
Secondary Voltage	Maximum Number of Secondary Terminal Holes					
	Transformer kVA Size					
208Y/120	4	6	8	8	8	N/A
480Y/277	4	6	6	8	8	8



8 TO GO PARKING SIGN
 N.T.S.



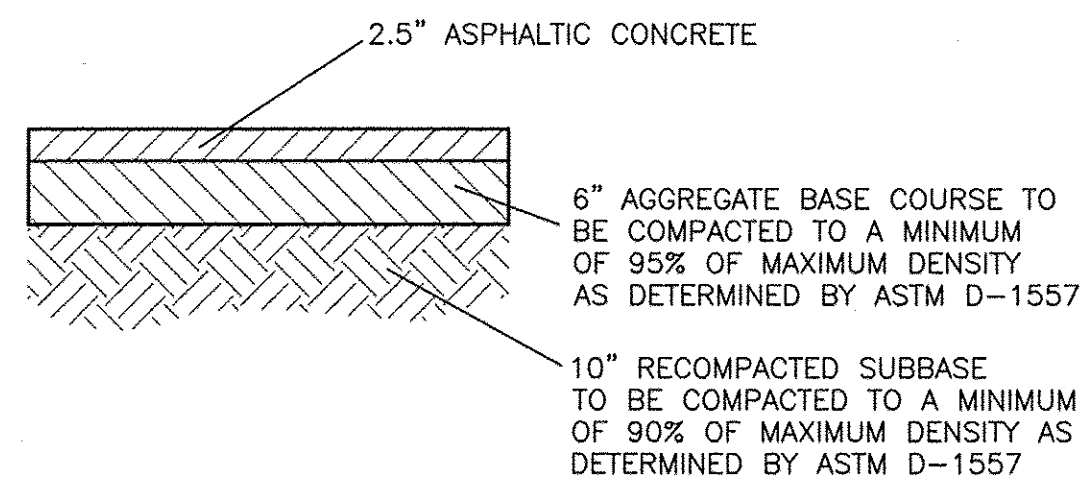
SIGN BASE
 N.T.S.



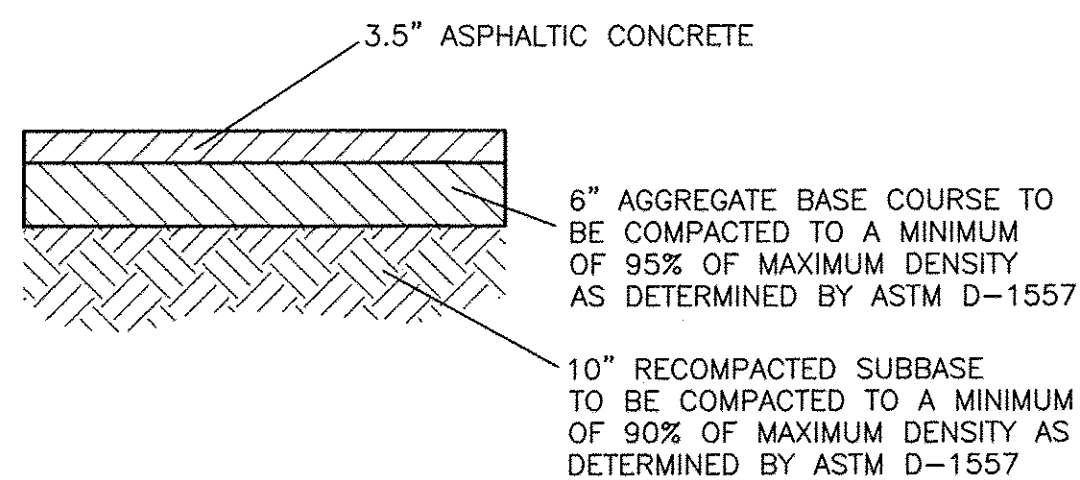
10 MOTORCYCLE PARKING SIGN
 SCALE: NTS

	ENGINEER'S SEAL	CHILI'S UNIVERSITY BLVD & GIBSON BLVD	DRAWN BY DY
		DETAIL SHEET	DATE 11/11/14
			2013086_DTE
			SHEET # C6
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2013086	

