



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: _____

DRB#: 1010060 EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikeler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Sandia Land Surveying Contact: Andrew Medina

Address: 15 Casa Terrenos, Placitas, NM 87043

Phone#: 505-867-1241 Fax#: 505-867-1405 E-mail: sandialand@comcast.net

Contractor: R & O Construction Contact: Lee Child

Address: 933 Wall Avenue, Ogden, Utah, 84404

Phone#: 801-627-1403 Fax#: 801-399-1480 E-mail: leec@randoco.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 12/2/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

TRAFFIC CERTIFICATION

CHICK-FIL-A – 1600 GIBSON BLVD SE

I, Troy Kelts, NMPE OF THE FIRM MERRICK & Company, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/22/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Troy Kelts OF THE FIRM MERRICK & Company. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/1/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **TEMPORARY CERTIFICATE OF OCCUPANCY.**

EXCEPTIONS

- IMPROVEMENTS WITHIN UNIVERSITY BLVD RELATED TO THE MEDIAN RECONFIGURATION AND RESTRIPIING ARE STILL OUTSTANDING. OVERALL PROJECT DEVELOPER IS RESPONSIBLE FOR COMPLETION OF THIS WORK.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

12/2/15

Date



CONSTRUCTION PHASING

THE CONSTRUCTION ACCESS ACROSS LOT 9-A-1A AND LOT 9-B-1A ARE TO BE CONSTRUCTED BY THE LAND OWNER. PAVING OF THE PRIVATE DRIVE AND ASSOCIATED CURB AND GUTTER WILL BE INSTALLED BY THE LAND OWNER, PER THE "CONSTRUCTION PLANS FOR SEC GIBSON AT UNIVERSITY. CROSS ACCESS DRIVEWAY" PLANS BY WOOTEN ENGINEERING. THE SHARED DRIVE LANE BETWEEN LOTS 9-A-1A AND 9-B-1A WILL ALSO BE COMPLETED BY THE LAND OWNER DURING THIS FIRST PHASE.

UPON COMPLETION OF THE ACCESS DRIVE AND SHARED DRIVE LANE, THE LOT 9-A-1A DEVELOPER WILL COMMENCE CONSTRUCTION OF THE REMAINING IMPROVEMENTS PERTINENT TO LOT 9-A-1A, AS SHOWN ON THE PRIVATE IMPROVEMENT PLANS FOR CHICK-FIL-A AT GIBSON PREPARED BY MERRICK & COMPANY. DURING THIS PHASE, CURB AND GUTTER INSTALLED BY THE OWNER THAT CONFLICTS WITH ANY CFA IMPROVEMENTS WILL BE REMOVED AND NEW CURB AND GUTTER WILL BE INSTALLED.

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBLE PARKING SYMBOL
- 5 STANDARD PARKING STALL
- 6 DIRECTIONAL SIGNAGE
ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE US DEPARTMENT OF TRANSPORTATION.
- 6A STOP SIGN
- 6B ACCESSIBLE SIGN
- 6G "CAUTION WATCH FOR PEDESTRIANS" SIGN
- 6H "EXIT ONLY" SIGN
- 7 SIDEWALK HANDICAP RAMP
- 8 FLAG POLE, RE: SIGN PACKAGE
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK W/ CURB & GUTTER
- 13 DRIVE THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 15 18" STEP-OFF CURB
- 17 24" CONCRETE CURB AND GUTTER
- 17A SPILLING SECTION
- 17B CATCHING SECTION
- 19 TRASH ENCLOSURE RE: ARCHITECTURAL PLANS
- 20 PICK UP WINDOW BOLLARD
- 21 ASPHALT PAVEMENT SECTION
- 21A TYPICAL ASPHALT PAVEMENT SECTION
- 21B HEAVY DUTY ASPHALT PAVEMENT SECTION
- 22 PATIO TABLES
- 23 BIKE RACK RE: ARCHITECTURAL PLANS
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING @ DRIVE THRU LANE
- 26 12" CURB CUT
- 27 SCREEN WALL RE: ARCHITECTURAL
- 30 GREASE INTERCEPTOR
- 32 MONUMENT SIGN RE: SIGN PACKAGE
- 33 CLEARANCE BAR RE: SIGN PACKAGE
- 34 RETAINING WALL RE: ARCHITECTURAL PLANS
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 CANOPY ORDERING STATION RE: SIGN PACKAGE
- 37 3' CONCRETE PAN
- 38 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 39 TRANSFORMER
- 40 LANDSCAPED AREA
- 41 6' WIDE COLORED & TEXTURED CONCRETE AT PEDESTRIAN CROSSING SEE NOTE 5
- 42 8' WIDE CONC. VALLEY GUTTER. RE: COA STD DWG 2420

NOTES:

