

# CITY OF ALBUQUERQUE



## **Planning Department Transportation Development Services**

Date 14, 2015

Ronald R. Bohannon  
Tierra West, LLC  
5571 Midway Park Place, NE  
Albuquerque, NM 87109

**Re: Chili's, 1700 Miles Rd, SE**  
**30-Day Temporary Certificate of Occupancy- Transportation Development**  
Engineer's Stamp dated 12-31-14  
Certification dated 10-08-15

Dear Mr. Bohannon,

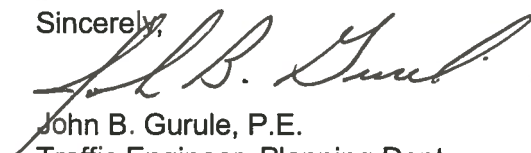
Based upon the information provided in your submittal received 10-09-15, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

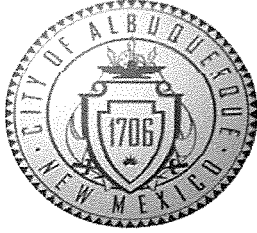
- Sidewalk slope on the northeast corner of the site shall be reduced so as not to exceed 5%, with a maximum cross slope of 2%.
- All construction debris and dumpster removed.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

  
John B. Gurule, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** Chilis Gibson & University **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** 1700 Miles Rd SE

**Engineering Firm:** Tierra West, LLC **Contact:** Ron Bohannon  
**Address:** 5571 Midway Park Place NE Albuquerque NM 87109  
**Phone#:** 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** rrb@tierrawestllc.com

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

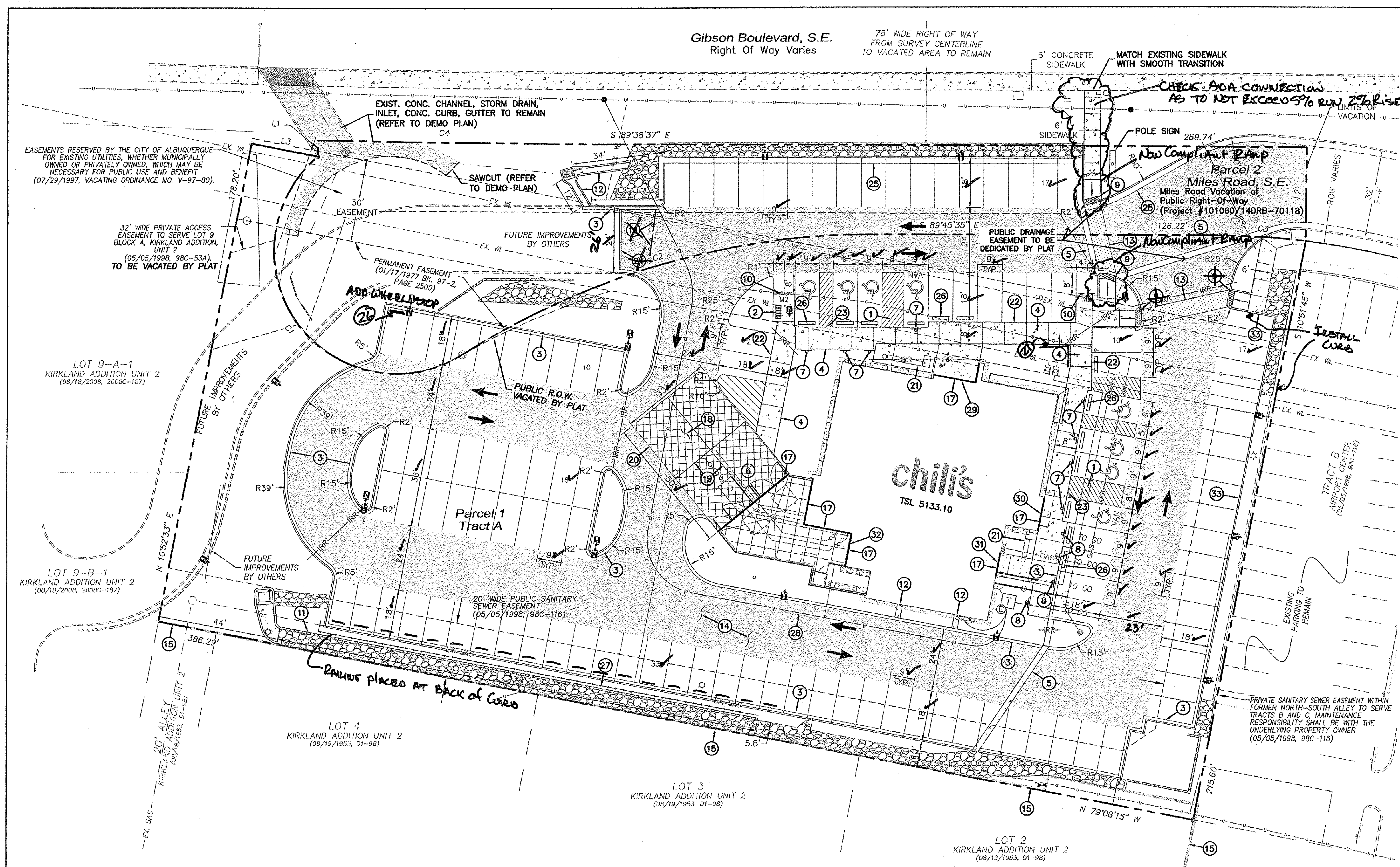
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (Temp)  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10/09/2015 **By:** Ron Bohannon