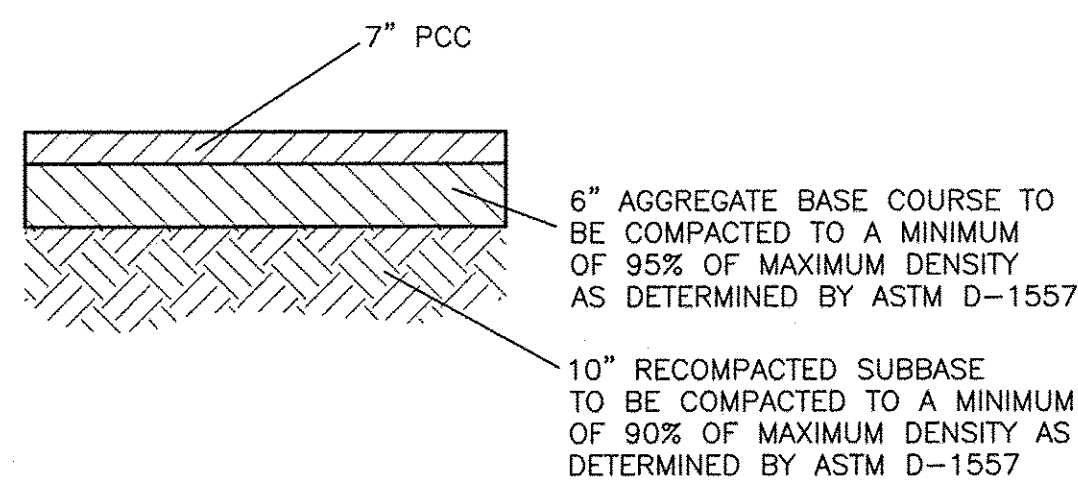
ISSUE FOR PERMIT 9/17/14



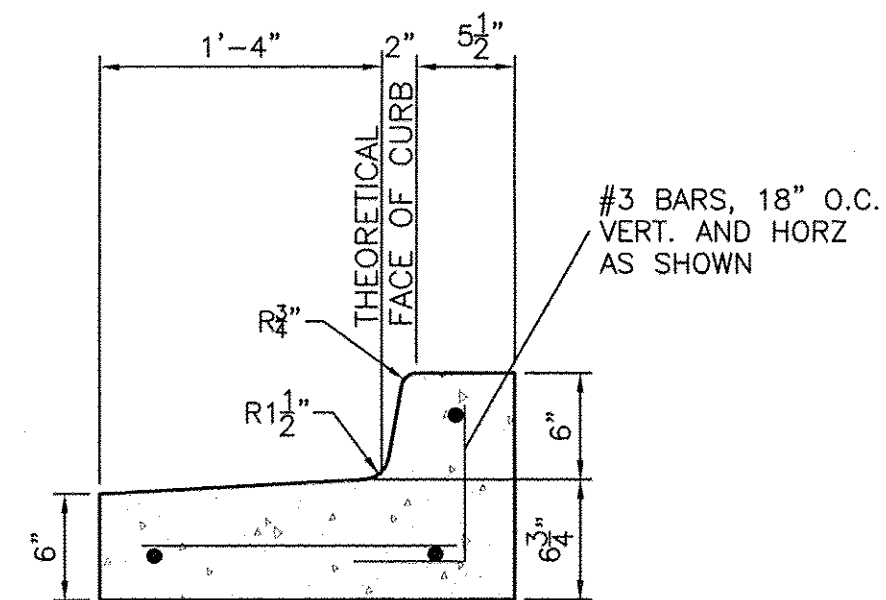
1 TYPICAL LIGHT DUTY PAVING SECTION
NTS



2 TYPICAL HEAVY DUTY PAVING SECTION
NTS

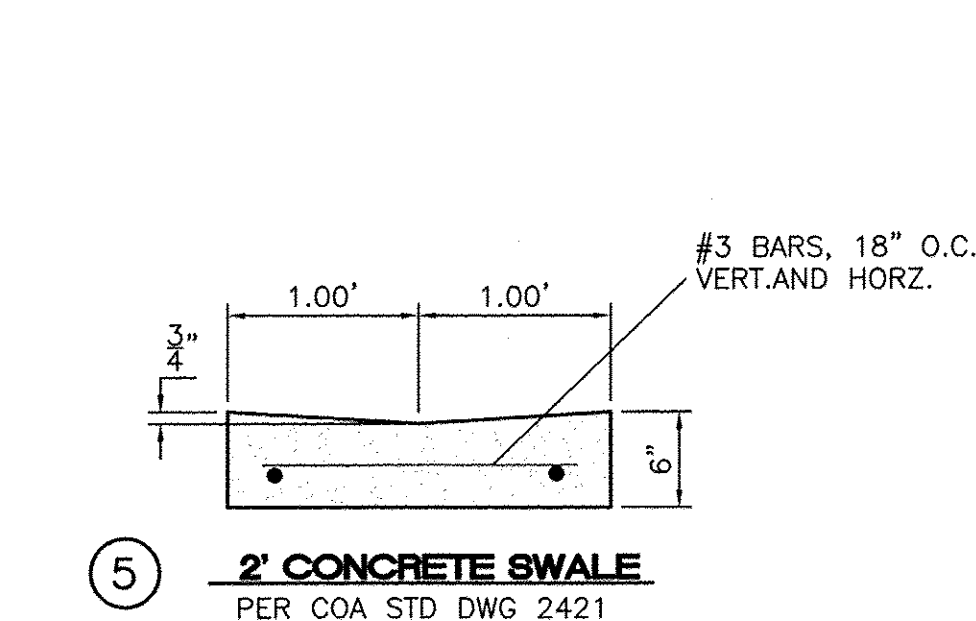


3 TYPICAL HEAVY DUTY PCC SECTION
NTS

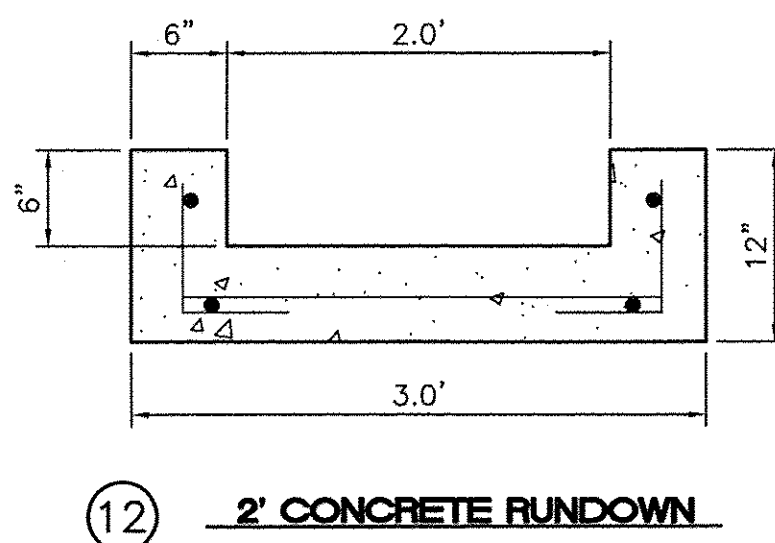


- CURB GENERAL NOTES:
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

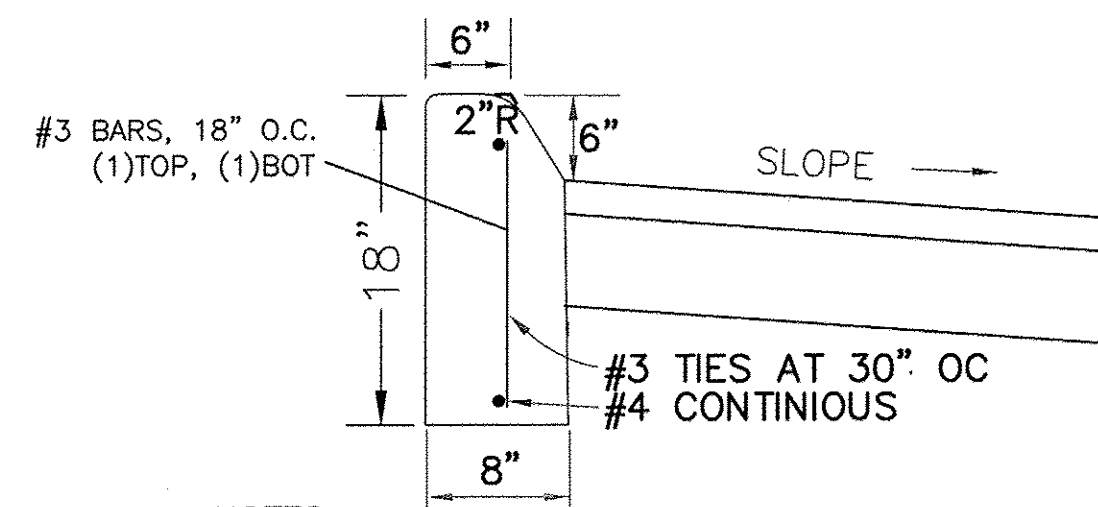
3 PRIVATE CURB / GUTTER
NTS



5 2' CONCRETE SWALE
PER COA STD DWG 2421

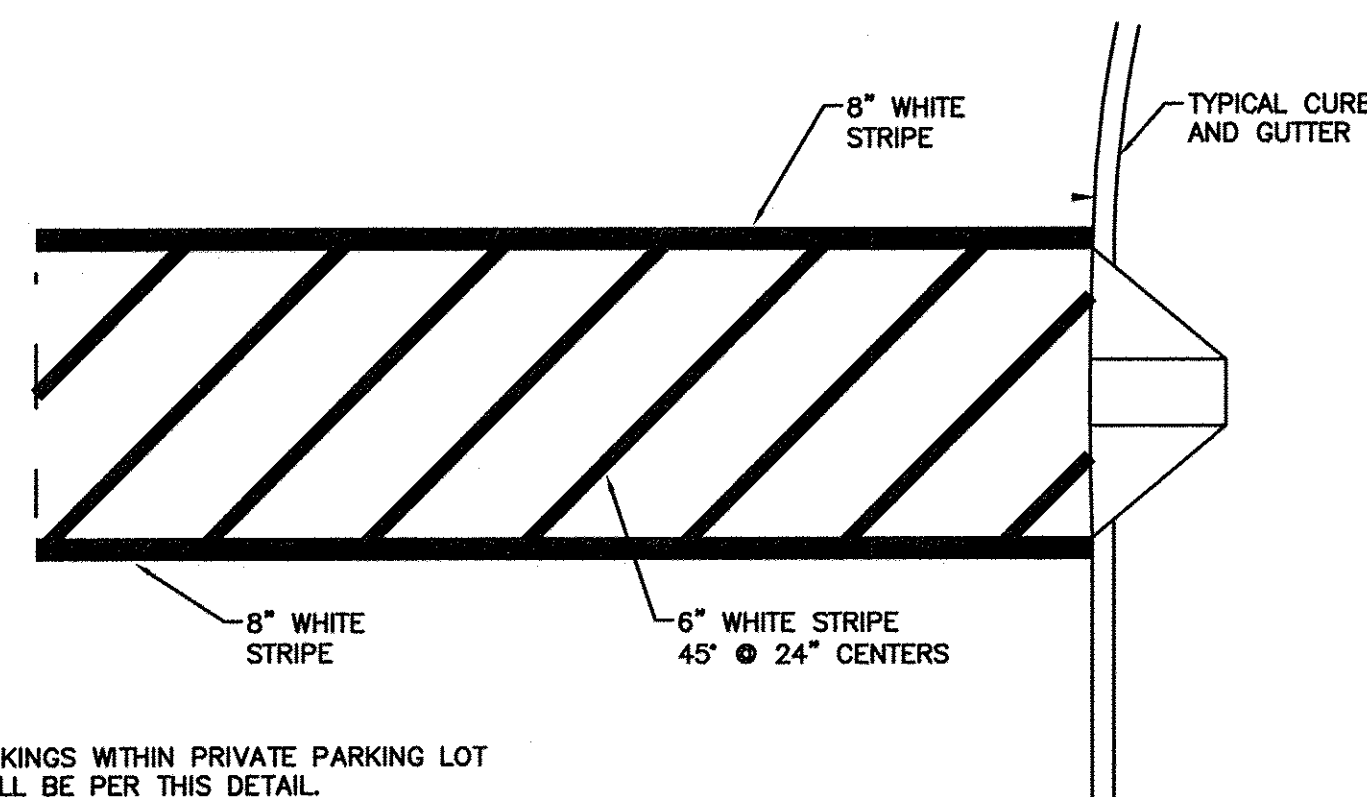


12 2' CONCRETE RUNDOWN



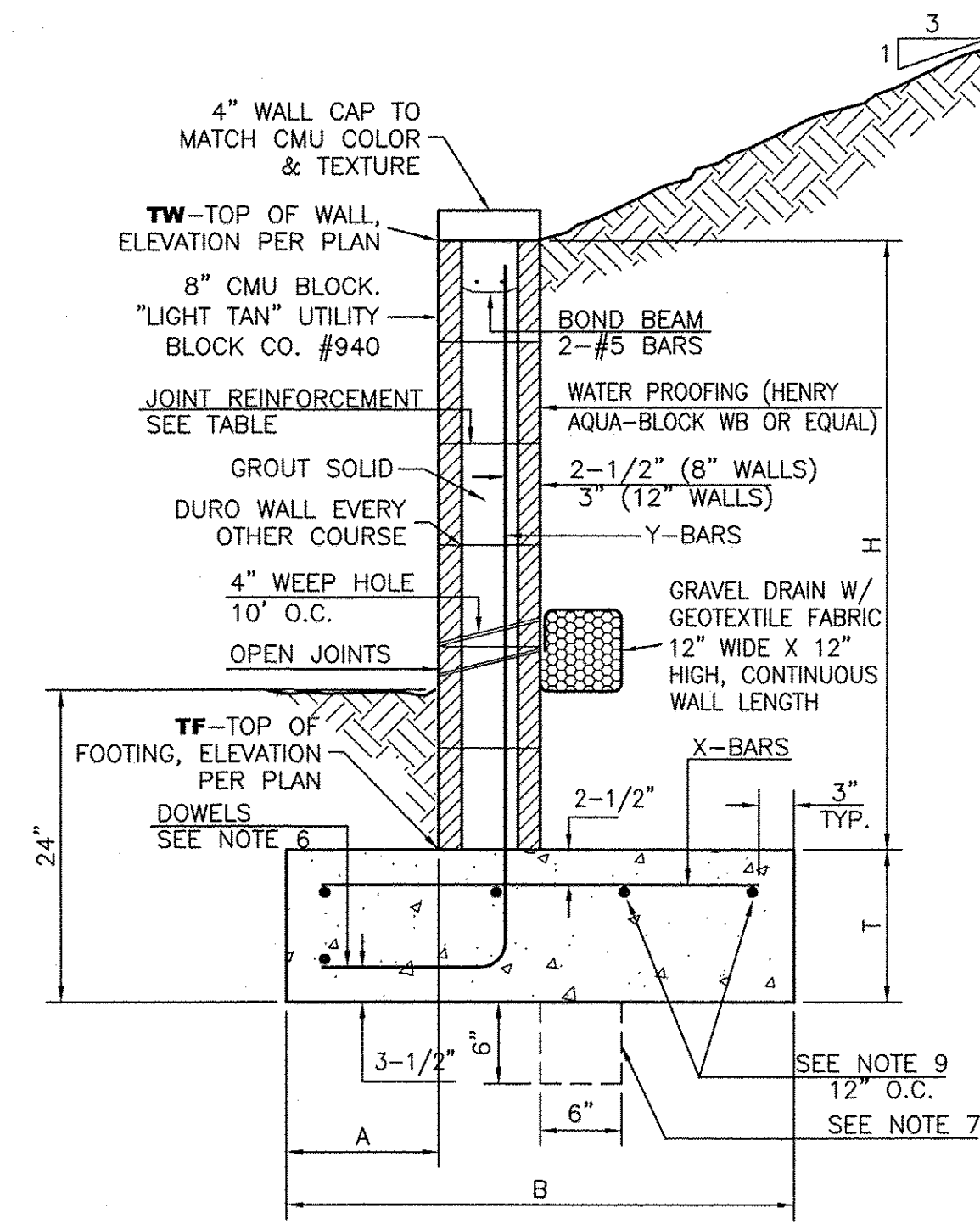
- NOTES:
1. 1/2 INCH CAULKABLE EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 50 FEET AT THE ENDS AND MIDPOINT OF RETURNS, AND AT ANY POINT WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.
 2. 5 FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER UNLESS OTHERWISE NOTED.

10 6' HEADER CURB DETAIL
NTS

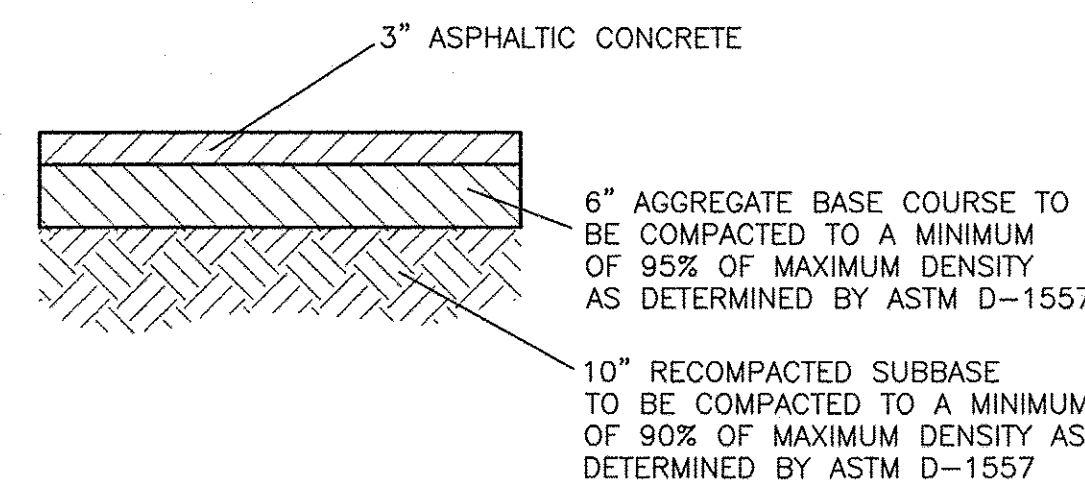


- NOTE:
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

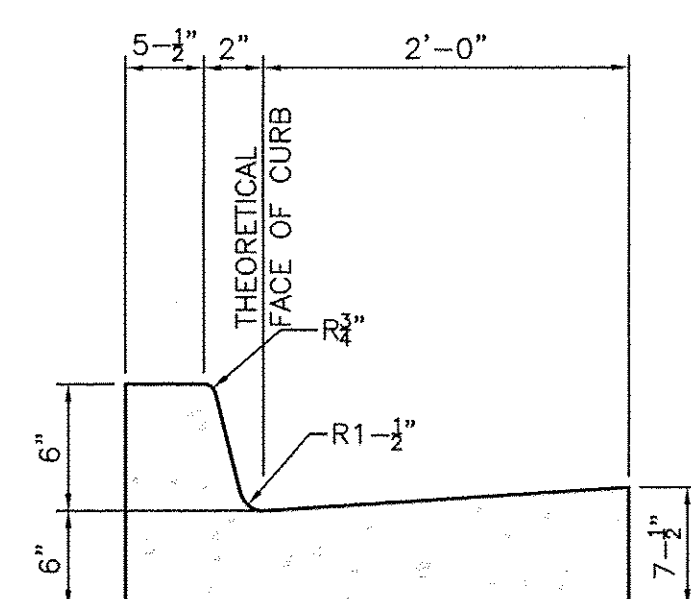
13 CROSSWALK/PED. CROSSING
NTS



11 RETAINING WALL DETAIL
NTS

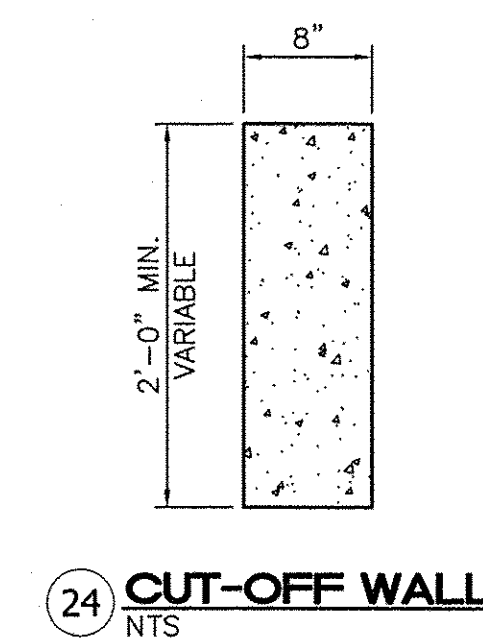


14 TYPICAL PAVING SECTION
NTS

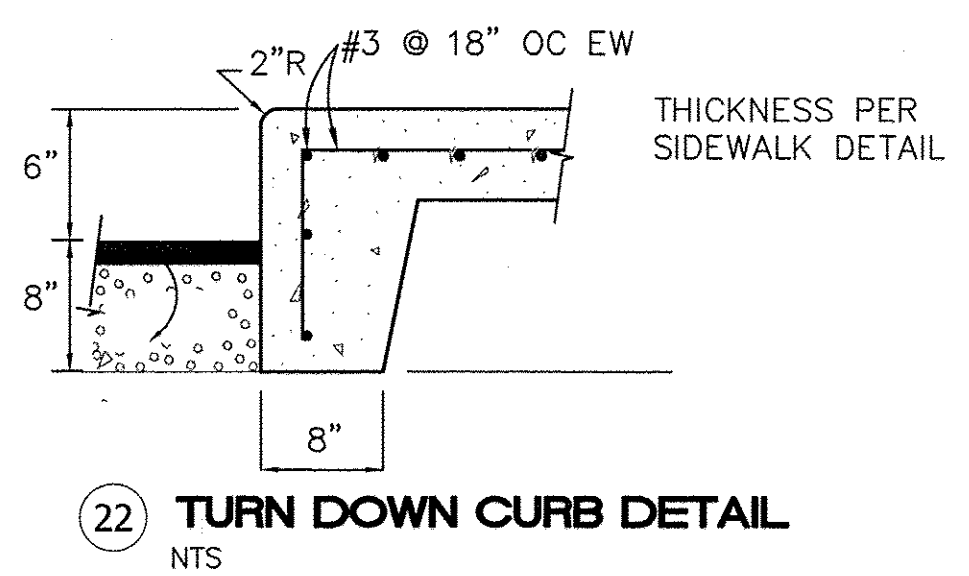


- CURB GENERAL NOTES:
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER COA SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

