



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg

Address: 9384 Valley View Drive

Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☒ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 03/18/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

March 18, 2015
Merrick Project No. 65118373

Rudy Rael
City of Albuquerque
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A**
1600 Gibson Blvd. SE
Grading and Drainage Plan
Engineers Stamp Date 12/15/14 (M12-D015C)

Dear Mr. Rael:

Merrick & Company has reviewed the comments received on February 26, 2015 regarding the proposed Chick-fil-A located at 1600 Gibson Blvd. SE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

- This site should be presented as a stand-alone site accepting off site flows from the east. The commercial sites to the east have not been built and may not be built due to some complications with the vacation of Miles road.

Response: Offsite drainage will be provided by the developer. Please refer to sheet C-2.0 for the overall drainage map as a reference.

- Mention of the first flush per EPA standards is required. The amount required is .34" times the impervious area. We believe there is enough landscape area to accomplish this requirement.

Response: The first flush has been mentioned in the drainage statement located on sheet C-3.2.

- All flows are to enter University Boulevard's storm drain system, only 0.8 cfs is allowed to surface flow onto University Blvd.

Response: Less than 0.8 cfs will enter University Boulevard as surface flow

- Provide the vicinity map for the area. Also provide the FIRMette or mention the flood zone and map page.

Response: Vicinity map and FIRMette have been added to the drainage pages.

- Provide the legal description on the G&D plan along with the benchmark location.

Response: The legal description has been provided of the G&D plan along with the benchmark.

- Show the roof flows.

Response: Roof flows have been added to the drainage map.

- Depress all landscape areas which are no closer than 10 feet from the building. Create a curb opening on the high side of the parking lot island's and let the flows overtop the curb on the low side.

Response: Landscape areas have not been depressed because retention ponds have been provided to retain the first flush.

- Remove the "not for construction" note, all plans submitted for Building Permit and Grading Permit must be a plan used for building purposes.

Response: The "not for construction" note has been removed from all plans.

- The dumpster area must contain a drain connected to the SAS, with a grease trap.

Response: The trash enclosure contains a drain connected to the SAS

- The plan would be easier to review if sheets C-3.0 & C-3.1 or provide build notes on sheet C-3.0 to get rid of Sheet C-3.1. The storm plan can also be added to sheet C-3.0 and the profiles can be reduced and added to the basin map. Sheet C-3.3 can be deleted if references to these profiles are made on the sheet C-3.0. Also, when time comes to submit for Certificate of Occupancy, fewer sheets will need to be certified.

Response: The sheets have been altered to make reviewing clear and easy.

- Basin B-1 needs to flow through a first flush retention pond before leaving the site.

Response: A retention pond has been added to retain the first flush from basin B-1

- What is the purpose of storm drain line B?

Response: Storm drain B collects developed drainage greater than the first flush and puts it in the existing storm line.

- There appears to be a ponding area in the drive up lane.

Response: The grading has been adjusted to remove ponding area.

- An SO-19 permit may be required, depending on if the stub from Gibson Blvd. was extended/built into this site.

Response: This comment will be researched further and necessary permits will be obtained.

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY



Troy D Kelts, P.E.
Project Manager

CHICK-FIL-A AT GIBSON PRIVATE IMPROVEMENT PLANS

LEGAL DESCRIPTION
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BERNALILLO,
STATE OF NEW MEXICO AND IS DESCRIBED AS FOLLOWS:

LOTS NUMBERED NINE-A-1 (9-A-1) AND NINE-B-1 (9-B-1) IN BLOCK LETTERED A OF KIRTLAND
ADDITION, UNIT 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED
"PLAT OF LOTS 9-A-1 & 9-B-1 - BLOCK A, KIRTLAND ADDITION, UNIT 2, WITHIN SECTION 33, T. 10
N., R. 3 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO". FILED IN THE OFFICE OF THE COUNTY
CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 18, 2008, IN PLAT BOOK 2008C,
PAGE 187.

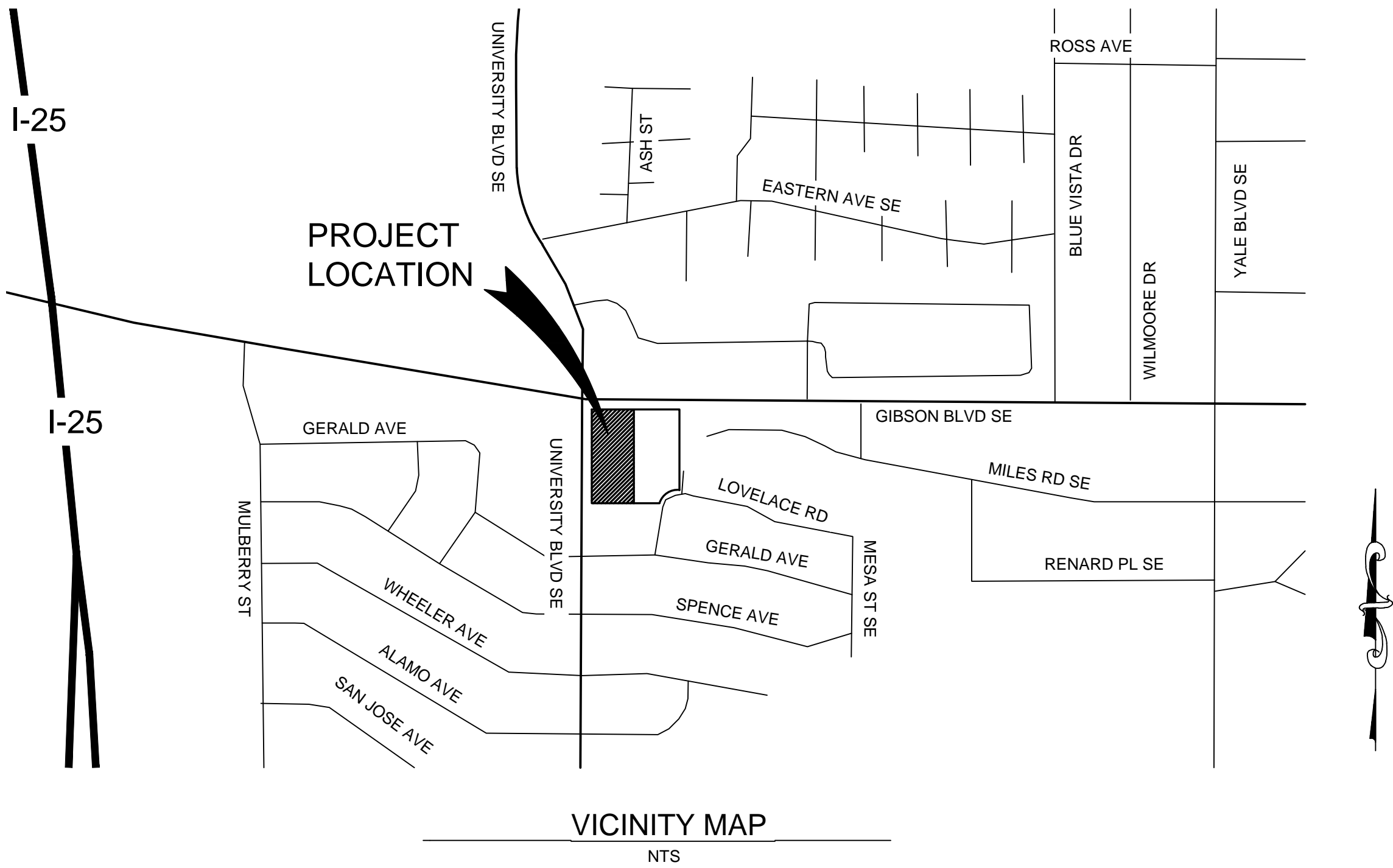
GIBSON BLVD. SE & UNIVERSITY BLVD SE
ALBUQUERQUE, NM 87106

BASIS OF BEARINGS
BEGINNING AT THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED, A POINT
ON THE NORTHERLY BOUNDARY LINE OF SAID LOT 9-A-1, BLOCK A, KIRTLAND ADDITION,
WHENCE THE ANGLE POINT IN THE NORTHERLY BOUNDARY LINE OF SAID LOT 9-A-1,
BLOCK A, KIRTLAND ADDITION BEARS S 85 30' 24" E, 4.71 FEET DISTANT.