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





Gibson Boulevard, S.E.  
Right Of Way Varies

78' WIDE RIGHT OF WAY  
FROM SURVEY CENTERLINE  
TO VACATED AREA TO REMAIN

CHECK ADA CONNECTION  
AS TO NOT EXCEED 5% RISE

EASEMENTS RESERVED BY THE CITY OF ALBUQUERQUE  
FOR EXISTING UTILITIES, WHETHER MUNICIPALLY  
OWNED OR PRIVATELY OWNED, WHICH MAY BE  
NECESSARY FOR PUBLIC USE AND BENEFIT  
(07/29/1997, VACATING ORDINANCE NO. V-97-80).

32' WIDE PRIVATE ACCESS  
EASEMENT TO SERVE LOT 9  
BLOCK A, KIRKLAND ADDITION,  
UNIT 2  
(05/05/1998, 98C-53A)  
TO BE VACATED BY PLAT

LOT 9-A-1  
KIRKLAND ADDITION UNIT 2  
(08/18/2008, 2008C-187)

LOT 9-B-1  
KIRKLAND ADDITION UNIT 2  
(08/18/2008, 2008C-187)

20' ALLEY  
KIRKLAND ADDITION UNIT 2  
(08/19/1993, 91-98)

LOT 4  
KIRKLAND ADDITION UNIT 2  
(08/19/1993, 91-98)

LOT 3  
KIRKLAND ADDITION UNIT 2  
(08/19/1993, 91-98)

LOT 2  
KIRKLAND ADDITION UNIT 2  
(08/19/1993, 91-98)

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - BUILDING
  - SIDEWALK
  - EXISTING SCREEN WALL
  - RETAINING WALL
  - STRIPING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING SIDEWALK
  - TRANSFORMER
  - SITE LIGHTING (SEE LIGHTING PLAN)
  - LIGHT DUTY PAVING (AC)
  - HEAVY DUTY PAVING (AC)
  - 7' CONCRETE APRON

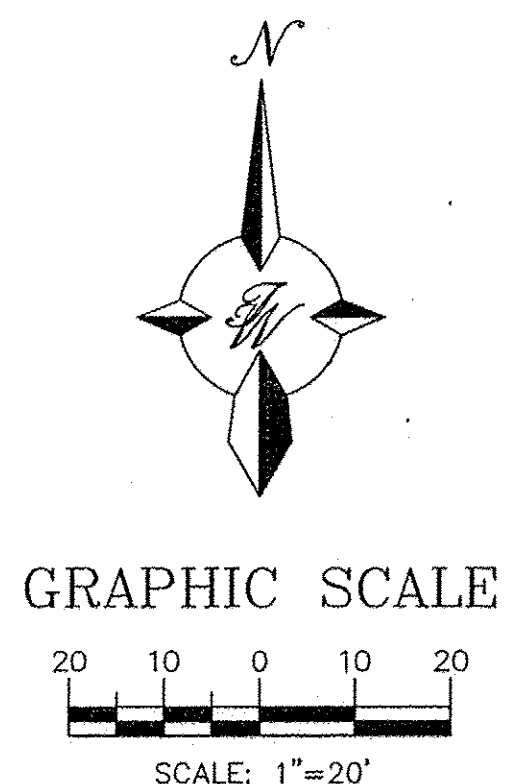
**SITE DATA**  
ADDRESS: 1700 MILES RD SE  
LEGAL DESCRIPTION: TRACT A OF TRACTS A  
THROUGH E, AIRPORT CENTER  
ZONING C-3  
SITE AREA: 1.90 ACRES