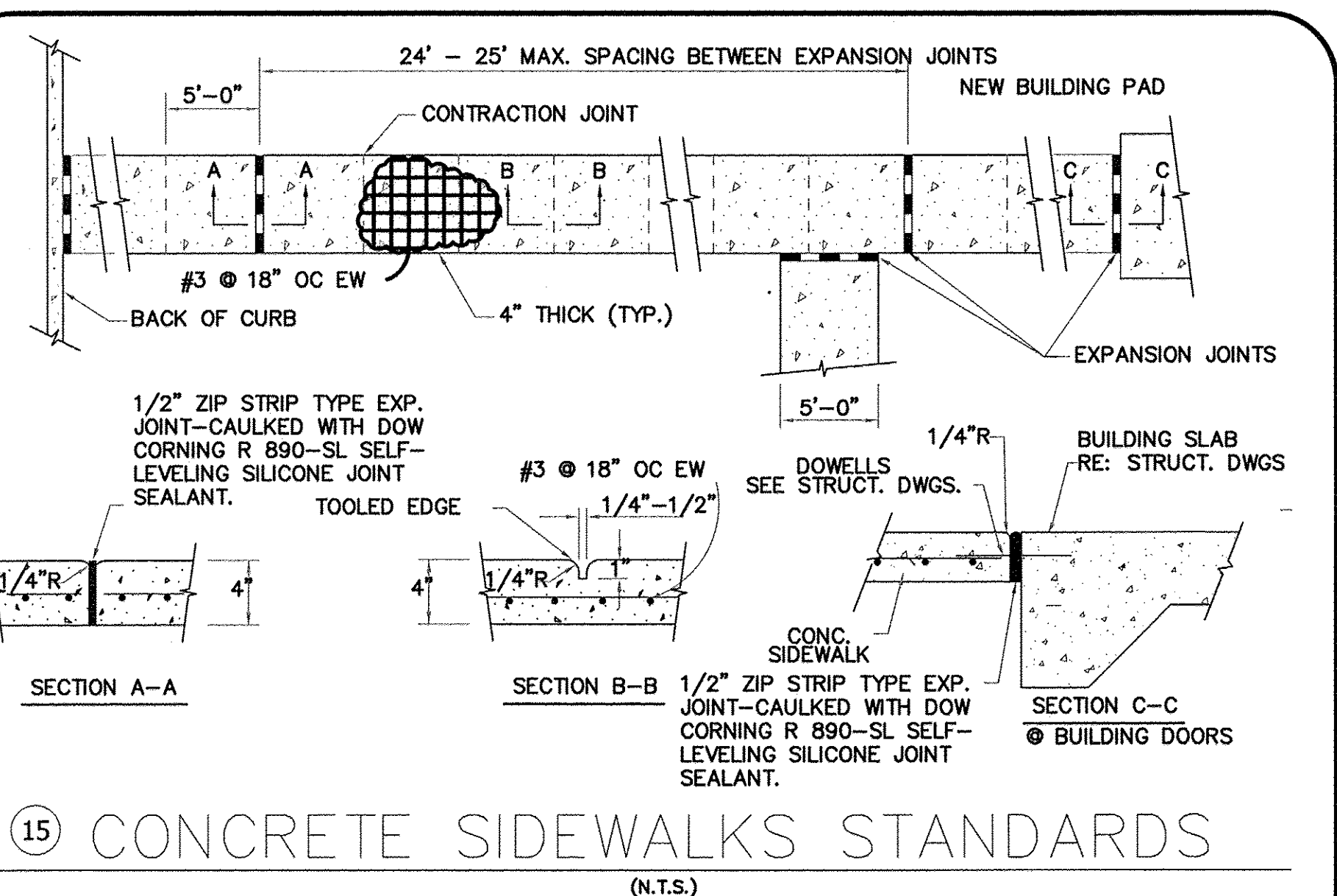
25 CITY STANDARD CURB / GUTTER
PER COA STD DWG 2415A



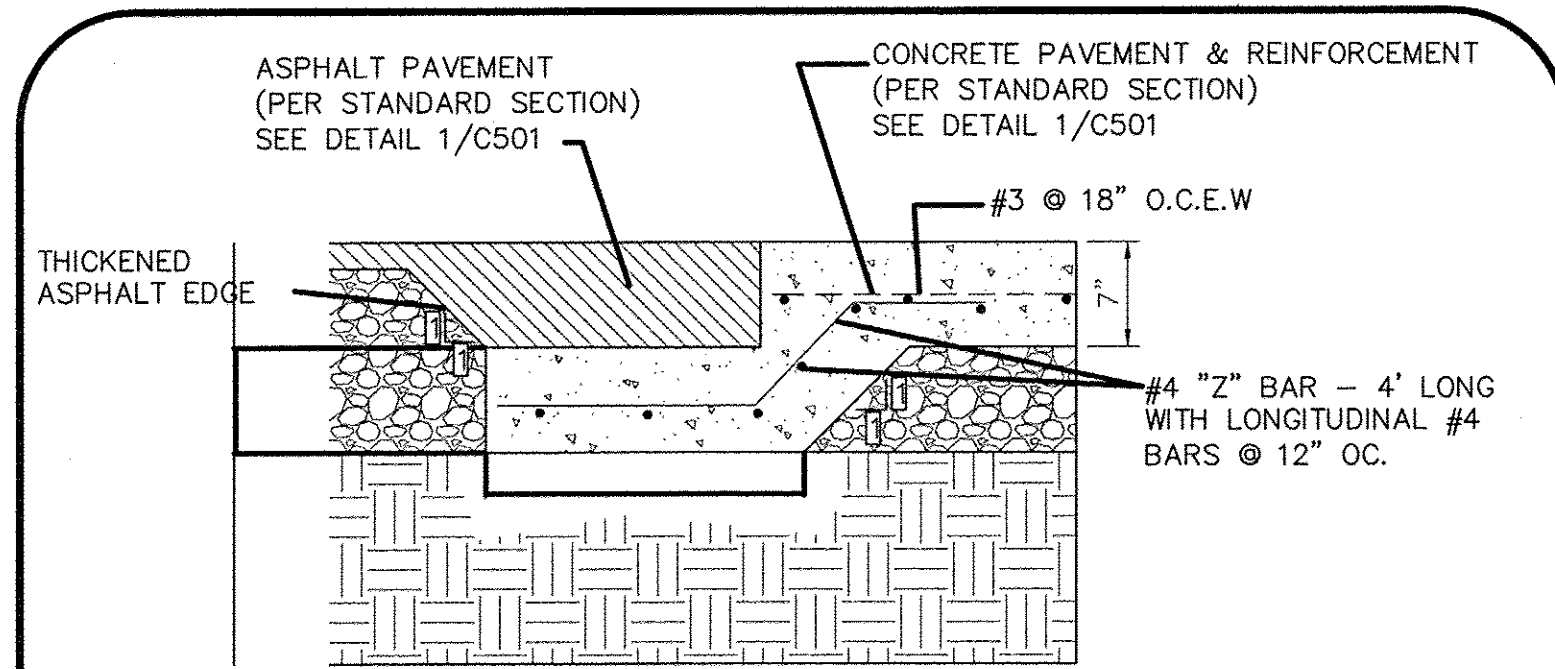
24 CUT-OFF WALL
NTS



22 TURN DOWN CURB DETAIL
NTS



15 CONCRETE SIDEWALKS STANDARDS
(N.T.S.)

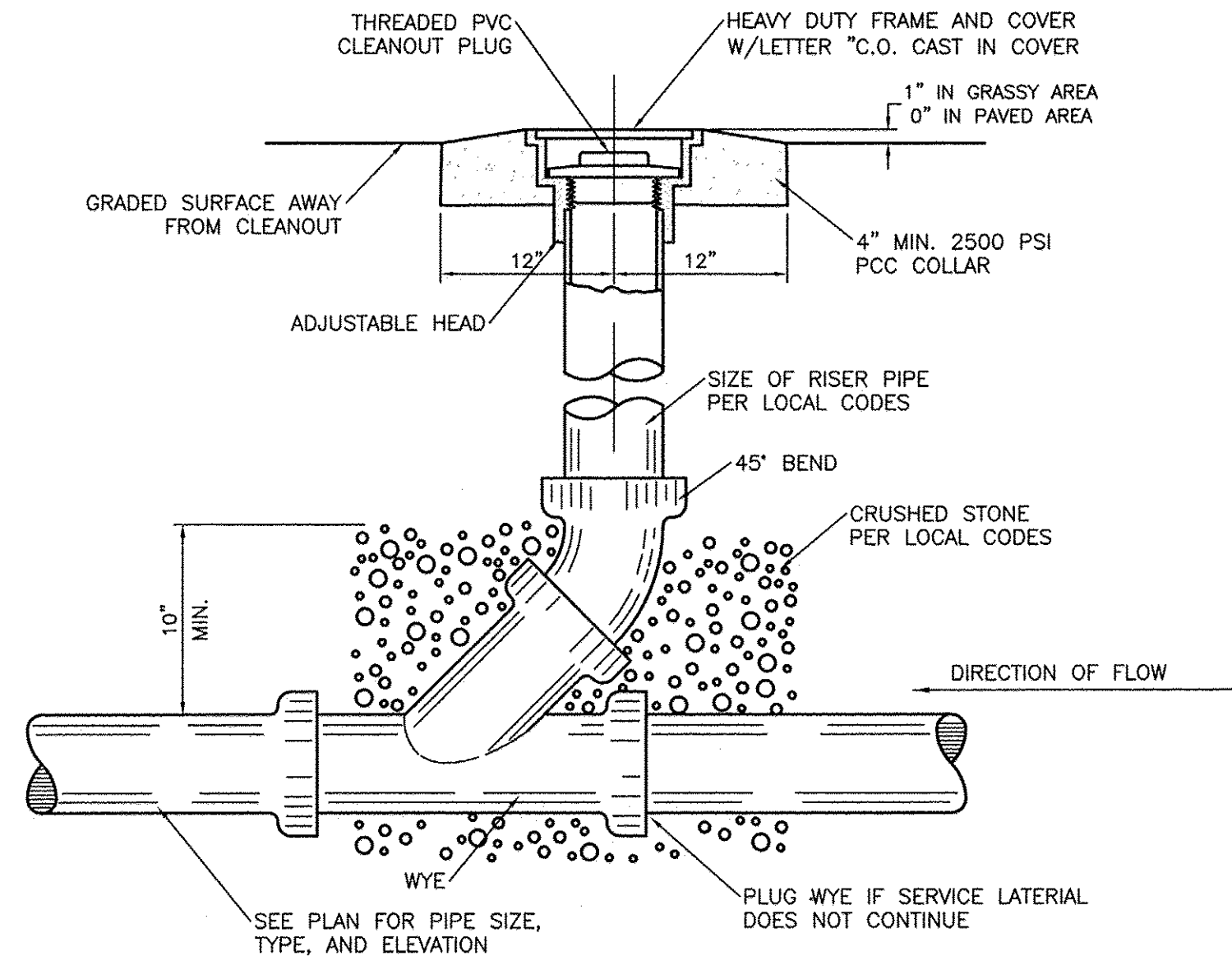


20 CONCRETE PAVEMENT TO ASPHALT PAVEMENT SECTION
(N.T.S.)

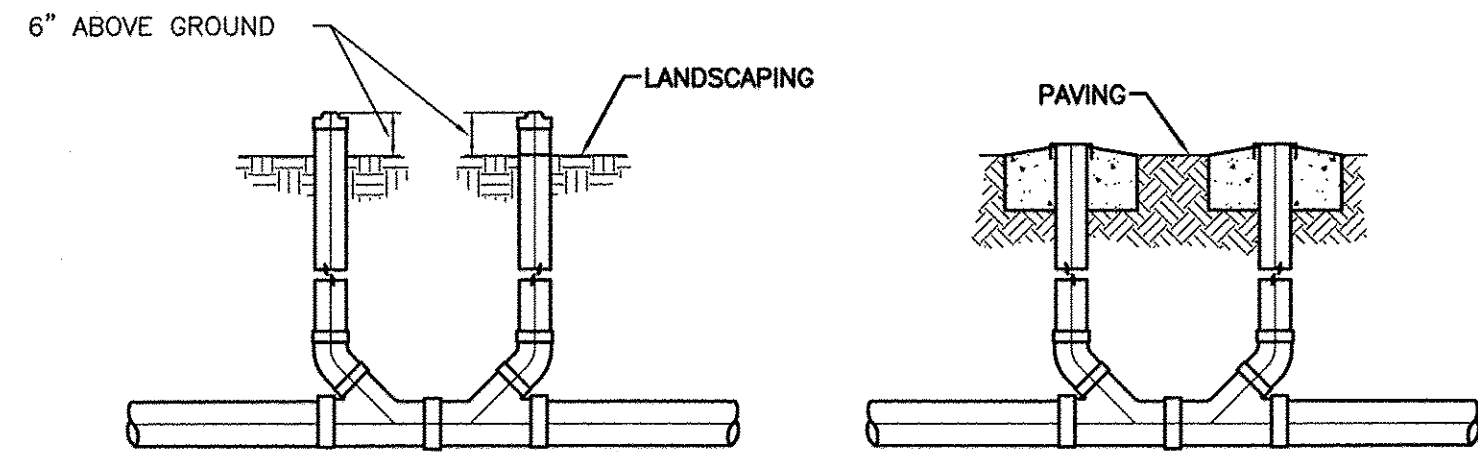
	ENGINEER'S SEAL	CHILI'S UNIVERSITY BLVD & GIBSON BLVD	DRAWN BY DY
		DETAIL SHEET	DATE 11/05/14
			2013086_DTE
			SHEET # C7
			JOB # 2013086