BENCHMARK
VERTICAL DATUM IS BASED IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY
BENCHMARK 7-L15", ELEVATION = 5164.135. (NAVD 1988)



UNIT # 03486



SHEET INDEX

| | |
|--------|--------------------------------------|
| C-0.0 | COVER SHEET |
| C-1.0 | MERRICK GENERAL NOTES |
| C-1.1 | DEMOLITION PLAN |
| C-2.0 | SITE PLAN |
| C-2.1 | HORIZONTAL CONTROL PLAN |
| PS-1.0 | UTILITY PLAN |
| C-3.0 | GRADING PLAN |
| C-3.1 | GRADING PLAN |
| C-3.2 | DEVELOPED DRAINAGE PLAN |
| C-3.3 | STORM SEWER PLAN & PROFILE |
| C-3.4 | EROSION CONTROL PLAN |
| C-4.0 | PRIVATE CHICK-FIL-A STANDARD DETAILS |
| C-4.1 | PRIVATE CHICK-FIL-A STANDARD DETAILS |
| C-4.2 | PRIVATE CHICK-FIL-A STANDARD DETAILS |
| C-5.0 | CIVIL DETAILS |
| C-5.1 | CIVIL DETAILS |
| C-5.2 | CIVIL DETAILS |
| C-5.3 | CIVIL DETAILS |
| C-5.4 | CIVIL DETAILS |
| L-1.0 | LANDSCAPE PLAN |
| L-2.0 | LANDSCAPE DETAILS |
| L-3.0 | LANDSCAPE SPECIFICATIONS |
| L-3.1 | LANDSCAPE SPECIFICATIONS |
| IR-1.0 | IRRIGATION PLAN |
| IR-2.0 | IRRIGATION DETAILS |
| IR-3.0 | IRRIGATION SPECIFICATIONS |

PROJECT CONTACTS

PLANNING DEPARTMENT
CITY OF ALBUQUERQUE ZONING ENFORCEMENT
600 2ND STREET N.W.,
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SANITARY SEWER
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SURVEYOR
SURV-TEK, INC
9384 VALLEY VIEW DR
ALBUQUERQUE, NM 87114
CONTACT: RUSS P. HUGG
(505) 897-3366

ELECTRIC
PNM
4201 EDITH BLVD NE, ALBUQUERQUE, NM 87107
CONTACT: MR. MICHAEL MOYER
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TELEPHONE / CABLE / HIGH SPEED INTERNET
CENTURY LINK
400 TIJERAS AVE NW, ALBUQUERQUE, NM 87102
CONTACT: MR. RICHARD REDMAN
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ROAD / R.O.W
CITY OF ALBUQUERQUE DIVISION OF BUILDING SERVICES
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CONTACT: RYAN ROBINSON
EMAIL: RROBINSON@4GDEV.COM

CIVIL ENGINEER
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(714) 832-1834
CONTACT: KIMANH NGUYEN
EMAIL: KIMANH@CRHO.COM



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By

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Mark Date By

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Seal

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GREENWOOD VILLAGE, CO 80111
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STORE
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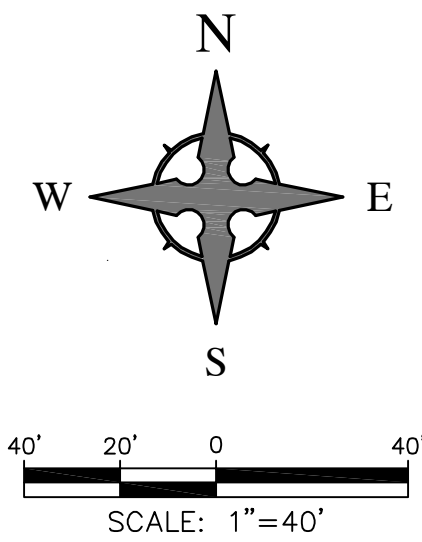
1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE
COVER SHEET

DWG EDITION ---

Job No. :65118373
Store : 03486
Date :03/18/15
Drawn By : TW
Checked By: TDK

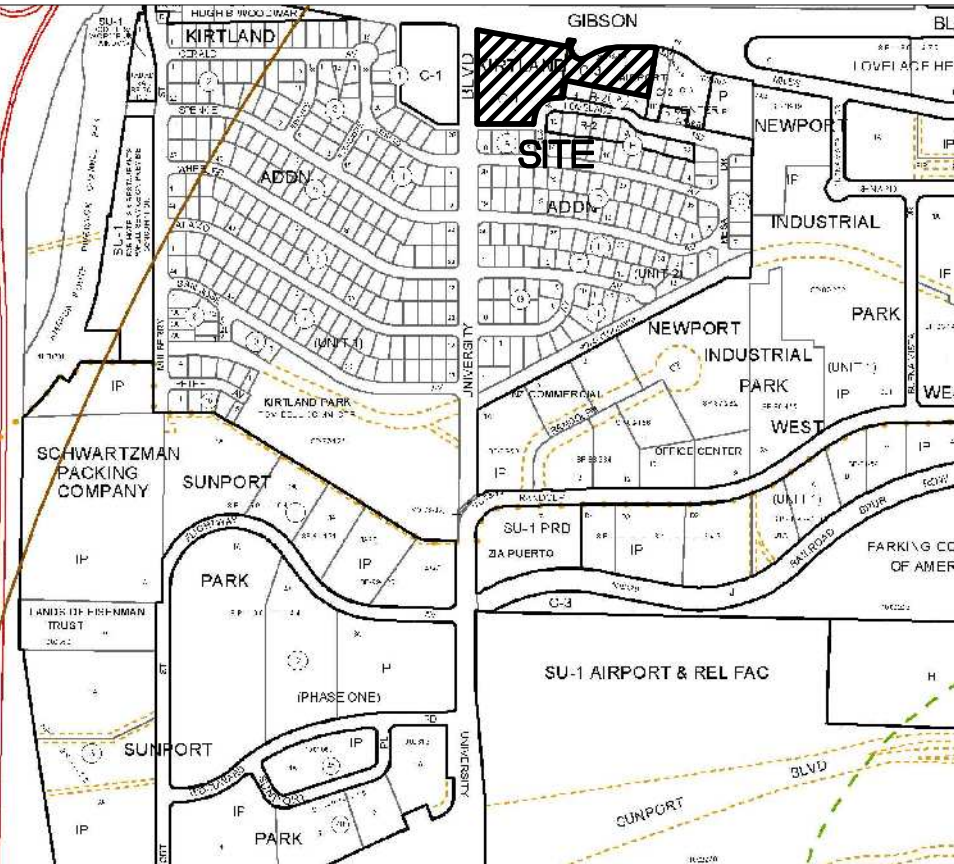
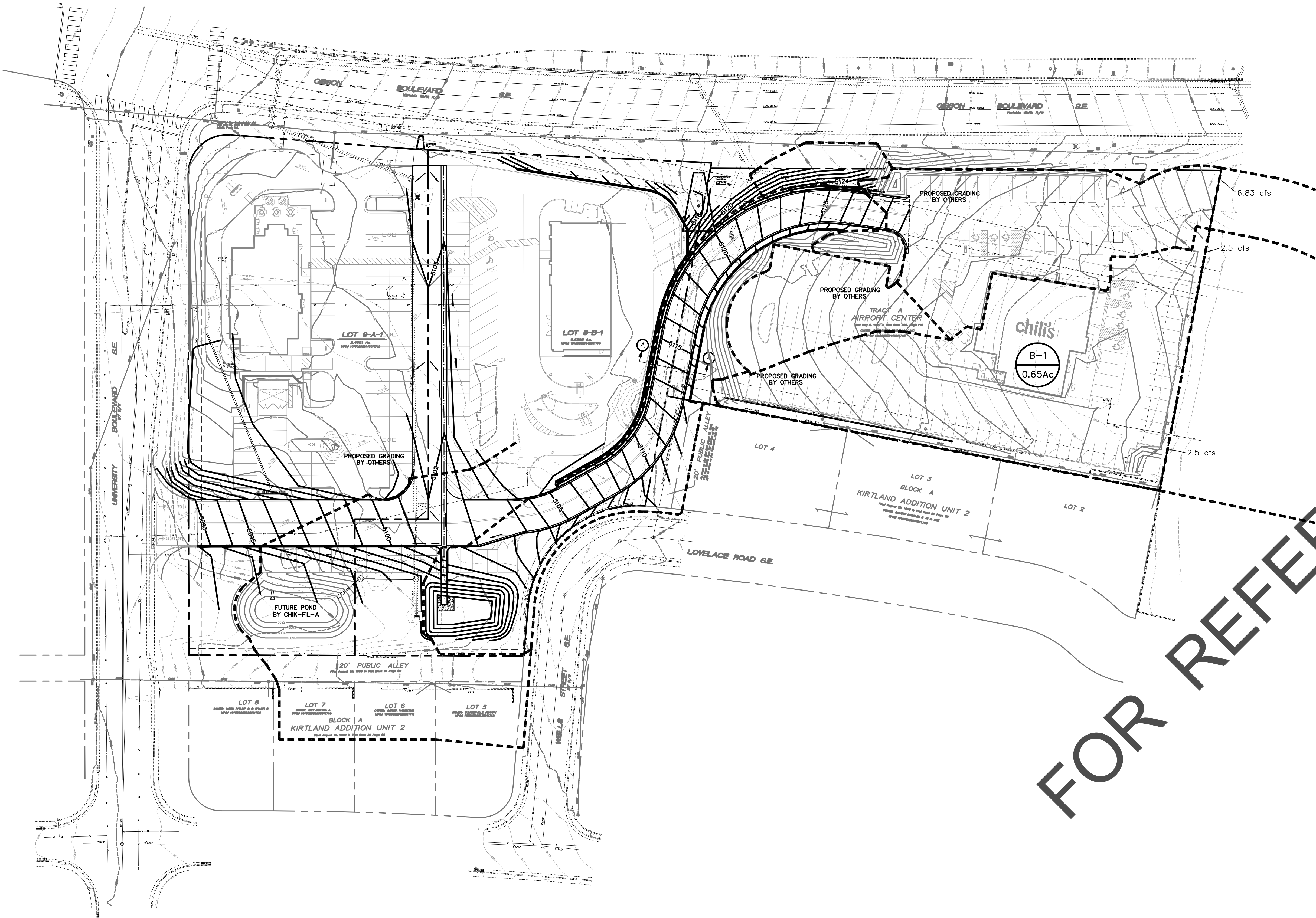
Sheet
C-0.0



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- LEGEND**
- FLOW ARROW
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE
 - BASIN NUMBER
 - SIZE OF BASIN (ACRES)



VICINITY MAP - Zone Map M-15-Z



FIRM MAP 35001C0342G

Per FIRM Map 35001C0342G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for 98th Street Plaza, located at the NWQ of 98th St and Volcano Rd in Albuquerque, NM. The site contains approximately 3.93 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently vacant and drains via surface flow from west to east into a swale/bar ditch along 98th St. The flow is then conveyed south into existing drop inlets at 98th/Volcano, which then flows in a Storm Drain System and into the Tierra Bona Phase IIC Ponds located at the SWQ of 98th/Volcano. The ponds were constructed via City Project Number 4076-92. Per the Tierra Bonta Drainage Facilities DMP by Greiner (File # L10/D000 dated Dec 1997), all 3.93 acres of our project is part of Basin 109.10, which is allowed to have a maximum discharge of 4,241 cfs/acre into the storm drain system and Phase IIC Ponds.