**PROPOSED USE**  
6079 SF RESTAURANT BAR WITH 249 SEATS  
(294 PROPOSED OCCUPANT LOAD)

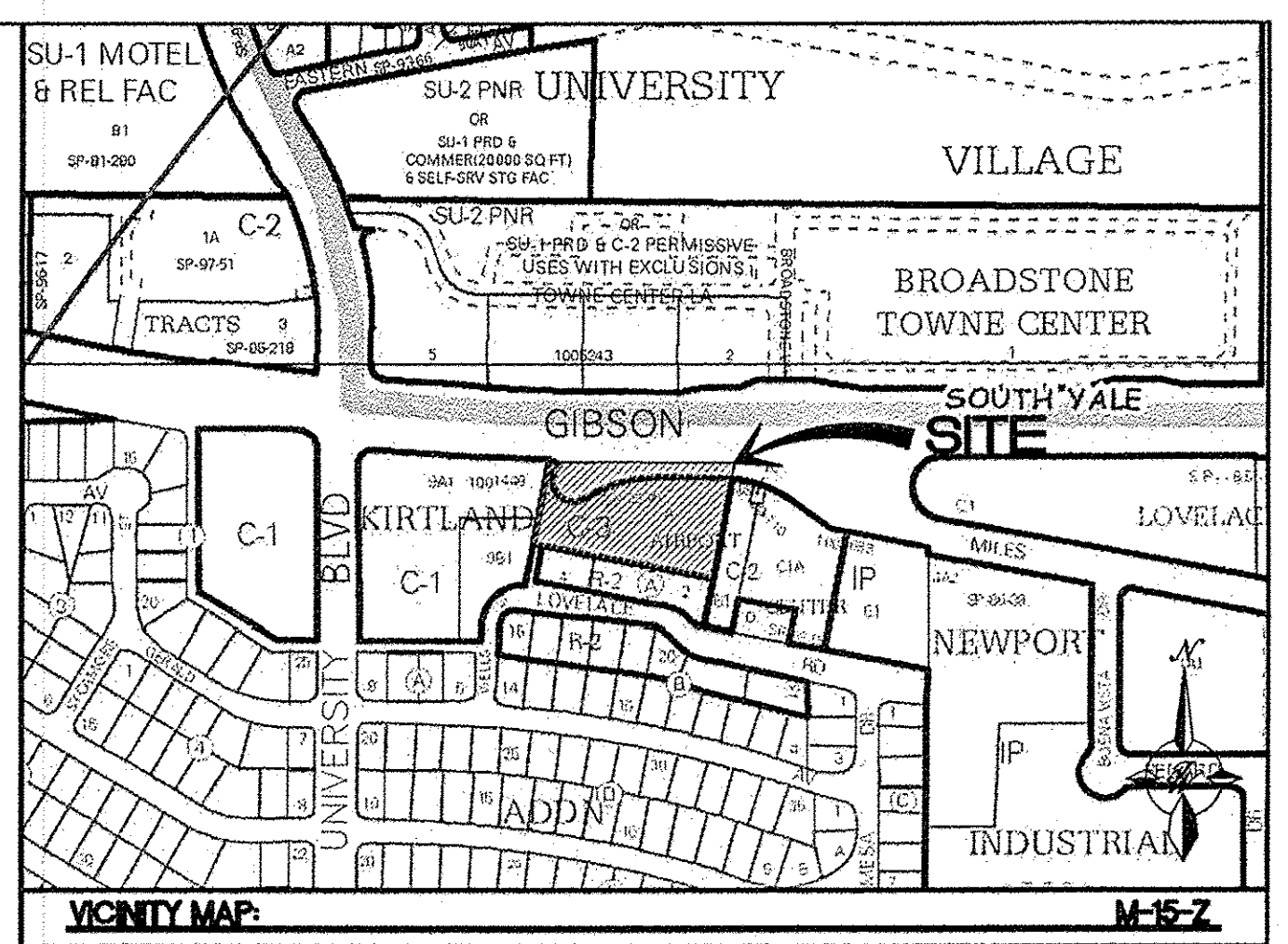
**PARKING REQUIRED**  
ONE AUTOMOBILE SPACE PER THREE PERSONS  
OF PERMITTED FIRE OCCUPANCY LOAD  
(294/3)=98  
ADA ACCESSIBLE SPACES REQUIRED: 8  
(2 VAN ACCESSIBLE)  
MOTORCYCLE SPACES REQUIRED: 3  
ONE BICYCLE SPACE PER 20 REQUIRED  
AUTO SPACES (98/20)=5

**PARKING PROVIDED**  
STANDARD SPACES: 109  
ADA ACCESSIBLE SPACES: 8 (2 VAN ACCESSIBLE)  
TOTAL AUTOMOBILE SPACES: 117  
MOTORCYCLE SPACES: 4  
BICYCLE SPACES: 1 RACK (5 SPACES)