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com

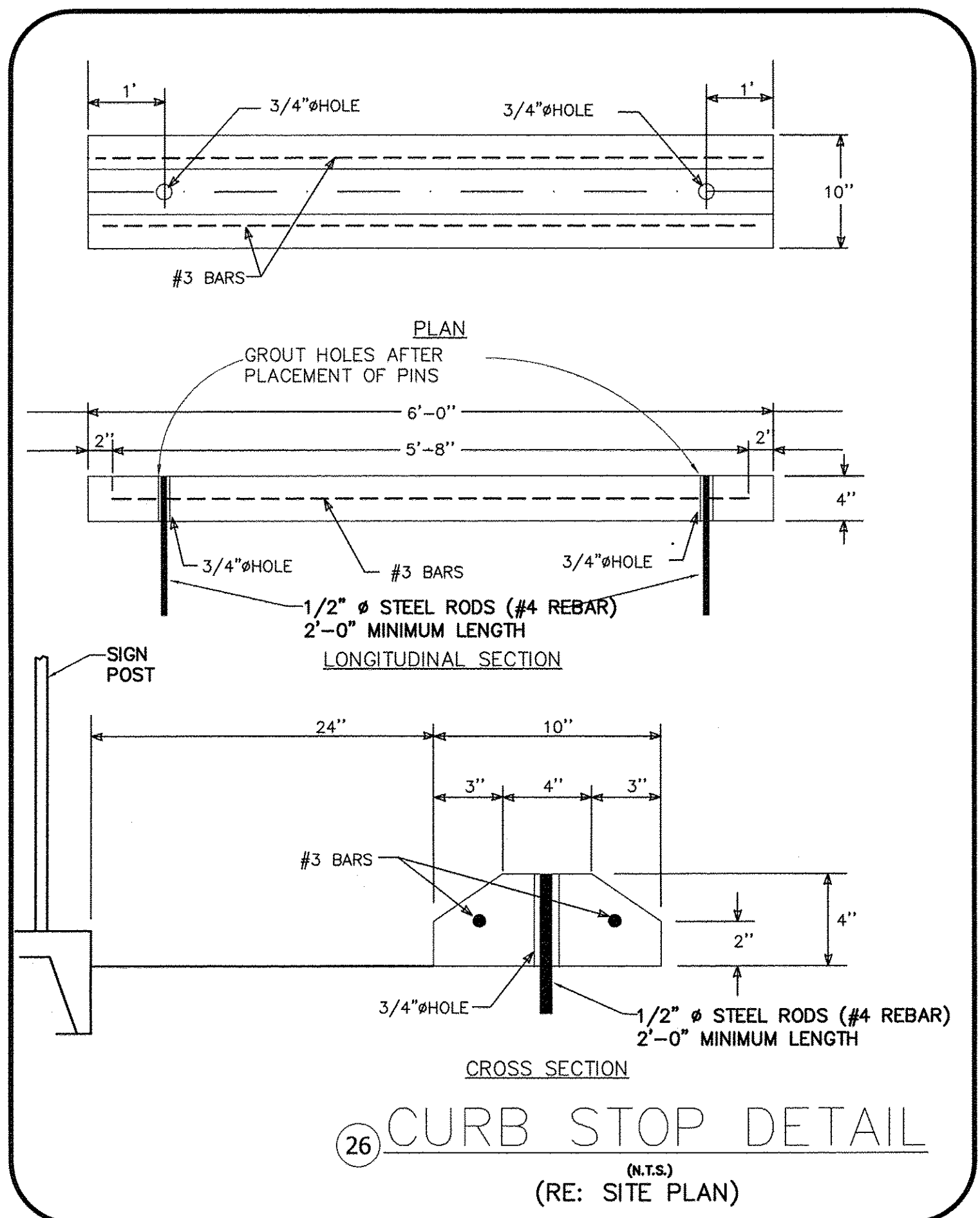
ISSUE FOR PERMIT 9/7/14



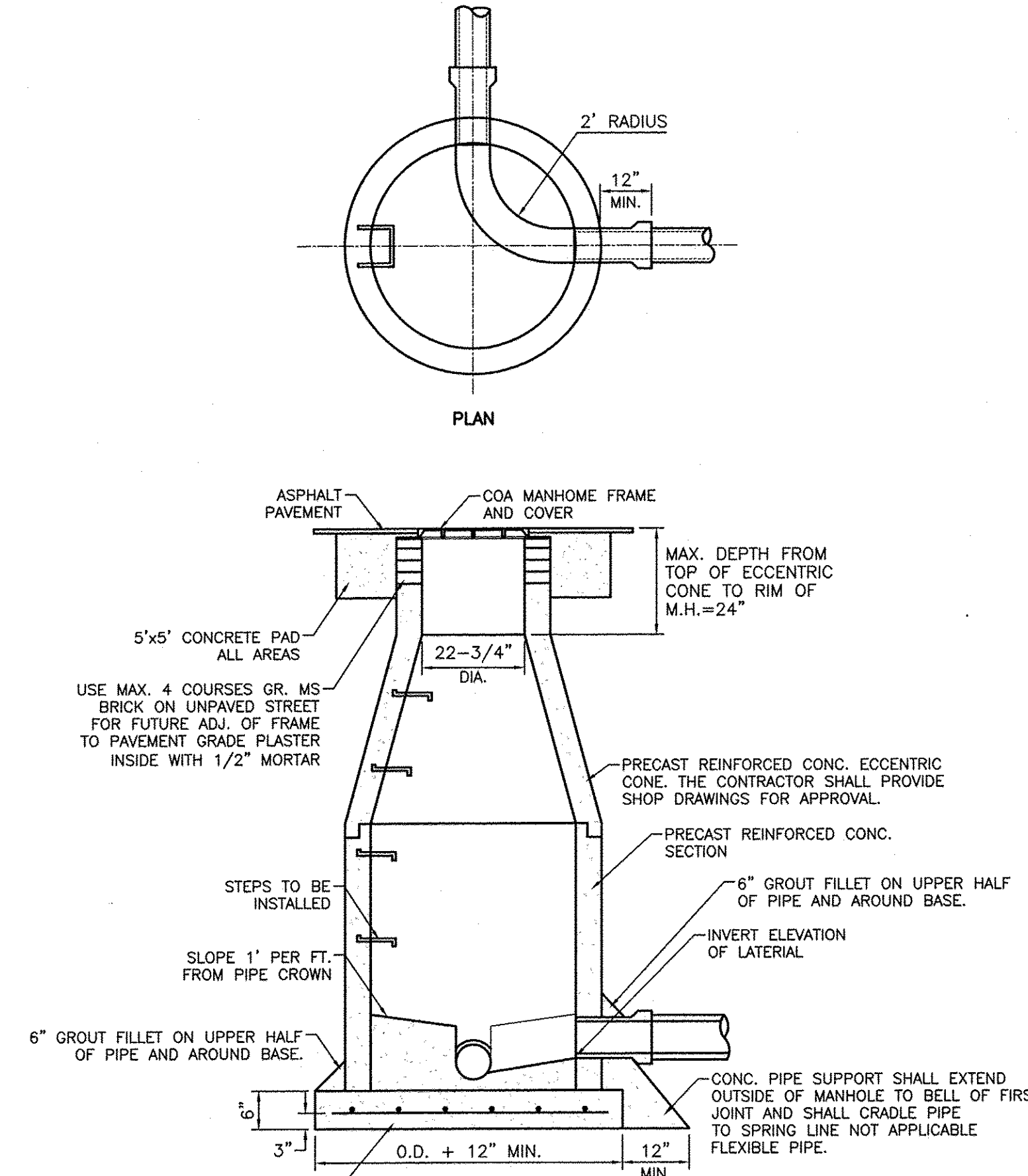
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