PROPOSED HYDROLOGIC CONDITIONS

As noted above, our site is allowed to discharge up to 4,241 cfs into the downstream systems. This accounts for the developed flows from our site at a +/-85% pervious land treatment. Each of the three parcels will need to provide water harvesting swales and ponding per the current COA DPM at an effective rate of 0.34" for the impervious area located on site.

FIRST FLUSH CALCULATIONS

The first flush impervious area is 109,114 SF * 0.34" / 12 = 3,091.56 cubic feet. All of Basins A-1 through A-4 are being routed through Depressed Water Harvesting areas, which equates to a total of 15,078 CF of volume during the 6-Hr Storm. This volume is being routed through the landscaped areas and not directly discharging into the downstream storm drain system.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm, does not burden downstream systems, and meet city requirements. The proposed detention pond within Basin B will keep excess drainage flows and volumes from exceeding pre-developed storms. The proposed improvements to the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting building permit approval.

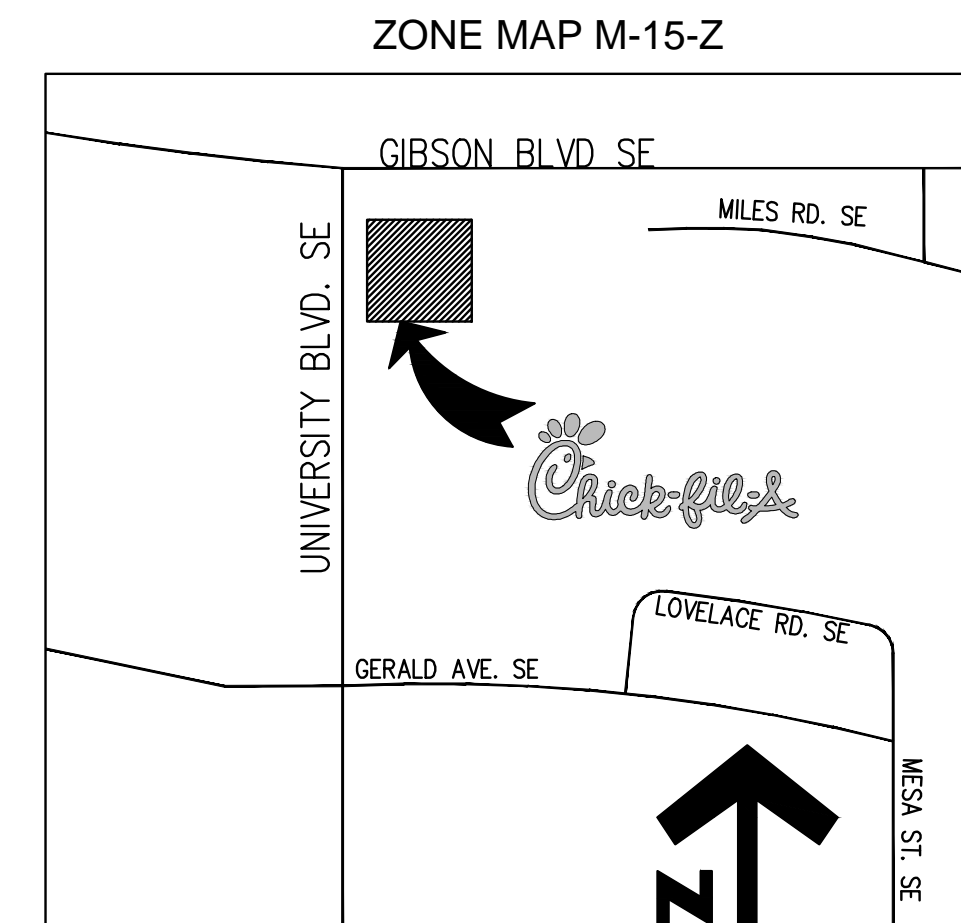
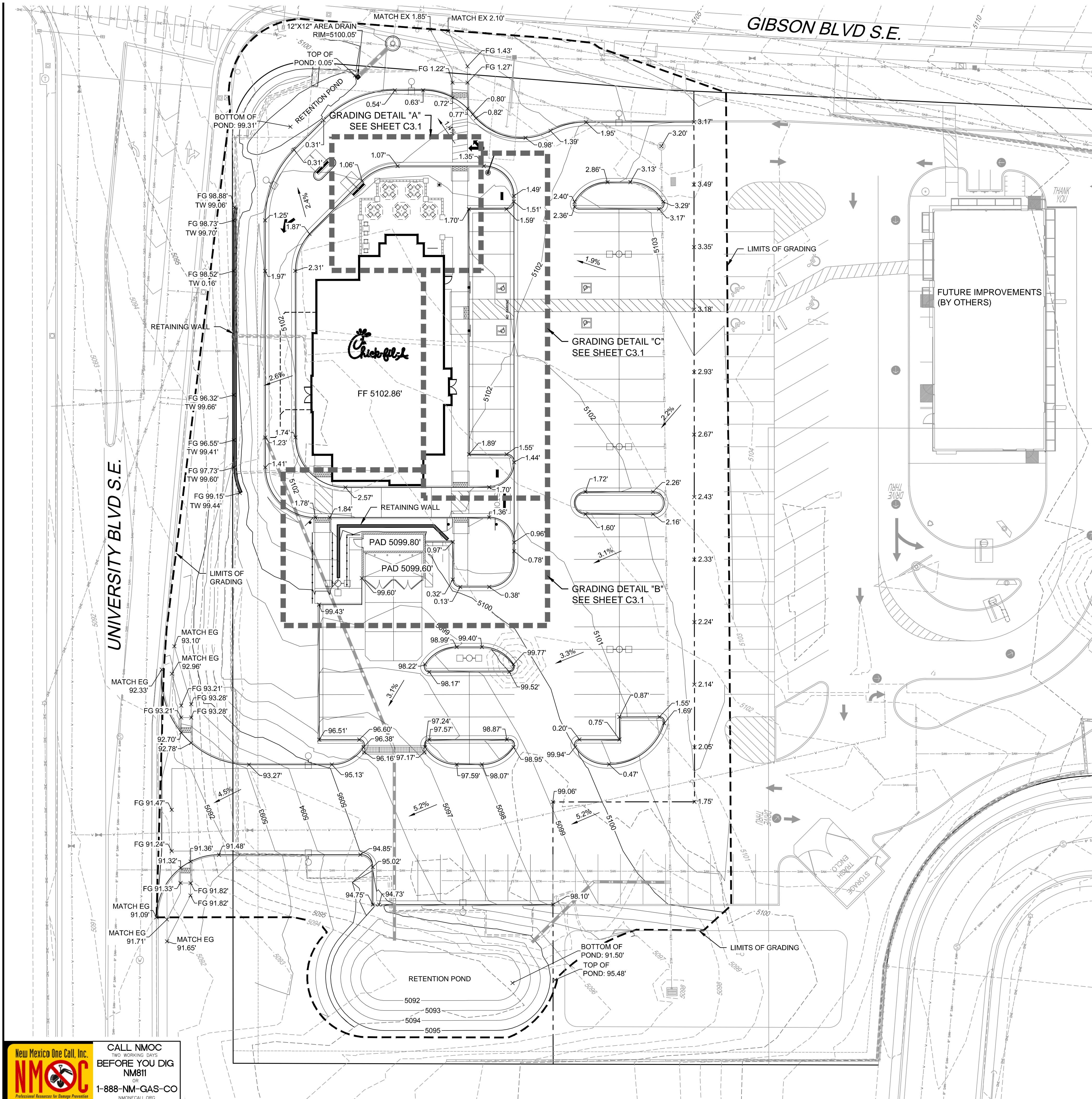
Wooten Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505-980-3560
TX Firm No. F-16140