SEE SHEET TCL-2  
FOR DELIVERY ROUTE



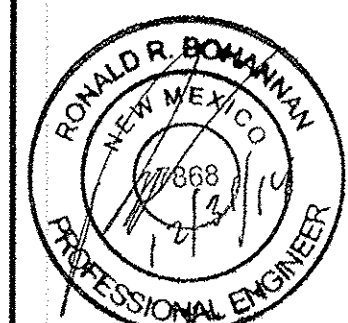
- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
  - C2. DEMO PLAN
  - C3. GRADING AND DRAINAGE PLAN
  - C4. GRADING AND DRAINAGE DETAIL
  - C5. MASTER UTILITY PLAN
  - C6. DETAIL SHEET
  - C7. DETAIL SHEET
  - C8. DETAIL SHEET
  - C9. DETAIL SHEET
  - EC-1 EROSION CONTROL
  - EC-2 EROSION CONTROL DETAILS
  - LS-01 LANDSCAPING PLAN
  - LS-02 LANDSCAPING PLAN LEGEND
  - IS-01 IRRIGATION PLAN
  - TOPO SURVEY



**LEGAL DESCRIPTION**

TRACT A, OF TRACTS A-E, AIRPORT CENTER

- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL 1 SHEET C6)
  - 2 BIKE RACK (SEE DETAIL 2 SHEET C6)
  - 3 PRIVATE CURB AND GUTTER (SEE DETAIL 3 SHEET C7)
  - 4 BUILDING SIDEWALK (SEE DETAIL 15 SHEET C7)
  - 5 CONCRETE SWALE, 2' WIDE, 6" THICK (SEE DETAIL 5 SHEET C7)
  - 6 TRASH ENCLOSURE/RECYCLING (SEE ARCHITECTURAL PLANS FOR DETAIL)
  - 7 ACCESSIBLE PARKING SIGN (TYP) INSTALLED 1' FROM FACE OF WALK (SEE DETAIL 7 SHEET C6)
  - 8 "TO GO" PARKING SIGN (TYP), (SEE DETAIL 8 SHEET C6)
  - 9 UNIDIRECTIONAL RAMP (SEE DETAIL 9 SHEET C6)
  - 10 MOTORCYCLE PARKING SIGN (SEE DETAIL 10 SHEET C6)
  - 11 RETAINING WALL (SEE DETAIL 11 SHEET C7) BY GENERAL CONTRACTOR, SEPARATE PERMIT REQUIRED
  - 12 CONCRETE RUNDOWN (SEE DETAIL 12 SHEET C7)
  - 13 PEDESTRIAN CROSSWALK (SEE DETAIL 13 SHEET C7)
  - 14 PAVING (SEE DETAIL 14 SHEET C7)
  - 15 EXISTING 6' CMU SCREEN WALL
  - 16 TEMP. TYPE 3 BARRICADE (SEE DETAIL 29 SHEET C9)
  - 17 EXPANSION JOINT (SEE DETAIL 15 SHEET C7)
  - 18 SERVICE YARD APRON (SEE DETAIL 20 SHEET C7)
  - 19 SAWCUT CONTROL JOINTS
  - 20 CONCRETE TO ASPHALT TRANSITION (SEE DETAIL 20 SHEET C7)
  - 21 BENCHES & ASH TRAY FURNISHED BY OWNER, INSTALLED BY GENERAL CONTRACTOR
  - 22 TURNDOWN CURB (SEE DETAIL SHEET C7)
  - 23 ZERO CURB (SEE SHEET C4 FOR LIMITS)
  - 24 CUT-OFF WALL (SEE DETAIL 24 SHEET C7)
  - 25 CITY STANDARD CURB AND GUTTER (SEE DETAIL 25 SHEET C7)
  - 26 WHEEL STOP (SEE DETAIL 26 SHEET C8)
  - 27 PEDESTRIAN GUARD RAIL (SEE DETAIL 30 SHEET C9)
  - 28 JOINT UTILITY TRENCH (SEE DETAIL 28 SHEET C9)
  - 29 FRONT ENTRANCE DOOR
  - 30 "TO GO" ENTRANCE DOOR
  - 31 UTILITY ROOM DOOR
  - 32 KITCHEN DOOR
  - 33 6" HEADER CURB (SEE DETAIL 33 SHEET C7)

	<b>ENGINEER'S SEAL</b>	<b>CHILI'S</b> UNIVERSITY BLVD & GIBSON BLVD	DRAWN BY DY
		<b>TRAFFIC CIRCULATION LAYOUT</b>	DATE 12/31/14
		<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com	2013086-TCL
			SHEET # <b>TCL-1</b>
			JOB # 2013086

ISSUE FOR PERMIT 9/7/14