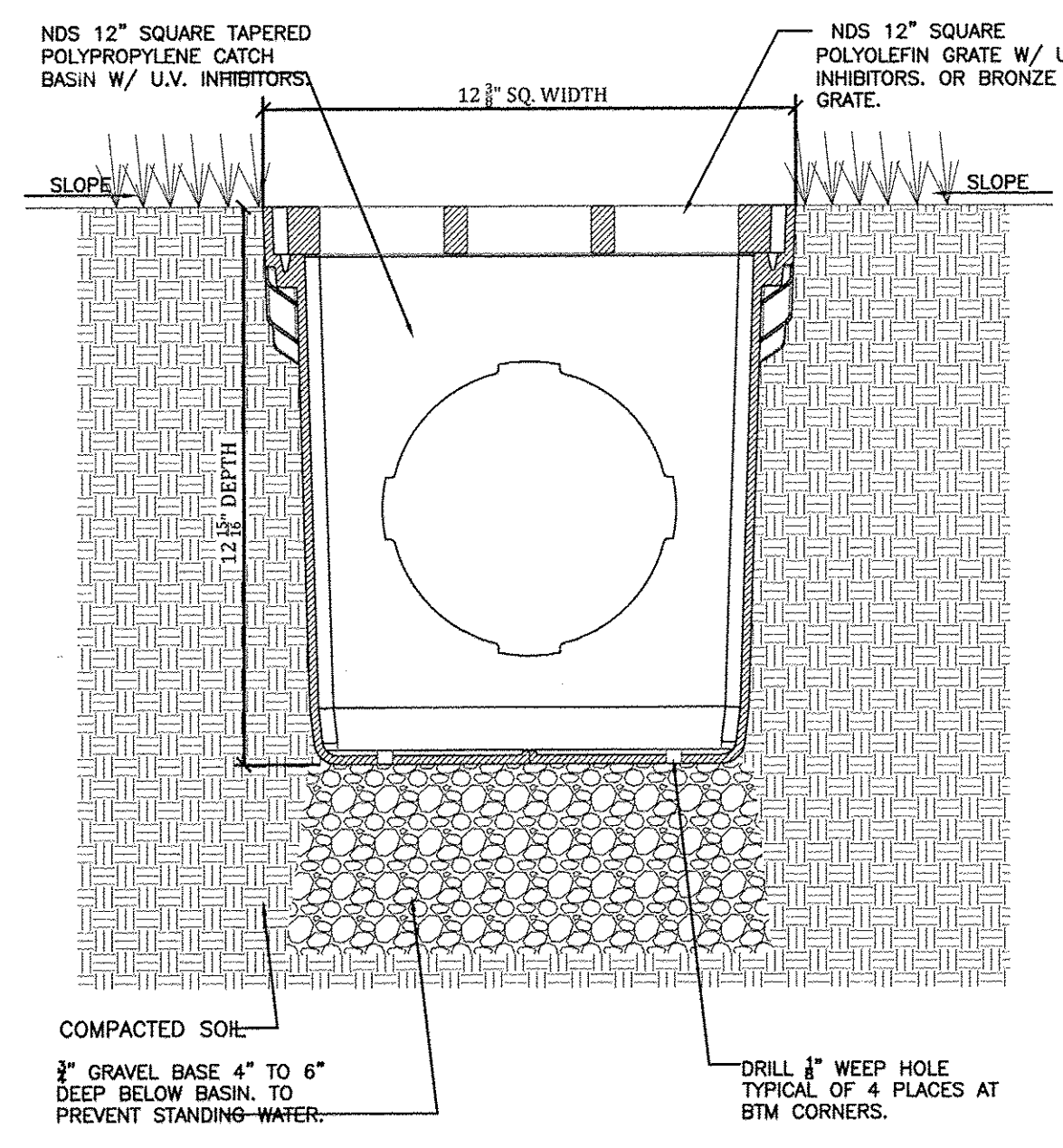


26 CURB STOP DETAIL
(N.T.S.)
(RE: SITE PLAN)

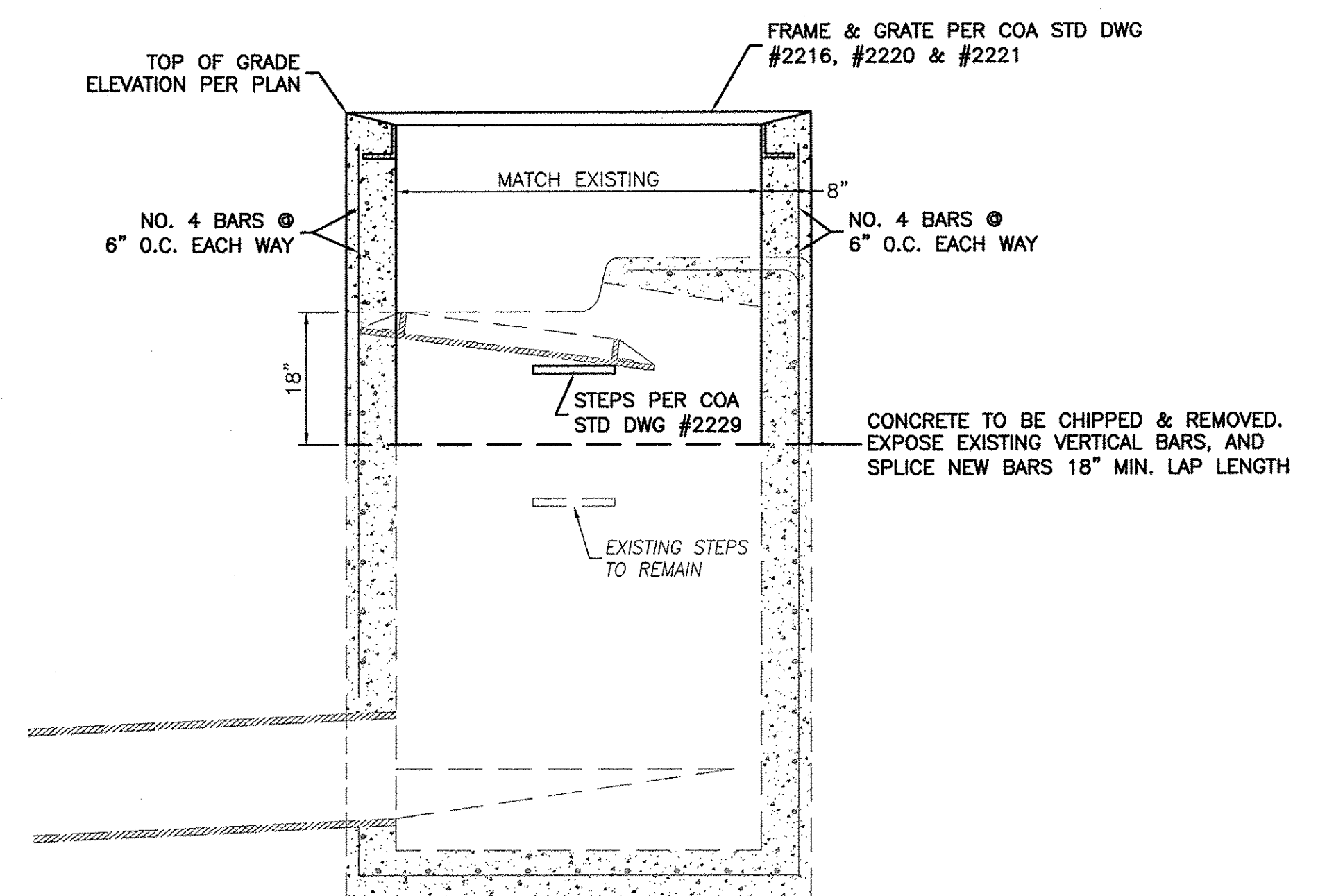


NOTE:
1. DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
2. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS.
3. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
4. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

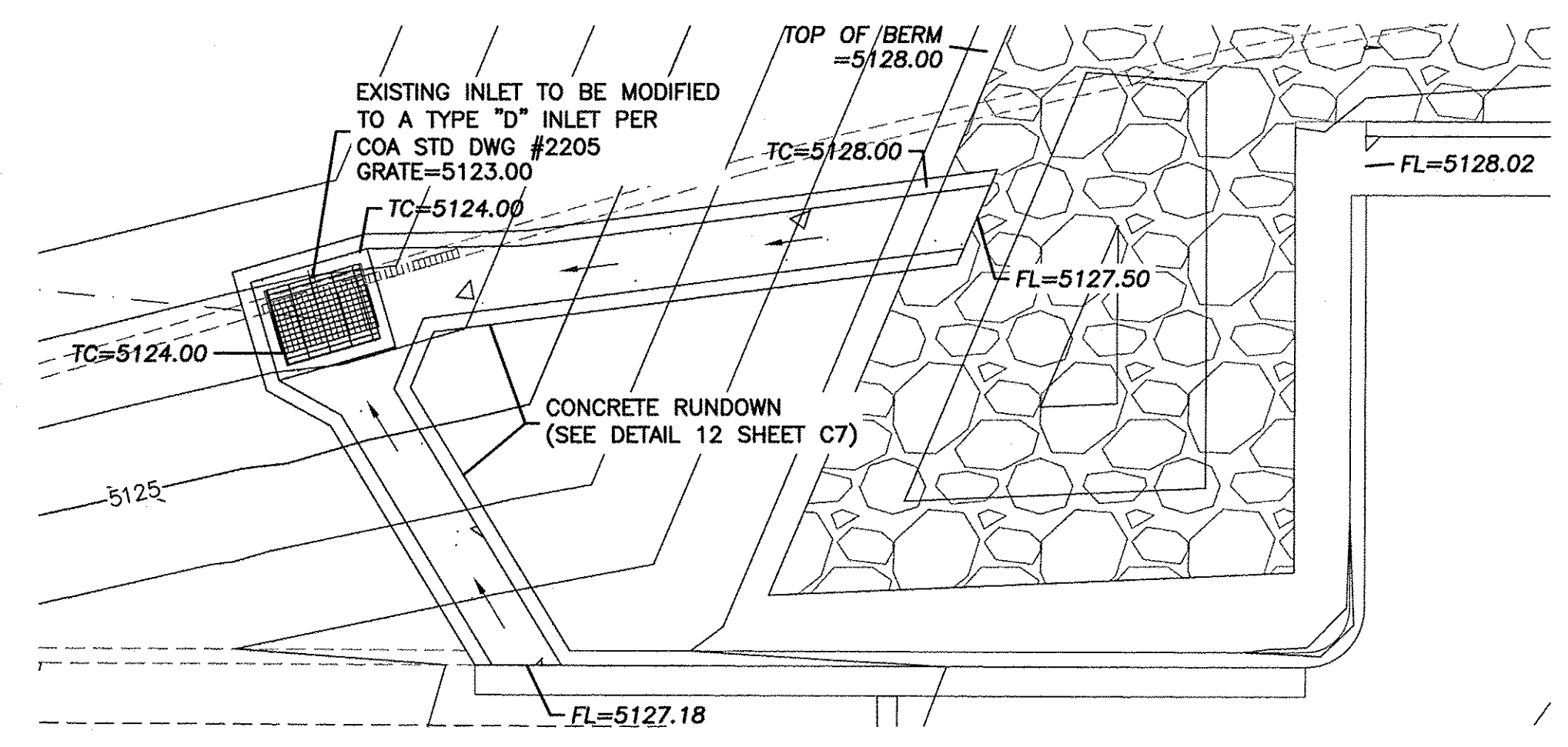
STORM SEWER MANHOLE TYPE 'E' DETAIL
NTS



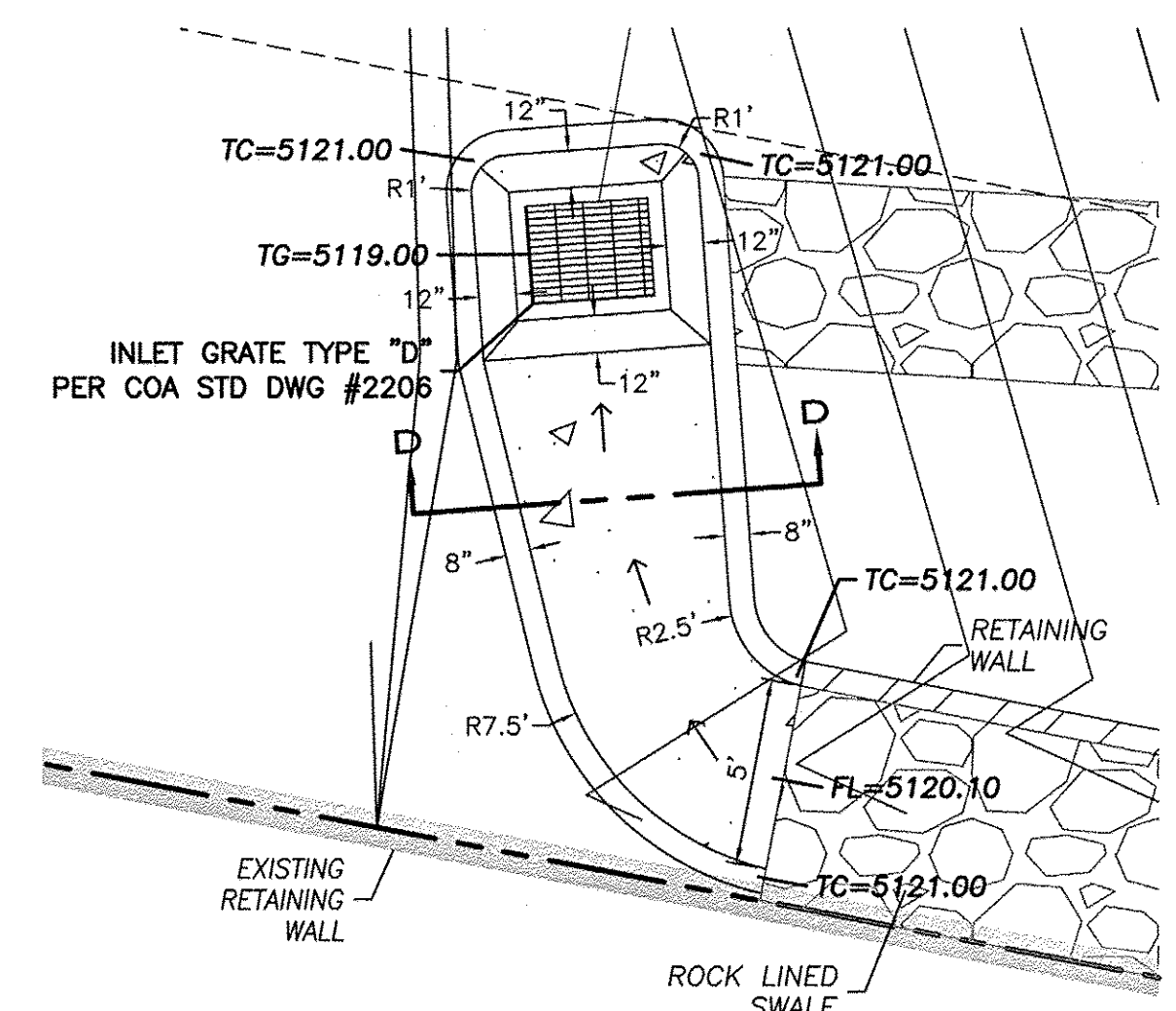
NOTE:
• GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
NDS 12 sq. catch basin typical installation.



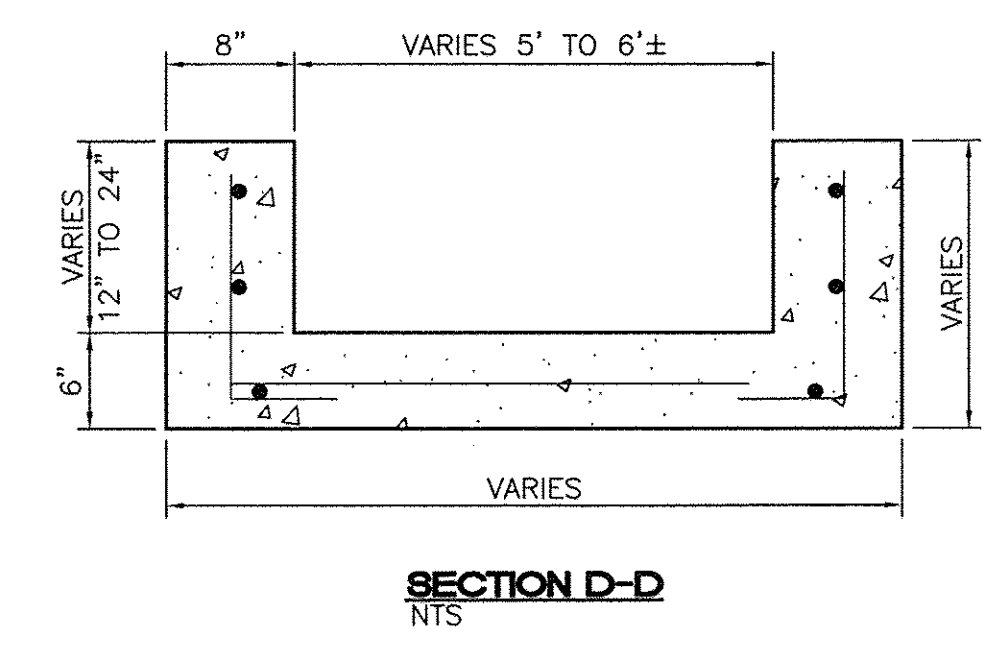
27 EXISTING INLET MODIFIED TO TYPE 'D' INLET DETAIL
NTS