Preliminary
Not For
Construction

SEC Gibson at University
Cross Access Driveway
Albuquerque, New Mexico

Project Number 2014055
Drawn By JW
Checked JW
Issue Date March 17, 2015

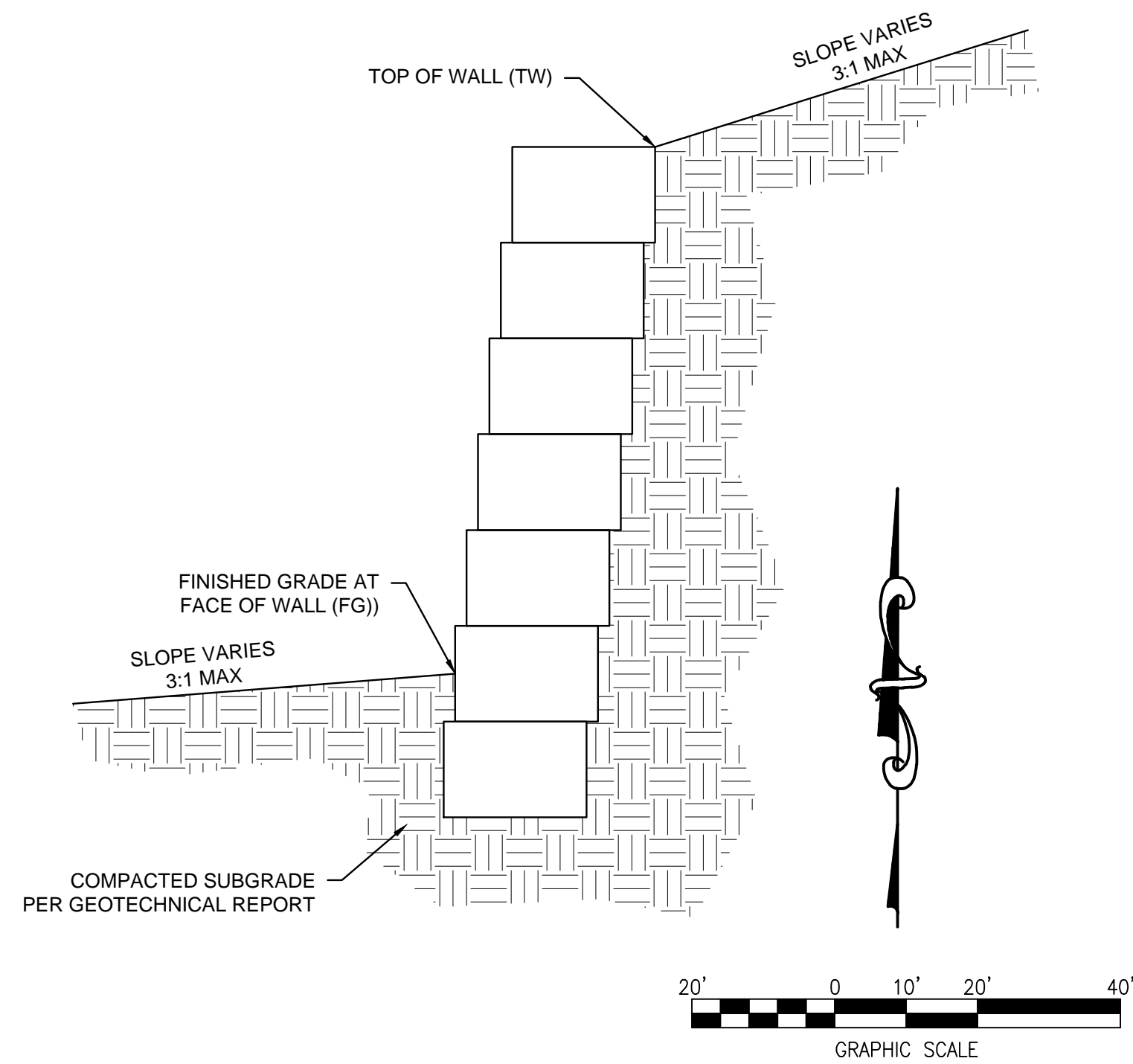
Overall Drainage
Management Plan



1 VICINITY MAP
NOT TO SCALE

| LEGEND: | |
|---------|----------------------------------|
| | PROPERTY LINE |
| | LIMITS OF GRADING |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | FLOWLINE SPOT ELEVATION |
| | FINISHED FLOOR SPOT ELEVATION |
| | FINISHED GRADE SPOT ELEVATION |
| | TOP OF CURB SPOT ELEVATION |
| | EXISTING GRADE SPOT ELEVATION |
| | EXISTING FLOWLINE SPOT ELEVATION |
| | PROPOSED SLOPE ARROWS |
| | EXISTING SLOPE ARROWS |
| | PROPOSED STORM MANHOLE |
| | PROPOSED STORM INLET |
| | PROPOSED STORM LINE |

- NOTES
- ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
 - ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 - ELEVATIONS ARE 50XX OR 51XX



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NMOC
Professional Resources for Damage Prevention

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OR
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NMOCALL.ORG

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Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
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MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC

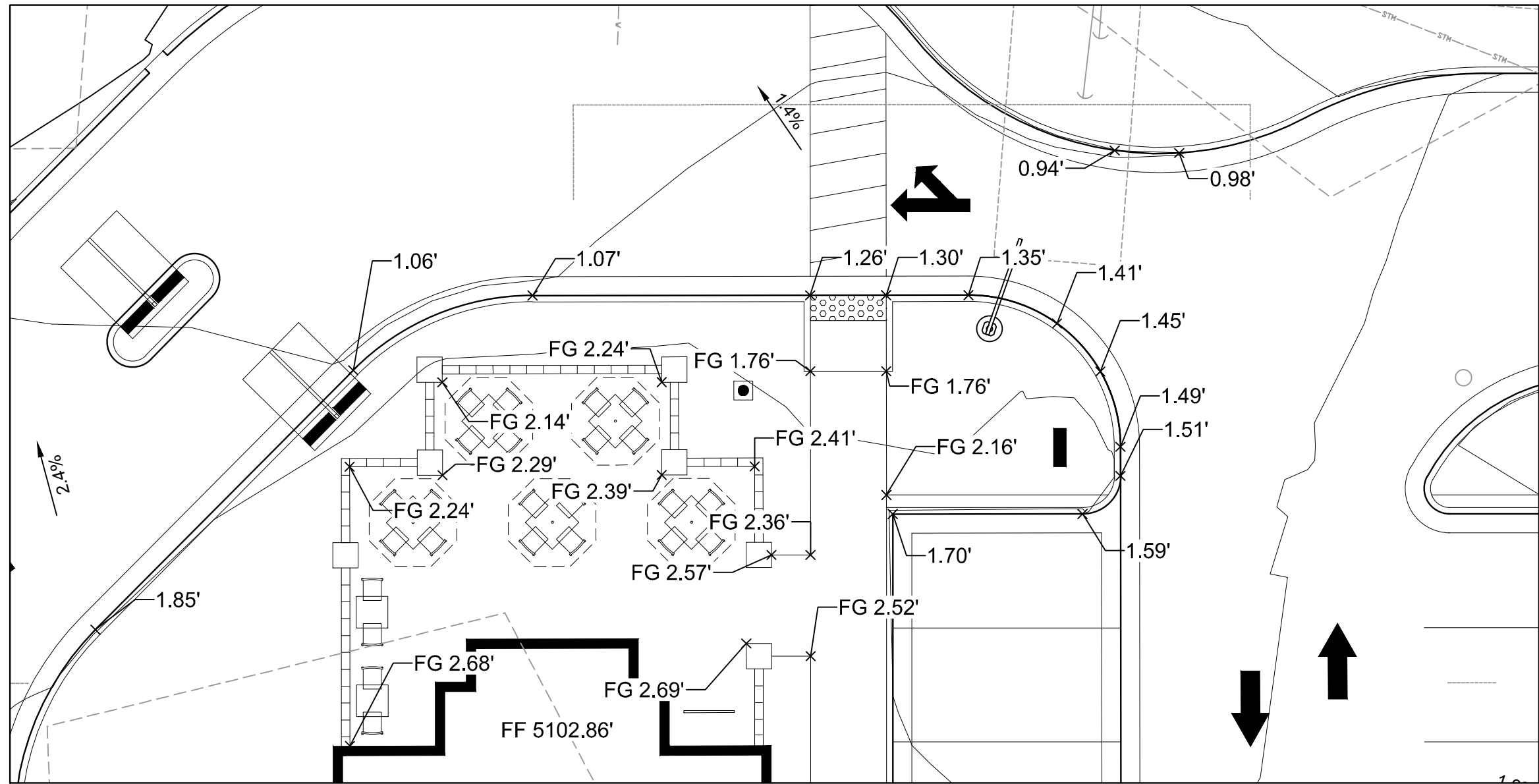
1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE
GRADING PLAN