1. REFER TO DRB CASE #1010060 FOR LOT LINE RELOCATION PLAT.
2. ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
3. REFER TO SHEET C4.0 FOR VAN ACCESSIBLE SIGN DETAILS
4. REFER TO SHEET C-5.0 - C-5.2 FOR CIVIL DETAILS.
5. REFER TO ARCHITECTURE PLANS FOR BIKE RACK MODEL & SPECIFICATIONS.
6. REFER TO ARCHITECTURE & STRUCTURAL PLANS FOR RETAINING WALL DETAILS.
7. COLORED & TEXTURED CONCRETE TO UTILIZE INTEGRAL COLORING AS OPPOSED TO STAINED CONCRETE. COLOR FOR CROSSWALKS TO BE A DARK RED COLOR.
8. REFER TO SIGN PACKAGE BY NATIONAL SIGNS FOR SITE MONUMENTATION.
9. "NO PARKING" LETTERS TO BE AT LEAST 1" HIGH AND 2" WIDE.
10. PARKING REQUIREMENTS: 46 REQUIRED, 74 SPACES PROVIDED
11. REFER TO C-3.0 - C-3.1 FOR CURB AND RAMP GRADES.
12. REFER TO C-2.1 FOR LINE AND CURVE DIMENSIONING
13. REFER TO C-2.2 FOR UNIVERSITY BOULEVARD STRIPING PLAN.

PARKING CALCULATIONS

REQUIRED PARKING CALCULATION - 1 PARKING SPACE PER 4 SEATS

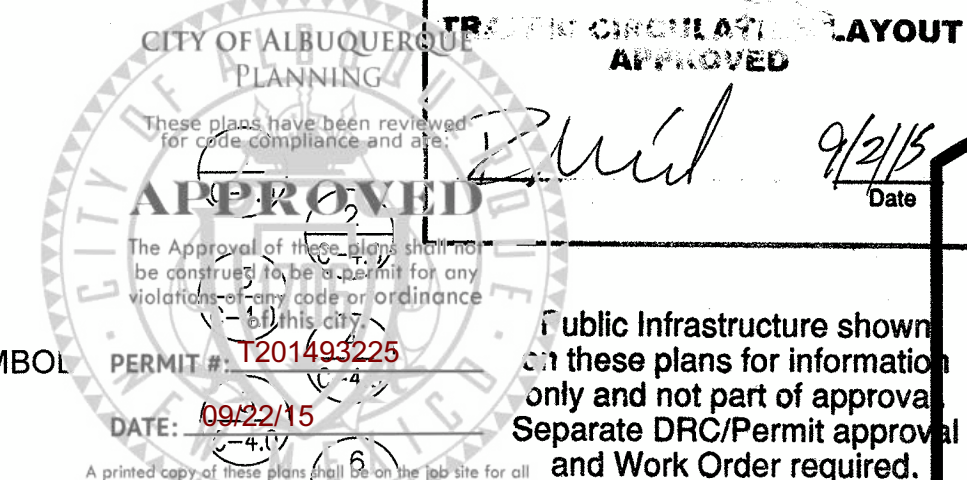
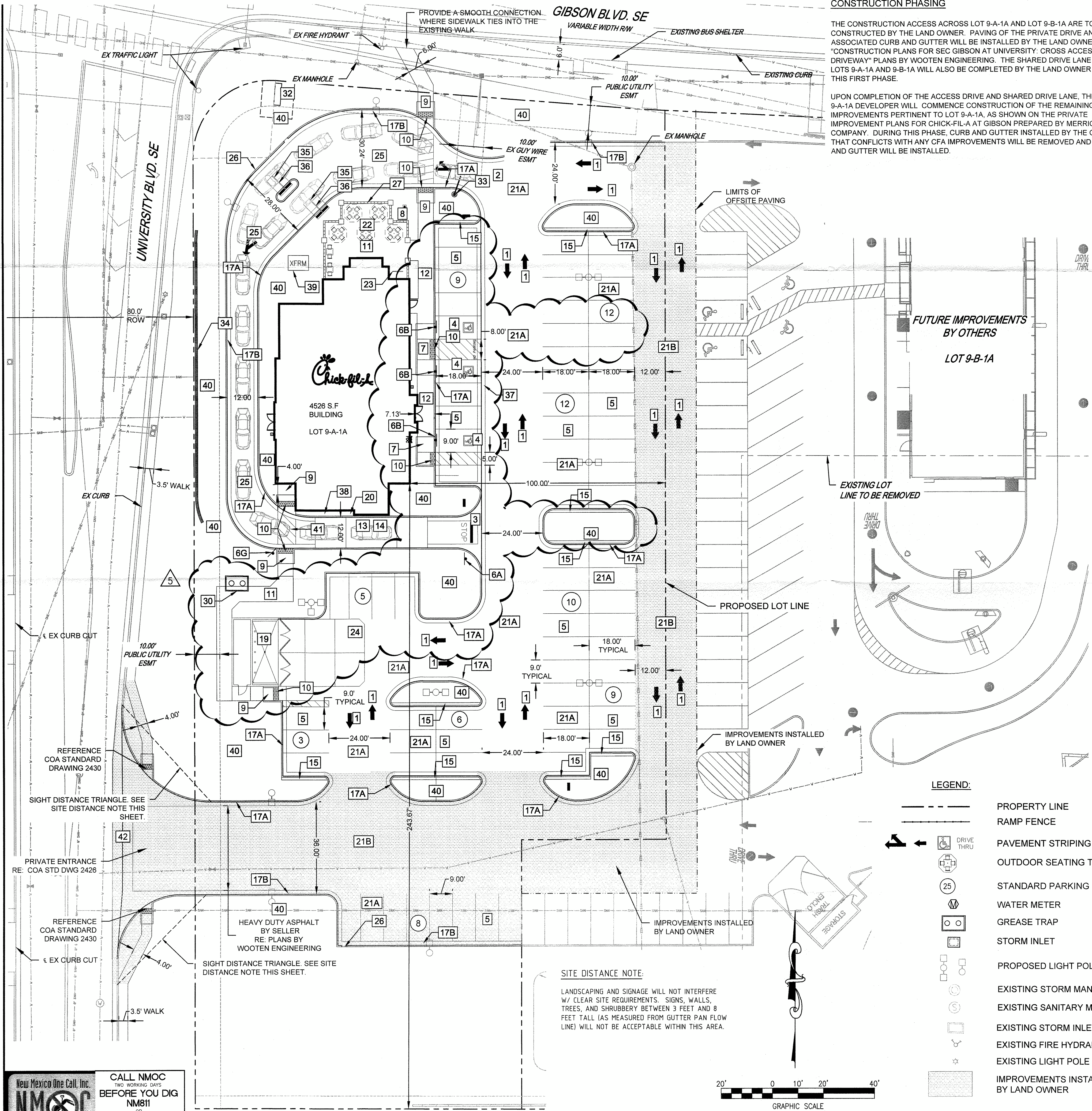
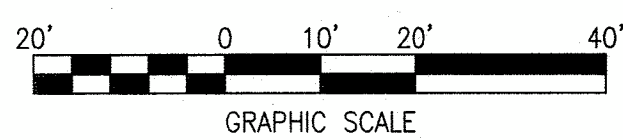
PARKING SUMMARY:	REQUIRED	PROVIDED
DRIVE-THRU STACKING:	5	6
BIKE PARKING:		2
STANDARD PARKING SPACES:	37	61
ACCESSIBLE PARKING:	3	4
MOTORCYCLE PARKING	2	2
TOTAL PARKING SPACES =	42	67