DETAIL 'E'
NTS



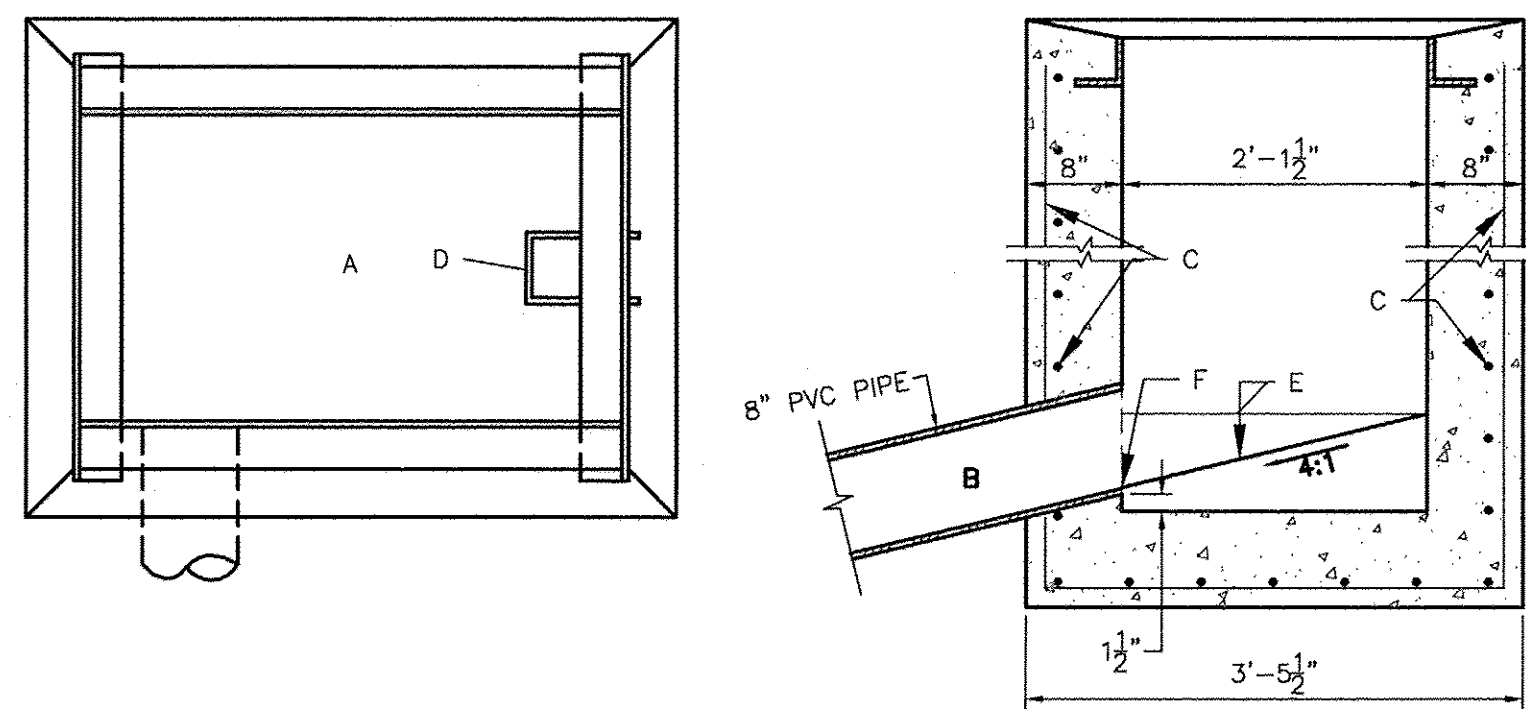
DETAIL 'D'
NTS



SECTION D-D
NTS

	ENGINEER'S SEAL	CHILI'S UNIVERSITY BLVD & GIBSON BLVD	DRAWN BY DY
		DETAIL SHEET	DATE 11/04/14
			2013086_DTE
			SHEET # C8
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2013086	

ISSUE FOR PERMIT 9/17/14



GENERAL NOTES

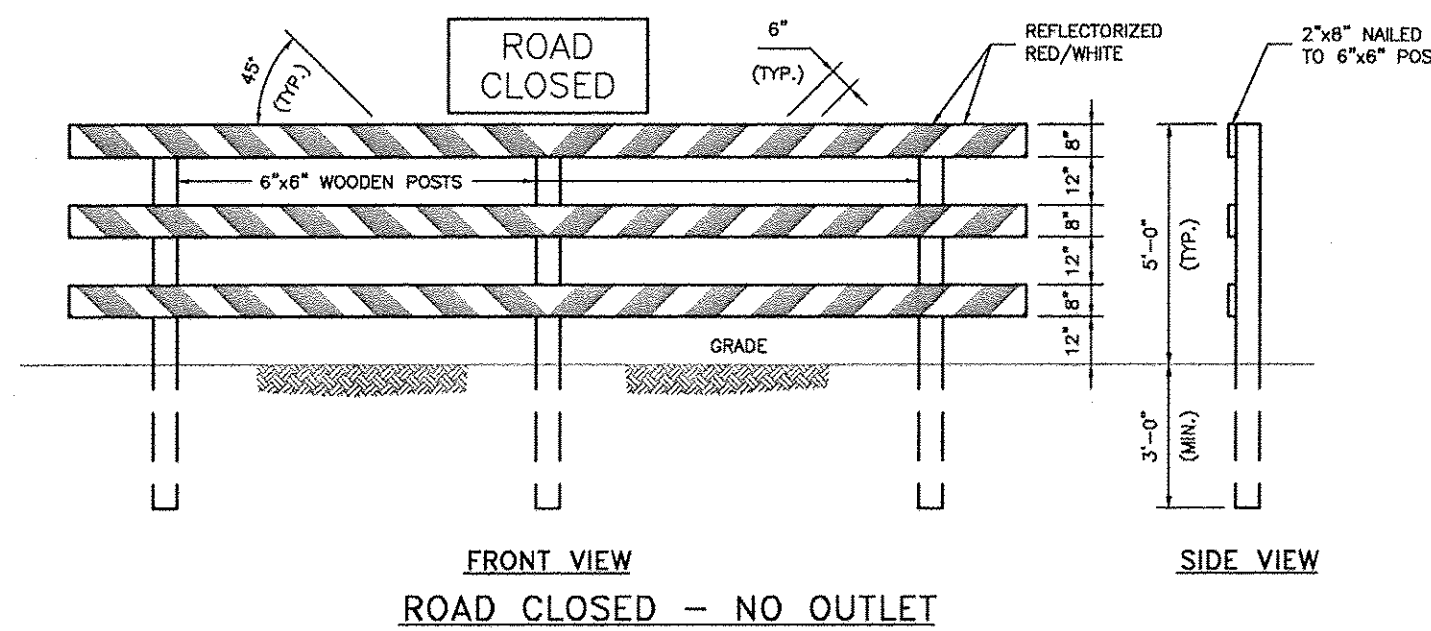
1. STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
2. OUTLET PIPE, PER DESIGN REQUIREMENT.
3. FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221

CONSTRUCTION NOTES

- A. FRAME & GRATE
- B. CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
- C. NO. 4 BARS @ 6" O.C. EACH WAY
- D. USE STANDARD STEPS, SEE DWG. 2229.
- E. CONC. FILL, SEE NOTE C DWG. 2201
- F. INVERT PER DESIGN
- G. INSTALL STEPS ON DOWNSTREAM FACE