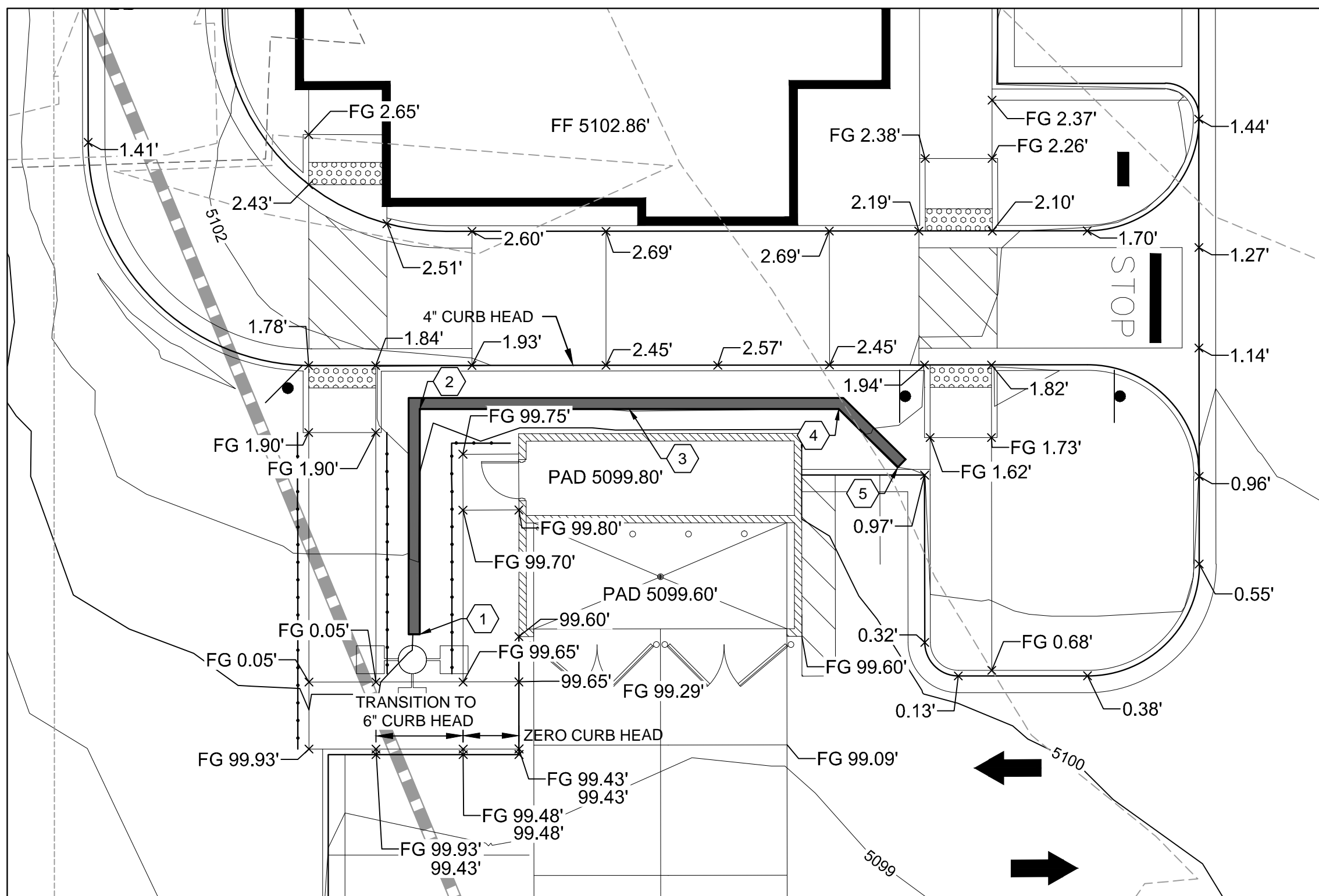
DWG EDITION ---

Job No. : 65118373
Store : 03486
Date : 03/18/15
Drawn By : TW
Checked By : TDK

Sheet
C-3.0

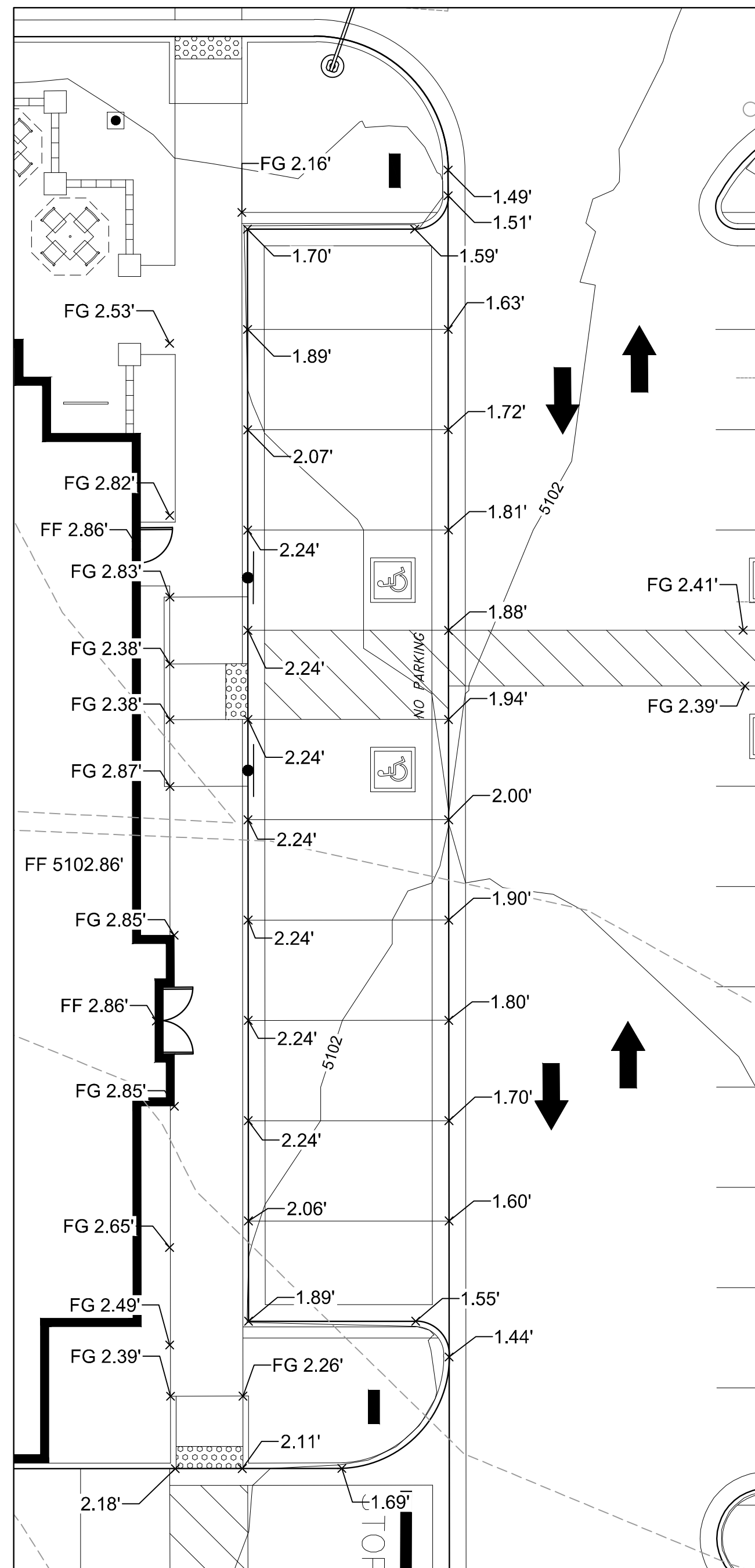


GRADING DETAIL "A"
SCALE 1" = 10'



GRADING DETAIL "B"
SCALE 1" = 10'

| GRADING DETAIL "B" WALL INFORMATION | | |
|-------------------------------------|------------------------|-----------------------|
| POINT | FG ELEV @ FACE OF WALL | FG ELEV @ TOP OF WALL |
| 1 | 5099.71 | 5100.18 |
| 2 | 5100.11 | 5102.64 |
| 3 | 5101.00 | 5102.87 |
| 4 | 5100.97 | 5102.83 |
| 5 | 5100.99 | 5101.15 |



GRADING DETAIL "C"
SCALE 1" = 10'

LEGEND:

- PROPERTY LINE
- LIMITS OF GRADING
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FLOWLINE SPOT ELEVATION
- FINISHED FLOOR SPOT ELEVATION
- FINISHED GRADE SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- EXISTING GRADE SPOT ELEVATION
- EXISTING FLOWLINE SPOT ELEVATION
- PROPOSED SLOPE ARROWS
- EXISTING SLOPE ARROWS
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED STORM LINE
- EMERGENCY OVERFLOW PATHWAY

NOTES

- ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
- ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
- ELEVATIONS ARE 50XX OR 51XX

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

| Mark | Date | By |
|------|------|----|
| △ | | |
| △ | | |
| △ | | |

Seal

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC

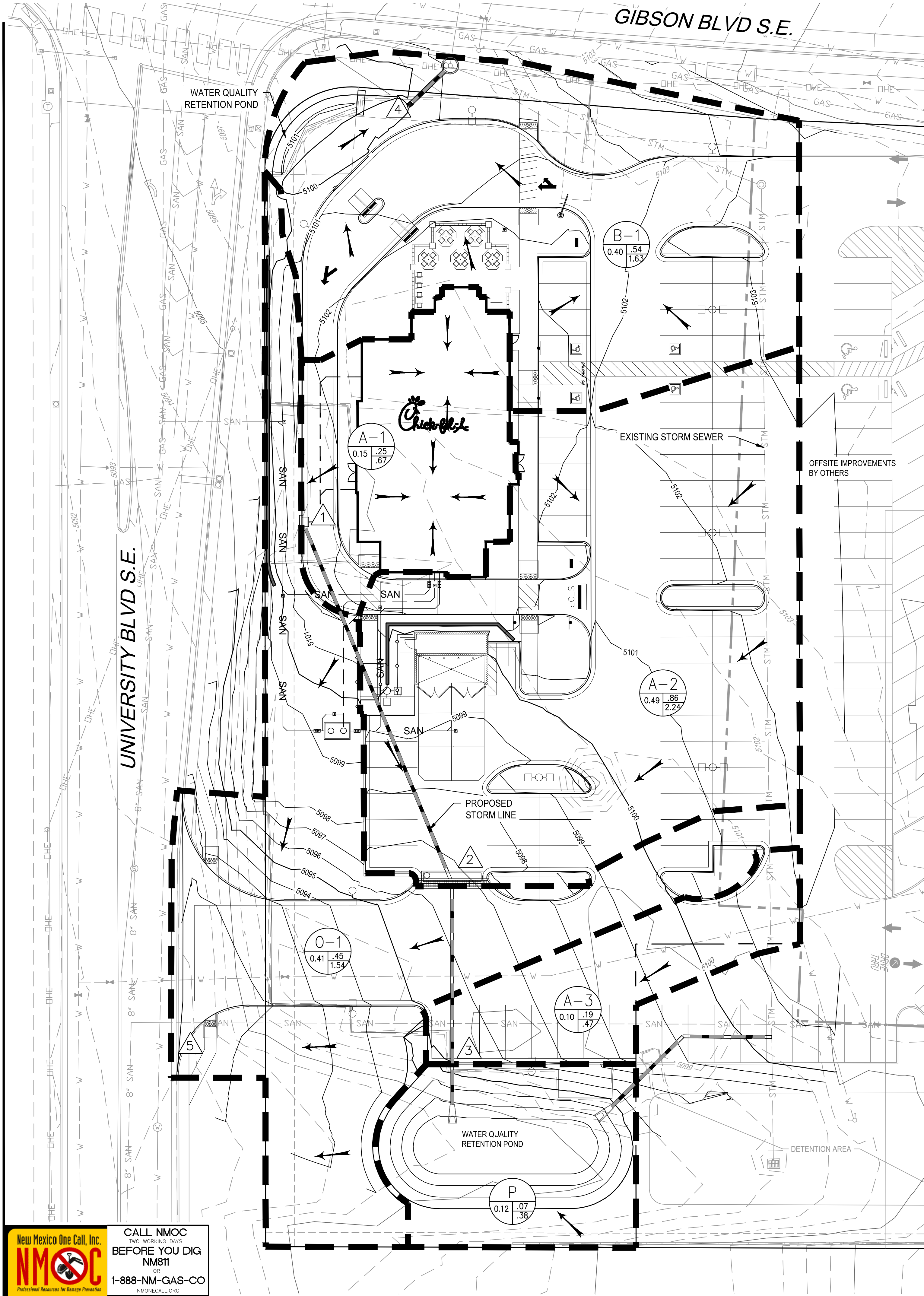
1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE
GRADING PLAN