LEGEND:

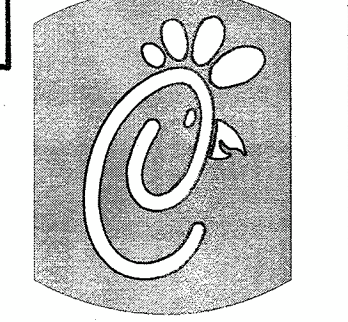
- PROPERTY LINE
- RAMP FENCE
- PAVEMENT STRIPING
- OUTDOOR SEATING TABLE
- STANDARD PARKING STALL COUNT
- WATER METER
- GREASE TRAP
- STORM INLET
- PROPOSED LIGHT POLE
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- IMPROVEMENTS INSTALLED BY LAND OWNER

SITE DISTANCE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE W/ CLEAR SITE REQUIREMENTS. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN FLOW LINE) WILL NOT BE ACCEPTABLE WITHIN THIS AREA.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES

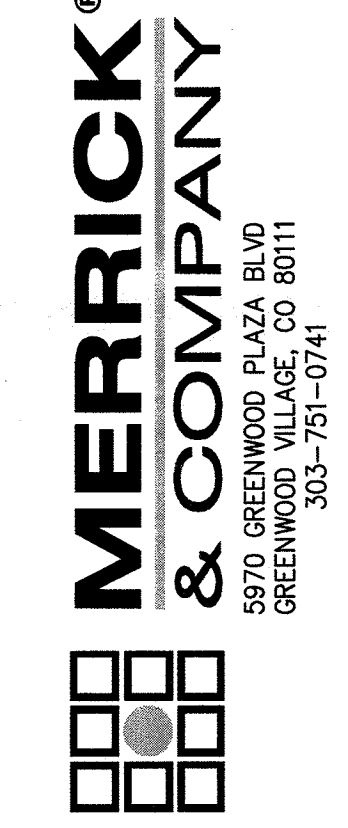
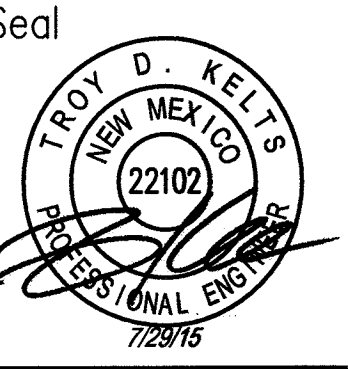


5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
5 REV. 5 TRASH ENCLOSURE &

ADA PARKING STALLS
Mark Date By

Mark Date By



STORE
FSU S08H-A-WC

1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE

Traffic
Circulation
Layout

DWG EDITION

Job No. : 65118373

Store : 03486

Date : 07/01/15

Drawn By : TW

Checked By: TDK

Sheet

C-2.0