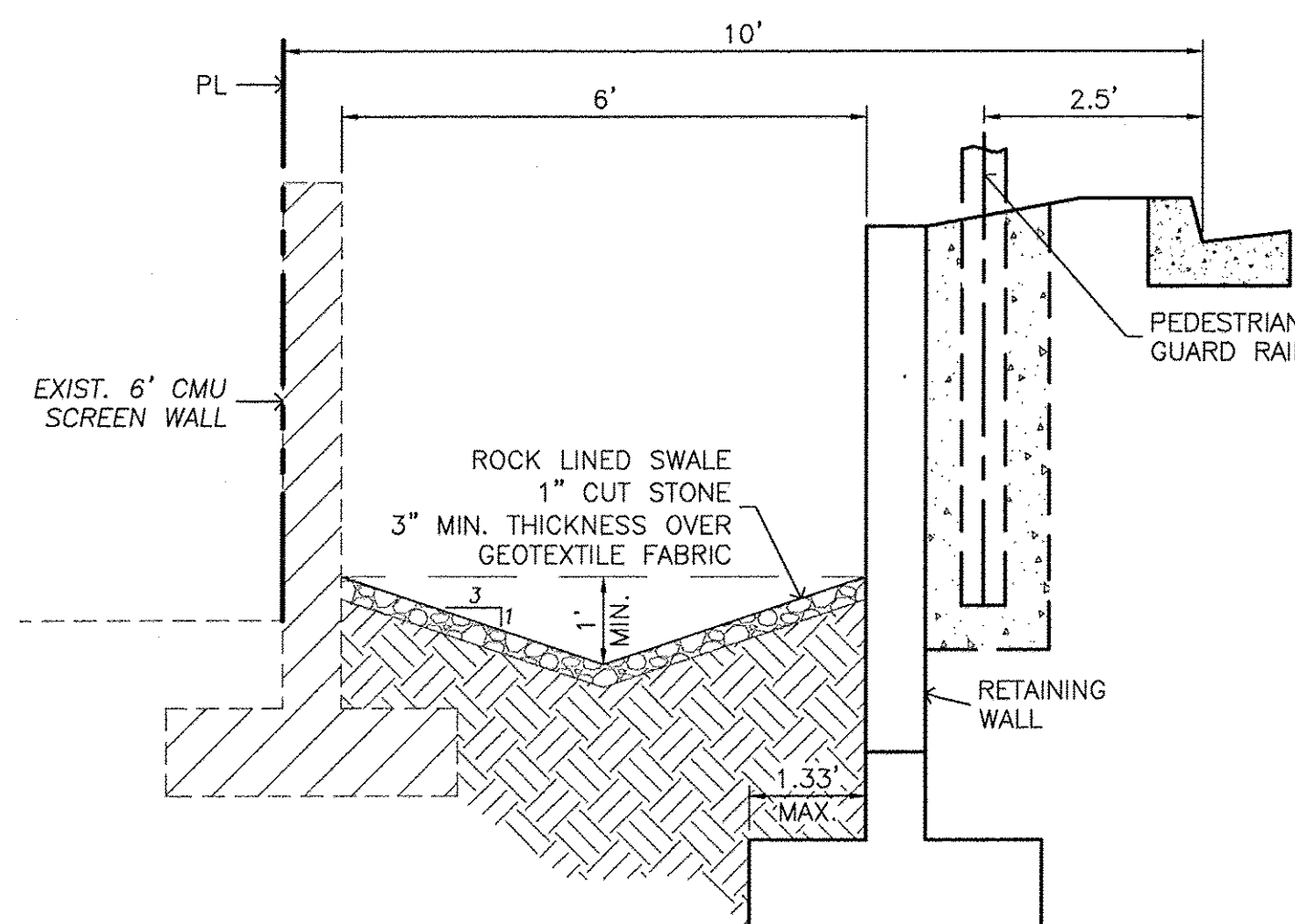
COA SINGLE 'D' INLET DETAIL

NTS



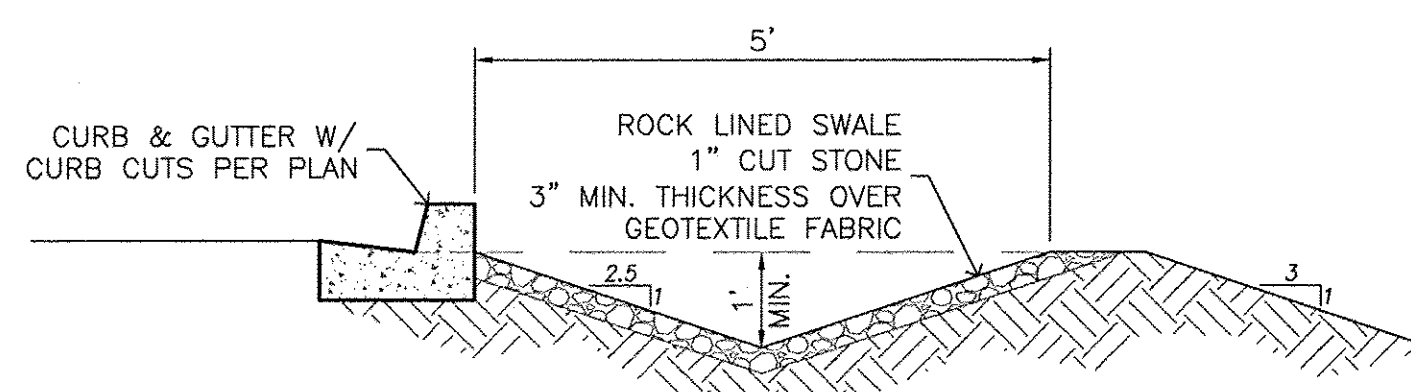
29 TYPE III BARRICADE

NTS



SECTION A-A

NTS

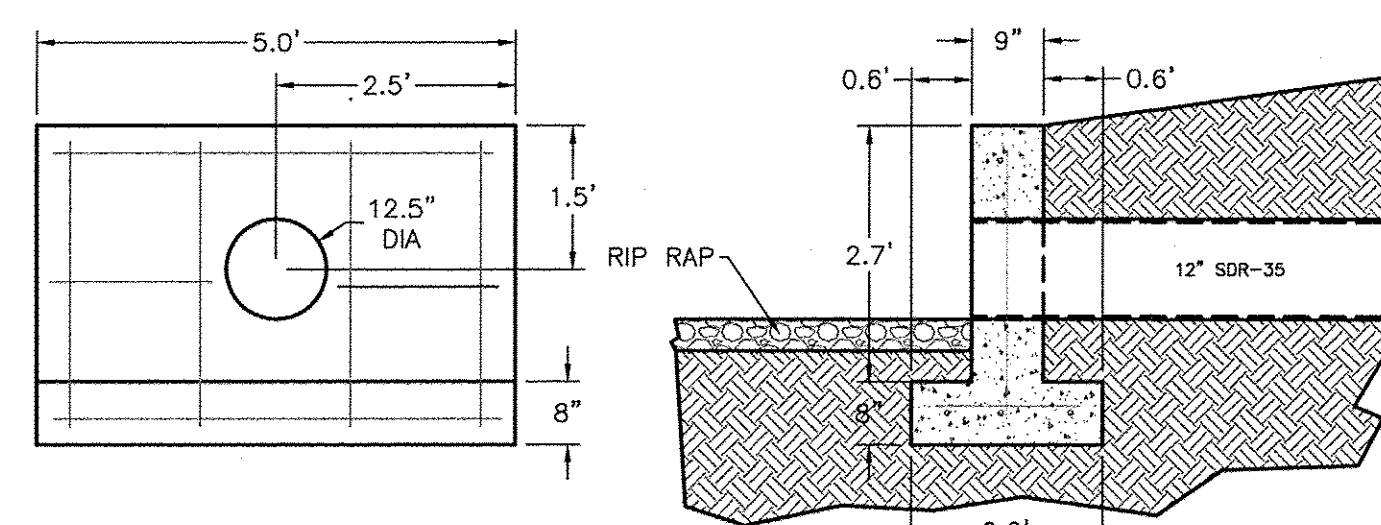


SECTION B-B

NTS

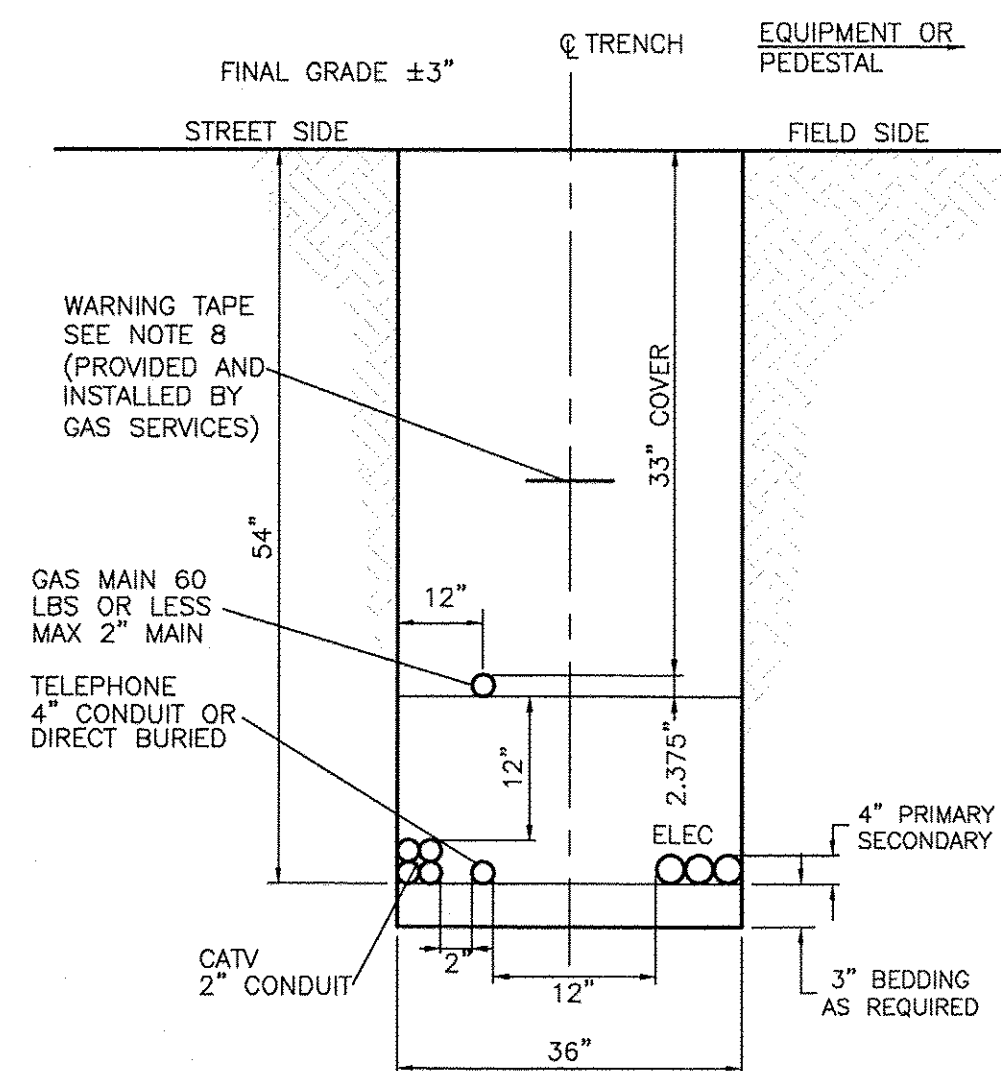
NOTES

1. CONCRETE SHALL BE 4000 PSI
2. ALL REINFORCING STEEL #4 BARS. ALL VERTICAL AND HORIZONTAL TIE BARS 18" MAX SPACING



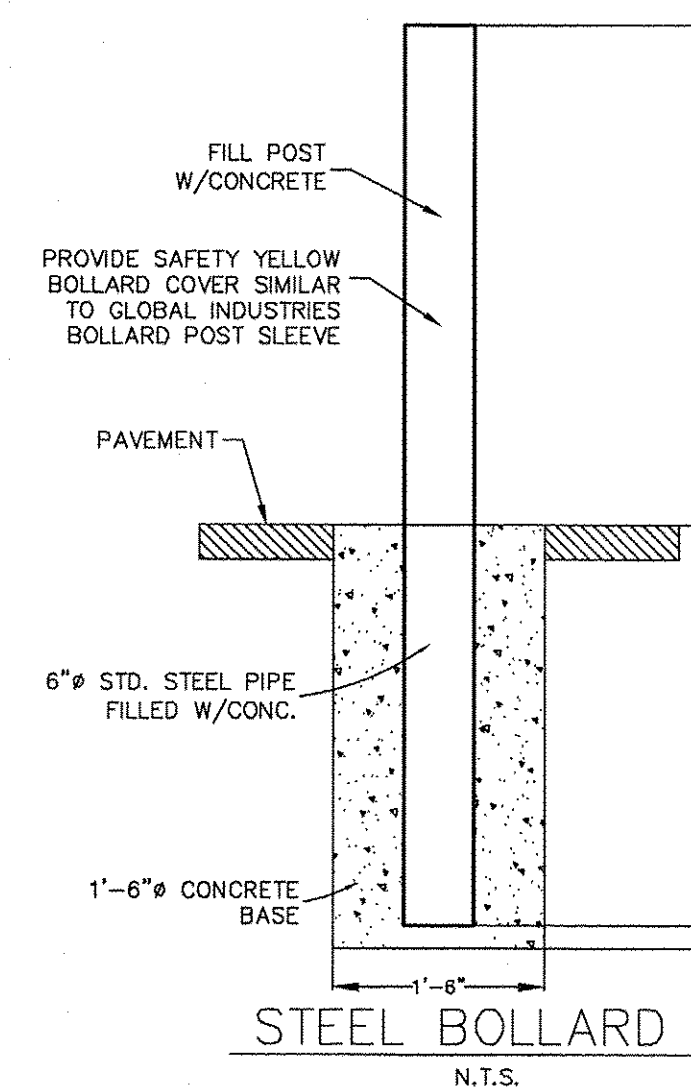
31 HEADWALL

NTS

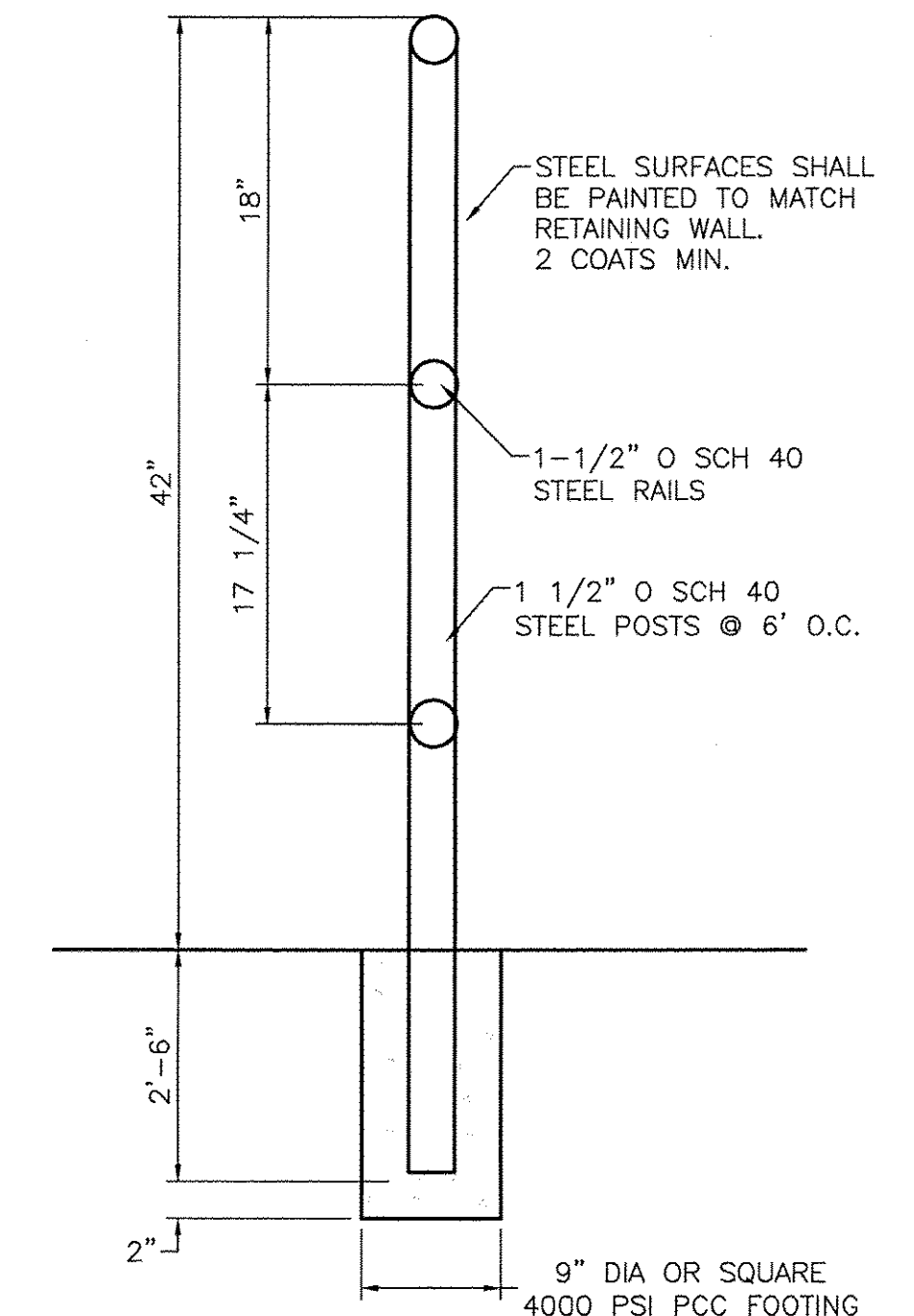


28 TYPICAL TRENCH DETAIL

NTS



N.T.S.

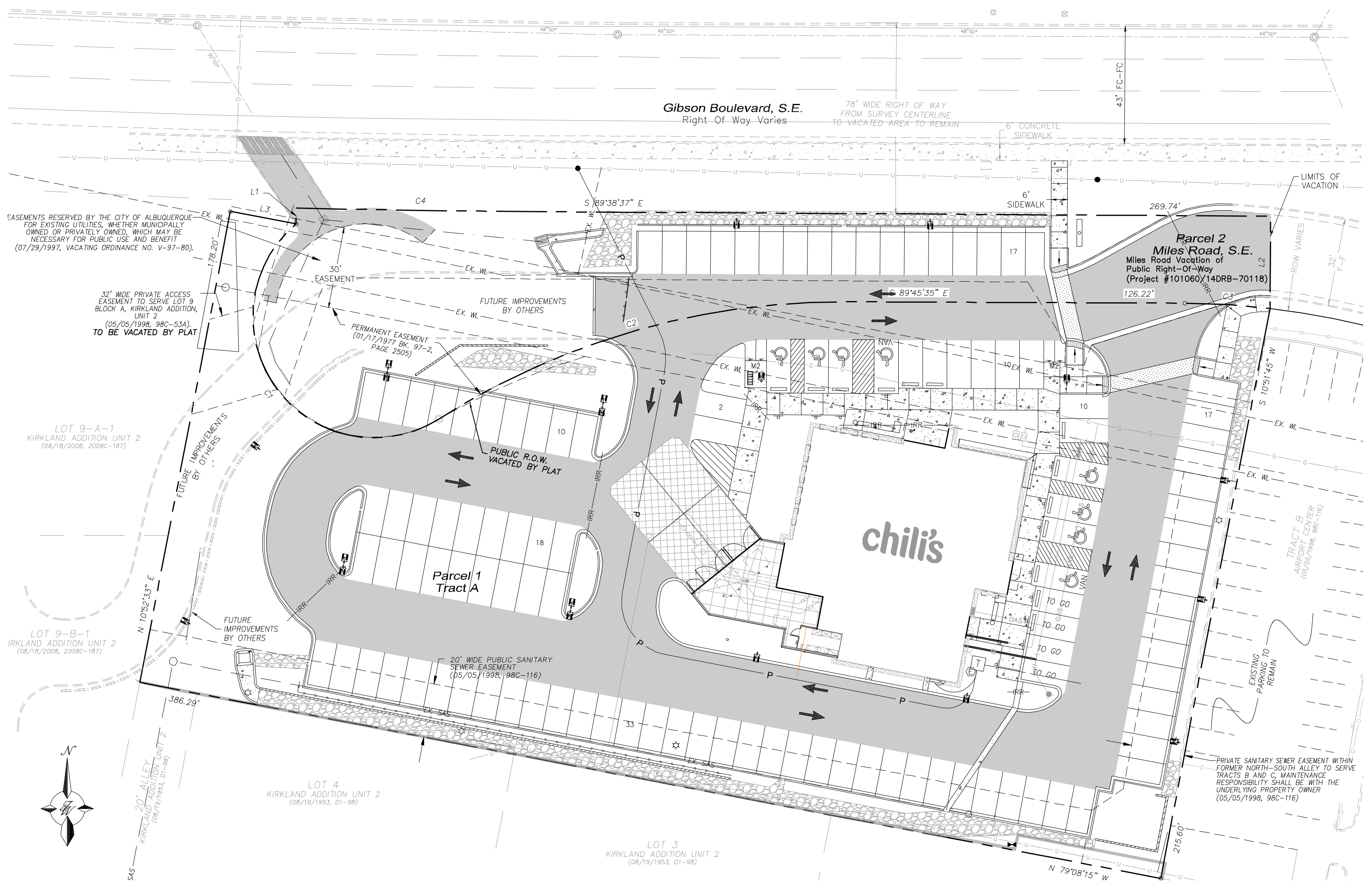


30 PEDESTRIAN GUARD RAIL DETAIL

NTS

	CHILI'S UNIVERSITY BLVD & GIBSON BLVD DETAIL SHEET	DRAWN BY DY DATE 12/30/14 2013086_DTE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C9 JOB # 2013086