DWG EDITION ---

Job No. : 65118373
Store : 03486
Date : 03/18/15
Drawn By : TW
Checked By : TDK

Sheet
C-3.1



LEGEND:

- PROPERTY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED FLOW ARROW
- EXISTING FLOW ARROW
- DRAINAGE BASIN BOUNDARY LINE
- DESIGN POINT
- PROPOSED STORM LINE
- PROPOSED STORM INLET
- PROPOSED ROOF DRAIN
- EXISTING TREE
- EXISTING STORM INLET
- EXISTING STORM
- EXISTING FENCE

- BASIN IDENTIFICATION
- 2-YEAR PEAK RUNOFF
- 100 YEAR PEAK RUNOFF
- BASIN AREA (ACRES)

| Land Treatment (ac) | | | | | |
|---------------------|--------------|---|---|------|------|
| Basin | Design Point | A | B | C | D |
| O-1 | 5 | 0 | 0 | 0.25 | 0.16 |
| A-1 | 1 | 0 | 0 | 0.02 | 0.13 |
| A-2 | 2 | 0 | 0 | 0.04 | 0.45 |
| A-3 | 3 | 0 | 0 | 0 | 0.1 |
| B-1 | 4 | 0 | 0 | 0.16 | 0.24 |
| P | 5 | 0 | 0 | 0.12 | 0 |

| | BASIN | | | | | |
|--------------------------|-------|------|------|------|------|------|
| | O-1 | A-1 | A-2 | A-3 | B-1 | P |
| 100 YR PEAK RUNOFF (cfs) | 1.54 | 0.67 | 2.24 | 0.47 | 1.63 | 0.38 |
| 10 YR PEAK RUNOFF (cfs) | 0.93 | 0.44 | 1.48 | 0.31 | 1.03 | 0.21 |
| 2 YEAR PEAK RUNOFF (cfs) | 0.45 | 0.25 | 0.86 | 0.19 | 0.54 | 0.07 |

SHEET REFERENCES

- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION PLAN.
- REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
- REFER TO SHEET C-3.3 FOR STORM SEWER LOCATION AND CONNECTION PLAN.
- REFER TO SHEET C-3.4 FOR EROSION CONTROL PLAN.

BENCHMARK

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY
BENCHMARK 74-15', ELEVATION = 5164.135. (NAVD 1988)

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BERNALILLO, STATE OF NEW MEXICO AND IS DESCRIBED AS FOLLOWS:

LOTS NUMBERED NINE-A-1 (9-A-1) AND NINE-B-1 (9-B-1) IN BLOCK LETTERED A OF KIRTLAND ADDITION, UNIT 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 9-A-1 & 9-B-1 - BLOCK A, KIRTLAND ADDITION, UNIT 2, WITHIN SECTION 33, T. 10 N., R. 3 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 18, 2008, IN PLAT BOOK 2008C, PAGE 187.

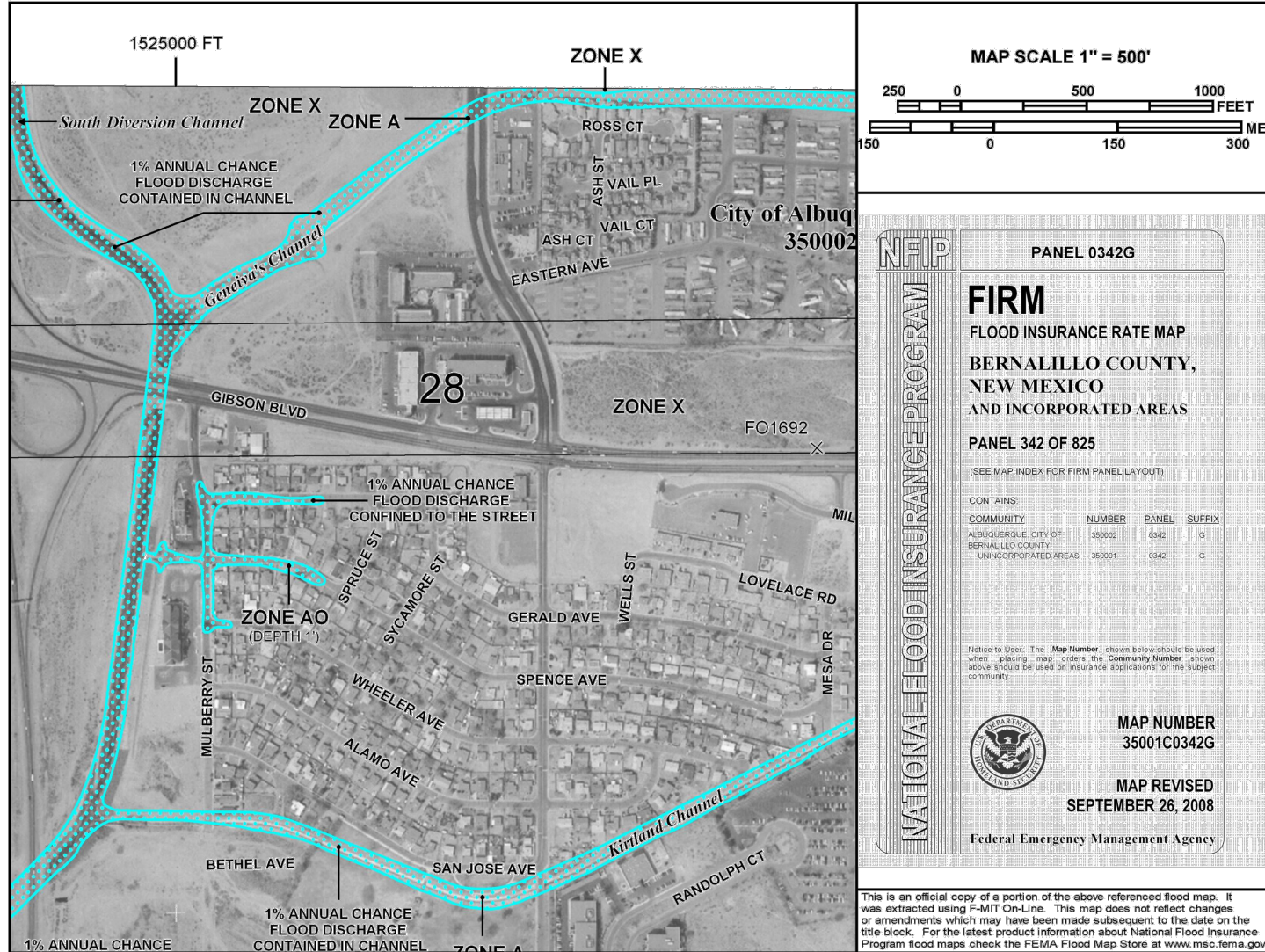
DRAINAGE STATEMENT

THE PROPOSED SITE IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF GIBSON BLVD SE AND UNIVERSITY BLVD SE, WHICH IS WITHIN ZONE 2 OF THE CITY OF ALBUQUERQUE'S PRECIPITATION ZONES. THE SITE WAS PREVIOUSLY DEVELOPED AS A MULTI-BUILDING COMMERCIAL CENTER (CITY DRAINAGE FILE M15D012A). THE PROPOSED DEVELOPMENT WILL CONSIST OF A CHICK-FIL-A AND A McDONALDS. THE McDONALDS SITE WILL ADDRESS DEVELOPED RUNOFF AS PART OF THEIR CONSTRUCTION DOCUMENTS.

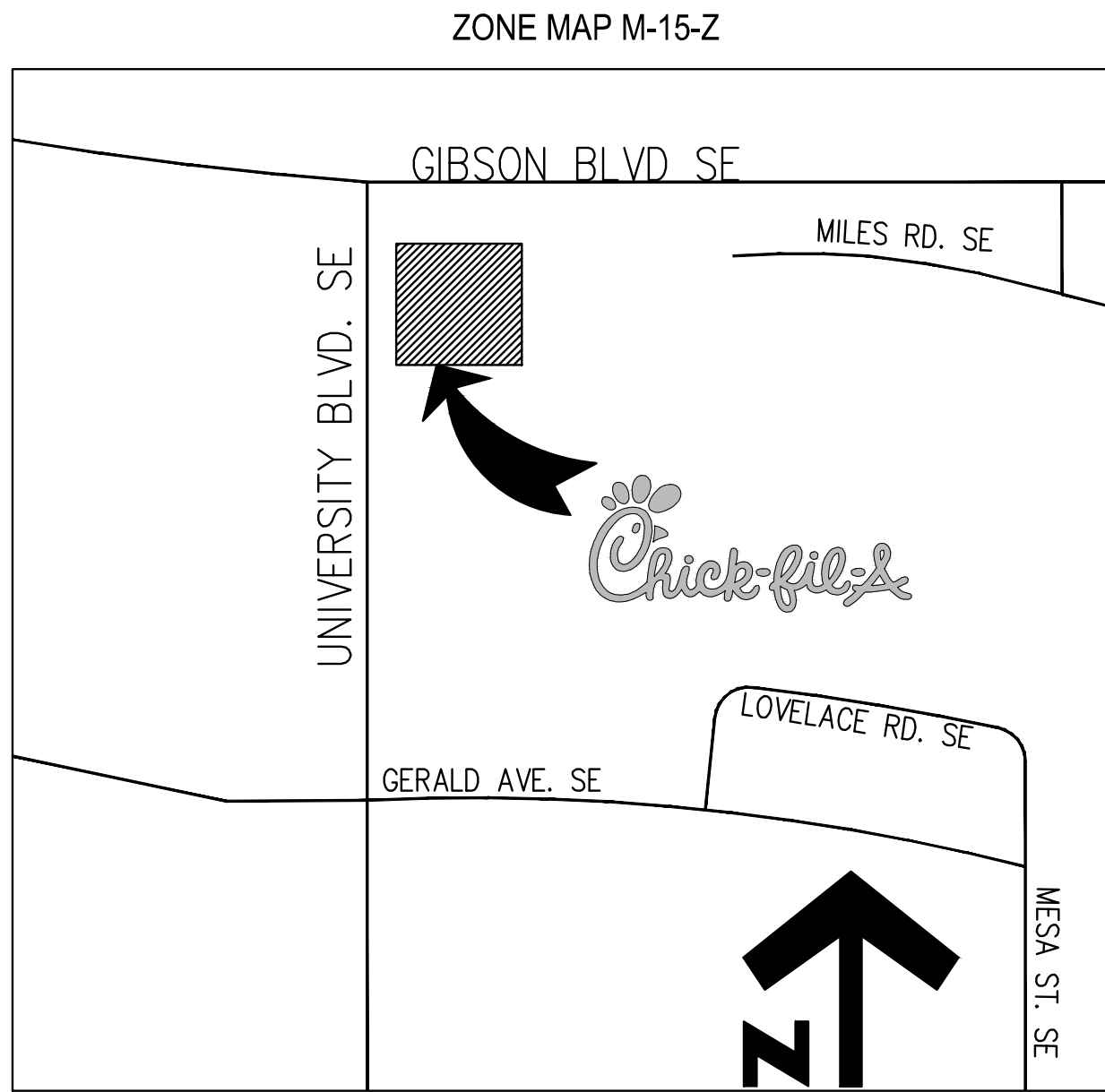
THE SITE WILL CAPTURE DEVELOPED RUNOFF ON SITE LESS BASIN O-1 WHEN POSSIBLE. DEVELOPED RUNOFF FROM BASINS A-1, A-2, AND A-3 WILL BE CONVEYED TO A RETENTION POND THAT HAS BEEN SIZED TO RETAIN 1330 CUBIC FEET (THE INITIAL 0.34" OF RUNOFF FROM ALL IMPERVIOUS AREAS). DEVELOPED RUNOFF FROM BASIN B-1 WILL FLOW TO A RETENTION POND THAT HAS BEEN SIZED TO RETAIN 300 CUBIC FEET (THE INITIAL 0.34" OF RUNOFF FROM ALL IMPERVIOUS AREAS). DEVELOPED RUNOFF IN EXCESS OF THE INITIAL 0.34" WILL BE CONVEYED BY PRIVATE STORM SEWER NORTH TO AN EXISTING STORM SEWER STUB PROVIDED WITHIN THE GIBSON BLVD SE RIGHT-OF-WAY.

DUE TO SITE LAYOUT AND GRADING CONSTRAINTS, DEVELOPED RUNOFF FROM BASIN O-1 WILL LEAVE THE SITE UNDETAINED (2YR PEAK RUNOFF: 0.45 CFS, 100 YR PEAK RUNOFF: 1.54 CFS IN WHICH THE IMPERVIOUS AREA CONTRIBUTES 0.60 CFS DURING THE 100 YR PEAK RUNOFF).

THE PROPOSED REDEVELOPMENT WILL REDUCE THE PERCENT IMPERVIOUSNESS TO 66.7%.



1 FIRMETTE MAP



2 VICINITY MAP

NOT TO SCALE

CALL NMOC
TWO WORKING DAYS
BEFORE YOU DIG
NM811
OR
1-888-NM-GAS-CO
NMOCALL.ORG

Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
△
Mark Date By
△
Mark Date By
△