ISSUE FOR PERMIT 9.17.14





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chilis Gibson & University City Drainage #: M15-D012B
DRB#: 15DRB-70091 EPC#: _____ Work Order#: _____
Legal Description: Tract A-1 Airport Center
City Address: 1700 Miles RD Albuquerque, NM

Engineering Firm: Tierra West, LLC Contact: Joel Hernandez
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: jdhernandez@tierrawestll.com

Owner: Josh Skarsgard Contact: _____
Address: 8220 San Pedro NE Suite 500
Phone#: 505-262-2323 Fax#: _____ E-mail: josh@skarsgardfirm.com

Architect: GHA Architecture/Development Contact: Keilah Brown
Address: 14901 Quorum Drive, Suite 300 Dallas Texas 75254
Phone#: 972-238-8884 Fax#: 972-239-5054 E-mail: kbrown@GHA-Architects.com

Surveyor: Precision Surveys Contact: Larry Medrano
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-856-5700 Fax#: _____ E-mail: larry@presurv.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☒ OTHER (SPECIFY) Information Only

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

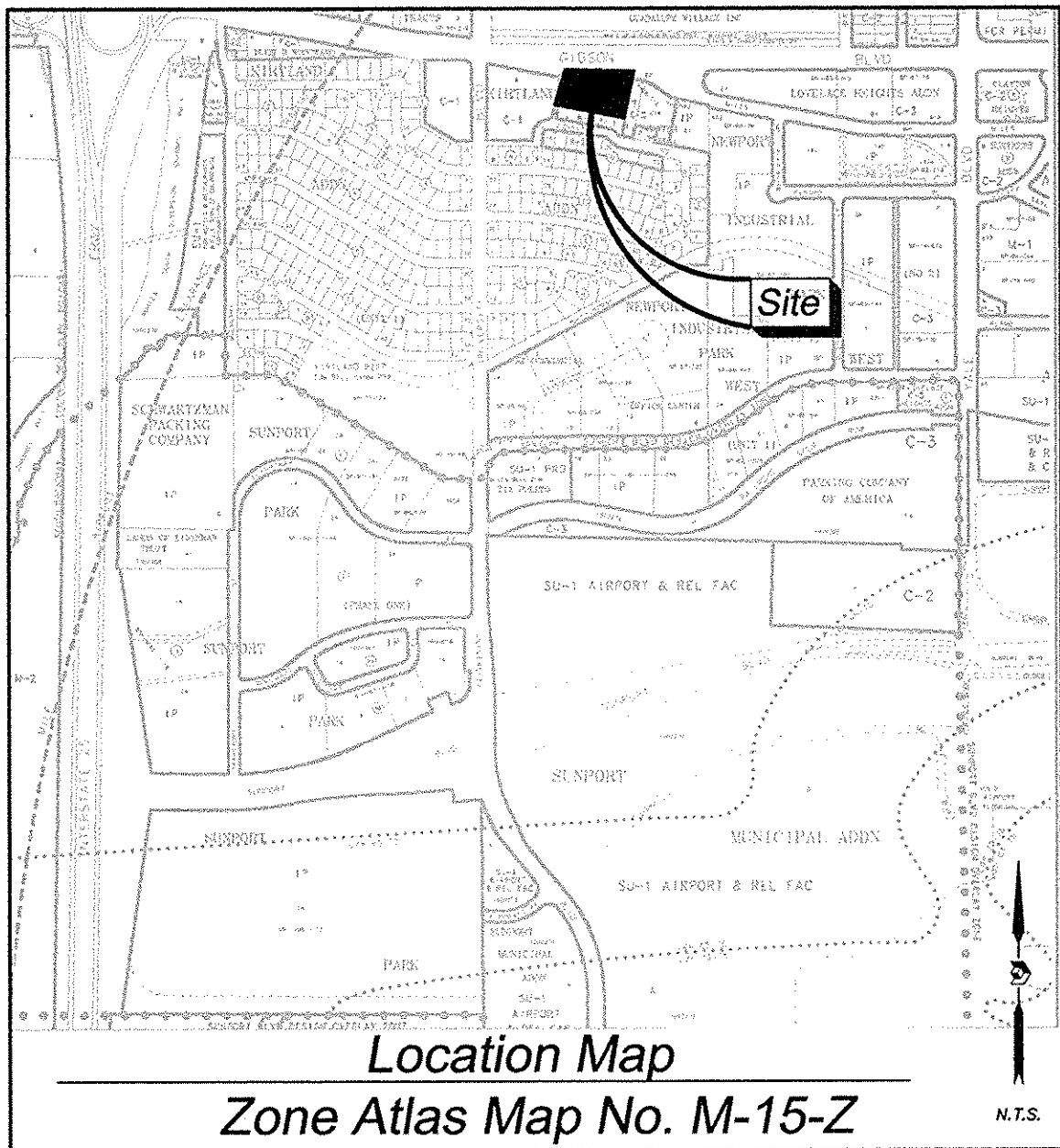
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 05/12/2015 By: Joel Hernandez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Subdivision Data:

ZONING: C-3
GROSS SUBDIVISION ACREAGE: 2.990 ACRES±
ZONE ATLAS INDEX NO: M-15-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: JULY 10-11, 2014.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO VACATE A PORTION OF MILES ROAD, S.E. AND TO CONSOLIDATE AND REPLAT SAID VACATED PORTION WITH EXISTING TRACT A AND CREATE ONE NEW TRACT A-1, AND TO GRANT AN EASEMENT.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

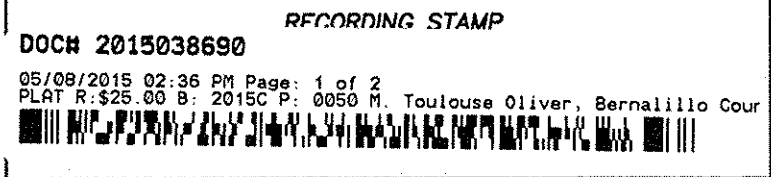
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM (ELECTRIC AND GAS) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

PARCEL 1:

TRACT LETTERED "A" OF THE SUBDIVISION PLAT OF TRACTS A THROUGH E, AIRPORT CENTER, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 5, 1998, IN PLAT BOOK 98C, PAGE 116

PARCEL 2:

A TRACT OF LAND BEING A PORTION OF VACATED MILES ROAD, S.E., LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE - N.A.D. 1983) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED VACATED RIGHT OF WAY, ALSO BEING THE NORTHEAST CORNER OF TRACT A, AIRPORT CENTER, LYING ON THE SOUTH RIGHT OF WAY OF MILES ROAD, S.E. MARKED BY A NO. 5 REBAR WITH CAP "PS 11184", FROM WHENCE A TIE TO ALBUQUERQUE GEODETIC REFERENCE SYSTEM MONUMENT "7_L15 1984" BEARS, N 31°39'39" E, A DISTANCE OF 3,391.91 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 279.00 FEET, AN ARC LENGTH OF 31.71 FEET, A DELTA ANGLE OF 06°30'40", A CHORD BEARING OF N 86°30'15" W, AND A CHORD LENGTH OF 31.69 FEET TO A POINT OF TANGENCY;

THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, N 89°45'35" W, A DISTANCE OF 126.22 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "PS 11184";

THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 279.00 FEET, AN ARC LENGTH OF 159.36 FEET, A DELTA ANGLE OF 32°43'31", A CHORD BEARING OF S 73°54'56" W, AND A CHORD LENGTH OF 157.20 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A FOUND CHISELED "X";

THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 45.00 FEET, AN ARC LENGTH OF 135.37 FEET, A DELTA ANGLE OF 172°21'34", A CHORD BEARING OF N 36°12'28" W, AND A CHORD LENGTH OF 89.80 FEET TO AN ANGLE POINT;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, N 01°16'02" E, A DISTANCE OF 5.86 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT BEING A POINT OF CURVATURE;

THENCE ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 5807.50 FEET, AN ARC LENGTH OF 92.30 FEET, A DELTA ANGLE OF 00°54'38", A CHORD BEARING OF S 89°11'17" E, AND A CHORD LENGTH OF 92.30 FEET TO A POINT OF TANGENT;

THENCE S 89°38'37"E, A DISTANCE OF 269.74 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT;

THENCE S 00°21'31"W, A DISTANCE OF 34.24 FEET TO THE POINT OF BEGINNING, SAID PARCELS 1 AND 2 CONTAINING A GROSS AREA OF 2.990 ACRES (100,145 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT A-1, AIRPORT CENTER.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNERS DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNERS DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

BY:
JOSHUA J. SKARSGARD
MANAGING MEMBER
RED SHAMROCK 10,
LLC NEW MEXICO LIMITED LIABILITY COMPANY

5-7-2015
DATE

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 7 DAY OF May, 2015 BY JOSHUA J. SKARSGARD, MANAGING MEMBER, RED SHAMROCK 10, LLC NEW MEXICO LIMITED LIABILITY COMPANY

BY:
NOTARY PUBLIC
MY COMMISSION EXPIRES: 4/10/2019



Plat of
Tract A-1
Airport Center
Albuquerque, Bernalillo County, New Mexico
April 2015

Project No. 1010060

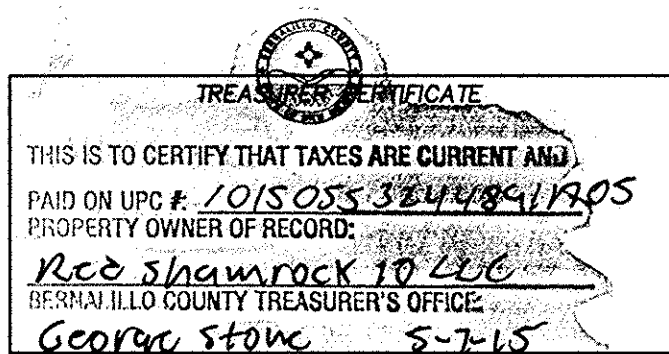
Application No. 15DRB-70091

Utility Approvals

	5-7-15
PNM	DATE
	5/7/15
NEW MEXICO GAS COMPANY	DATE
	5-7-15
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
	5/7/15
COMCAST	DATE

City Approvals

	5/1/15
CITY SURVEYOR	DATE
	5-1-15
REAL PROPERTY DIVISION	DATE
	05/08/15
A.B.C.W.U.K.	DATE
	4-22-15
PARKS AND RECREATION DEPARTMENT	DATE
	4-22-15
AMAFCA	DATE
	4/22/15
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
	4-22-15
CITY ENGINEER	DATE
	5-8-15
DRB CHAIRPERSON, PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.P.S. No. 11993
DATE



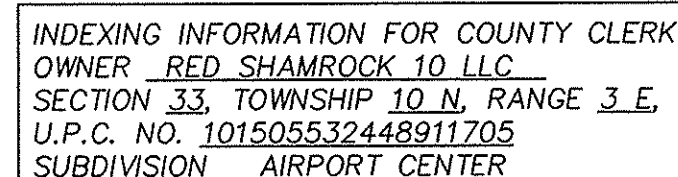
INDEXING INFORMATION FOR COUNTY CLERK
OWNER RED SHAMROCK 10 LLC
SECTION 33, TOWNSHIP 10 N, RANGE 3 E,
U.P.C. NO. 101505532448911705
SUBDIVISION AIRPORT CENTER

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX

Sheet 1 of 2

*Plat of
Tract A-1
Airport Center
Albuquerque, Bernalillo County, New Mexico
April 2015*



Sheet 2 of 2