Seal
TROY D. KELTS
NEW MEXICO
22102
CIVIL ENGINEER

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC

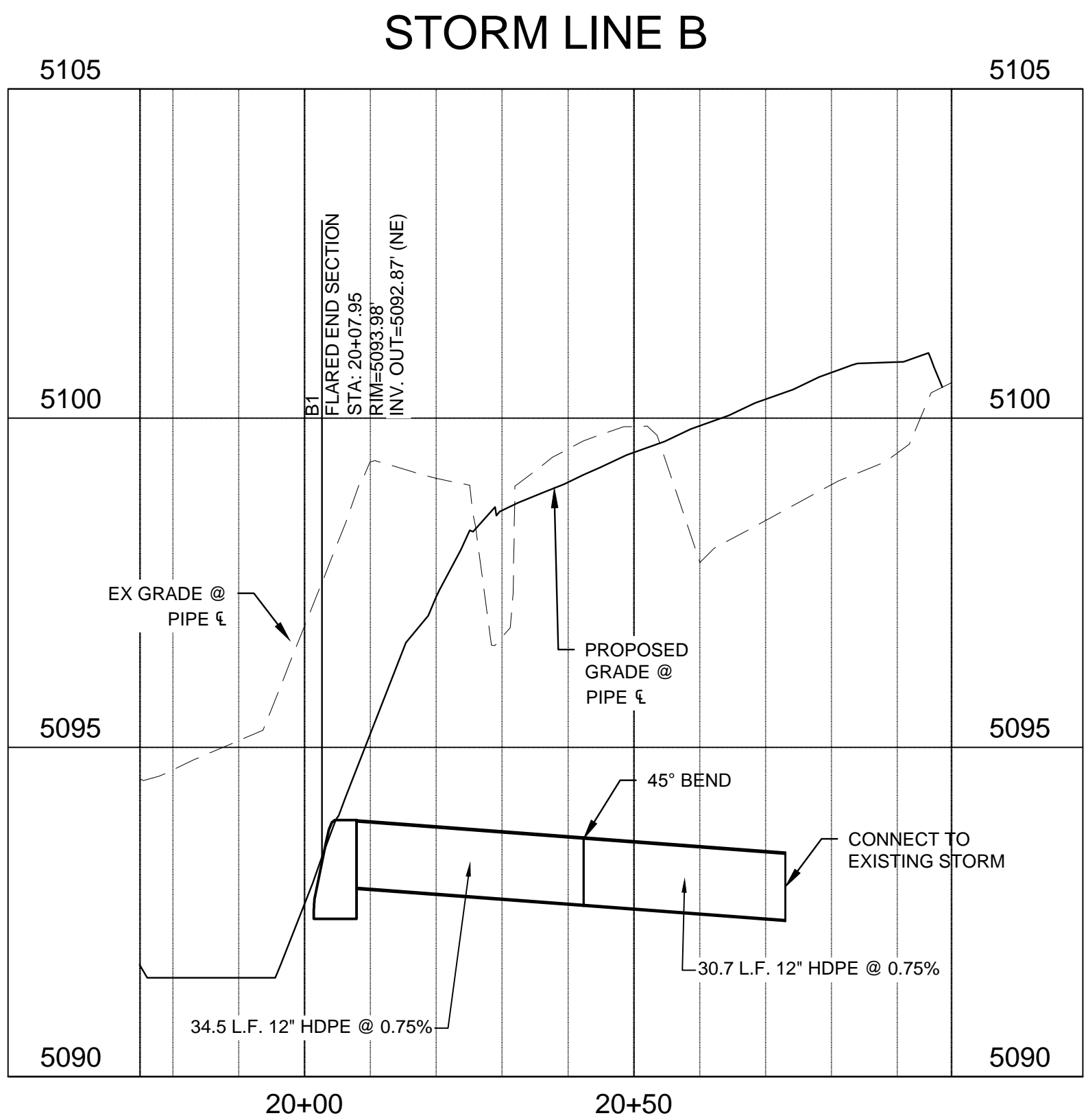
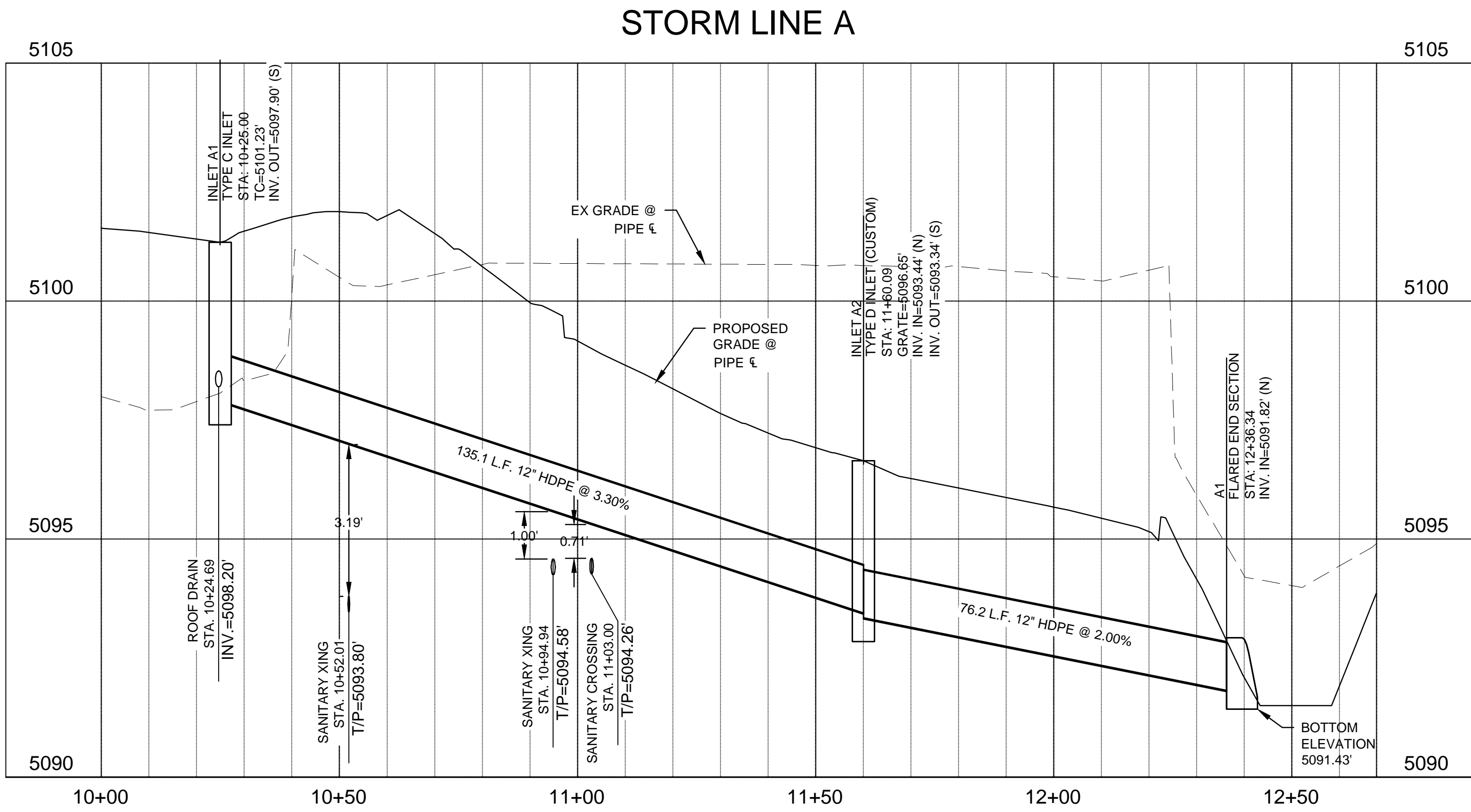
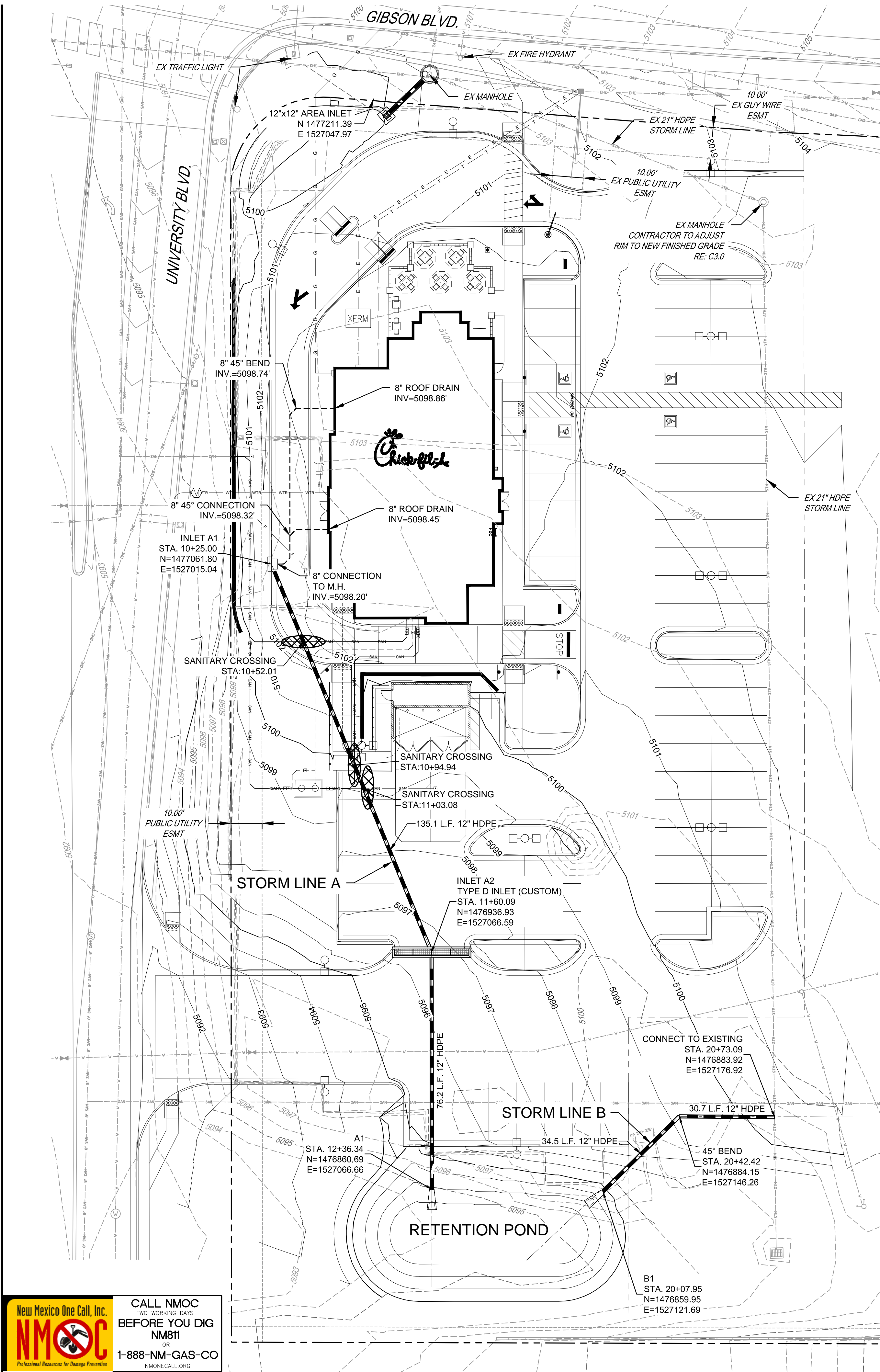
1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE
**DEVELOPED
DRAINAGE PLAN**

DWG EDITION ---

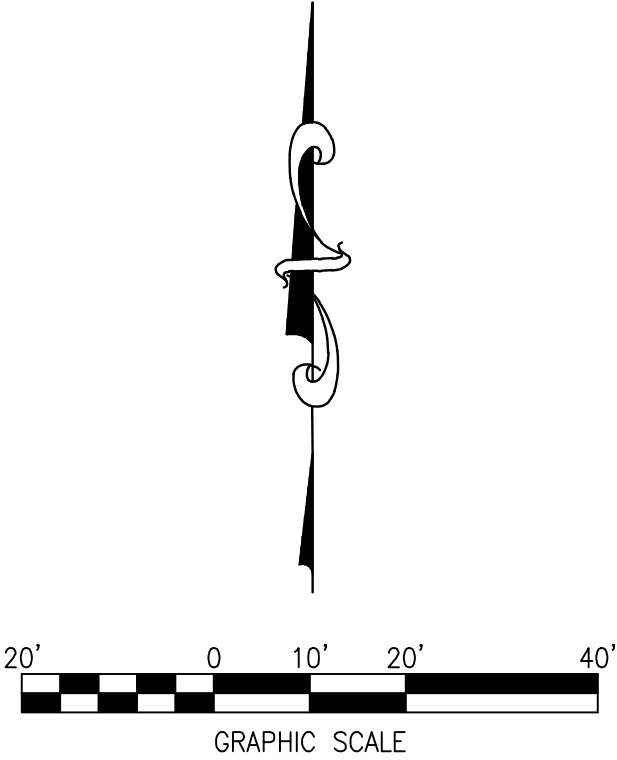
Job No. :65118373
Store : 03486
Date :03/18/15
Drawn By : TW
Checked By: TDK
Sheet

C-3.2



- LEGEND:**
- PROPOSED STORM LINE
 - PROPOSED FIRE SERVICE
 - PROPOSED ROOF DRAIN
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED GAS
 - PROPOSED ELECTRIC
 - PROPOSED TELEPHONE
 - WATER METER
 - GREASE TRAP
 - STORM INLET
 - STORM MANHOLE
 - UTILITY CROSSING
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM INLET
 - EXISTING FIRE HYDRANT
 - EXISTING LIGHT POLE

- NOTES:**
- CONTRACTOR TO FIELD VERIFY VERTICAL & HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES.
 - REFER TO C-5.0 - C-5.3 FOR CIVIL STANDARD DETAILS.
 - ALL STORM SEWER TO BE HDPE UNLESS SPECIFIED OTHERWISE.



New Mexico One Call, Inc.
NMOC
Professional Resources for Damage Prevention

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NM811
OR
1-888-NM-GAS-CO
NMOCALL.ORG

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

| Mark | Date | By |
|------|------|----|
| △ | | |

| Mark | Date | By |
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| Mark | Date | By |
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Seal

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC

1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE

STORM PLAN & PROFILE

DWG EDITION ---

Job No. : 65118373
Store : 03486
Date : 03/18/15
Drawn By : TW
Checked By : TDK

Sheet

C-3.3

CITY OF ALBUQUERQUE



May 14, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

RE: **Chick-fil-A at Gibson**
1600 Gibson Blvd SE
Grading and Drainage Plan
Engineers Stamp Date 4/27/15 (M15D012C)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 4/29/15, this plan is approved for Building Permit and Paving Permit.

Please attach a copy of this approved plan dated 4/27/15 to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File