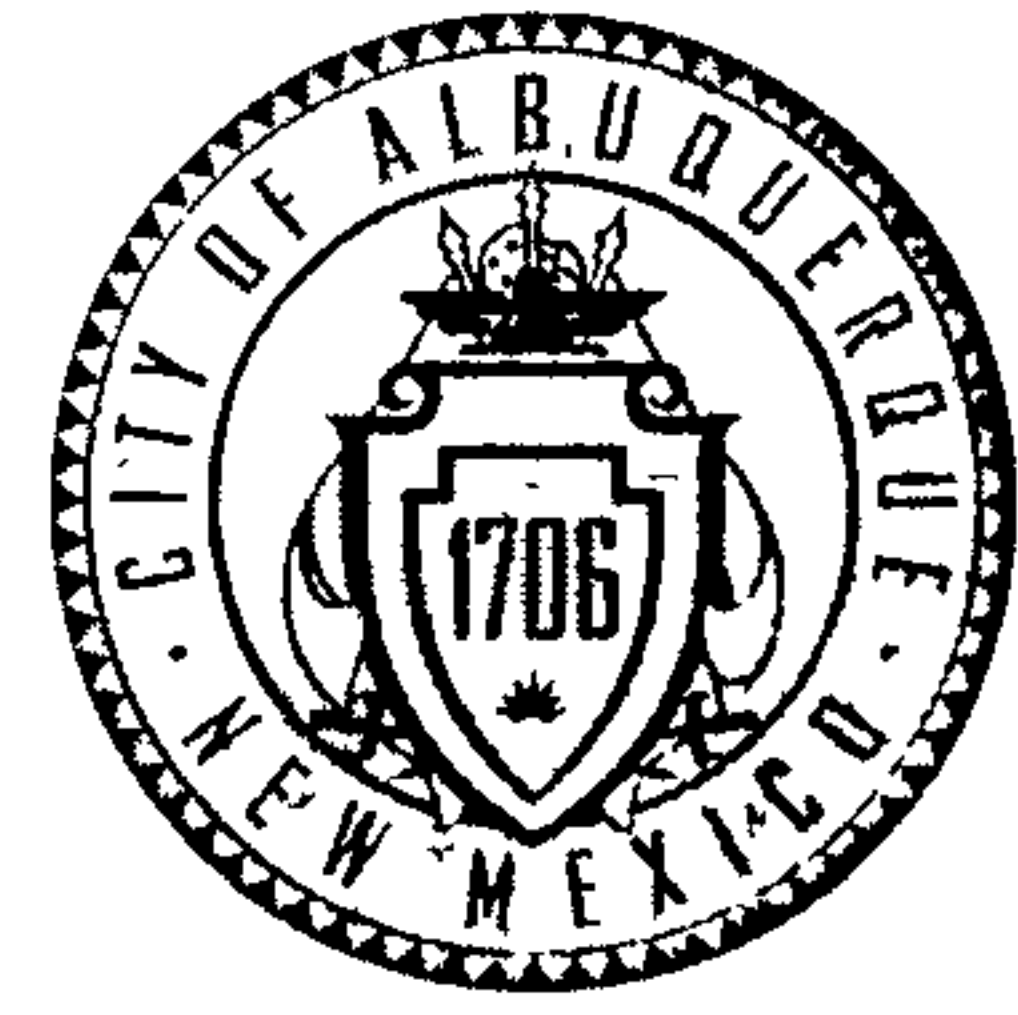


CITY OF ALBUQUERQUE



Planning Department
Suzanne Lubar, Director

Mayor Richard J. Berry

December 24, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

**RE: Chick-fil-A at Gibson
1600 Gibson Blvd SE
Requested for Permanent C. O. - Accepted
Engineers Stamp Date 7/29/15 (M15D012C)
Certification dated: 12-22-15**

PO Box 1293

Dear Mr. Kelts,

Albuquerque

Based on the Certification received 12/22/2015, the Chick-fil-A is acceptable for permanent release of Certificate of Occupancy by Hydrology.

New Mexico 87103

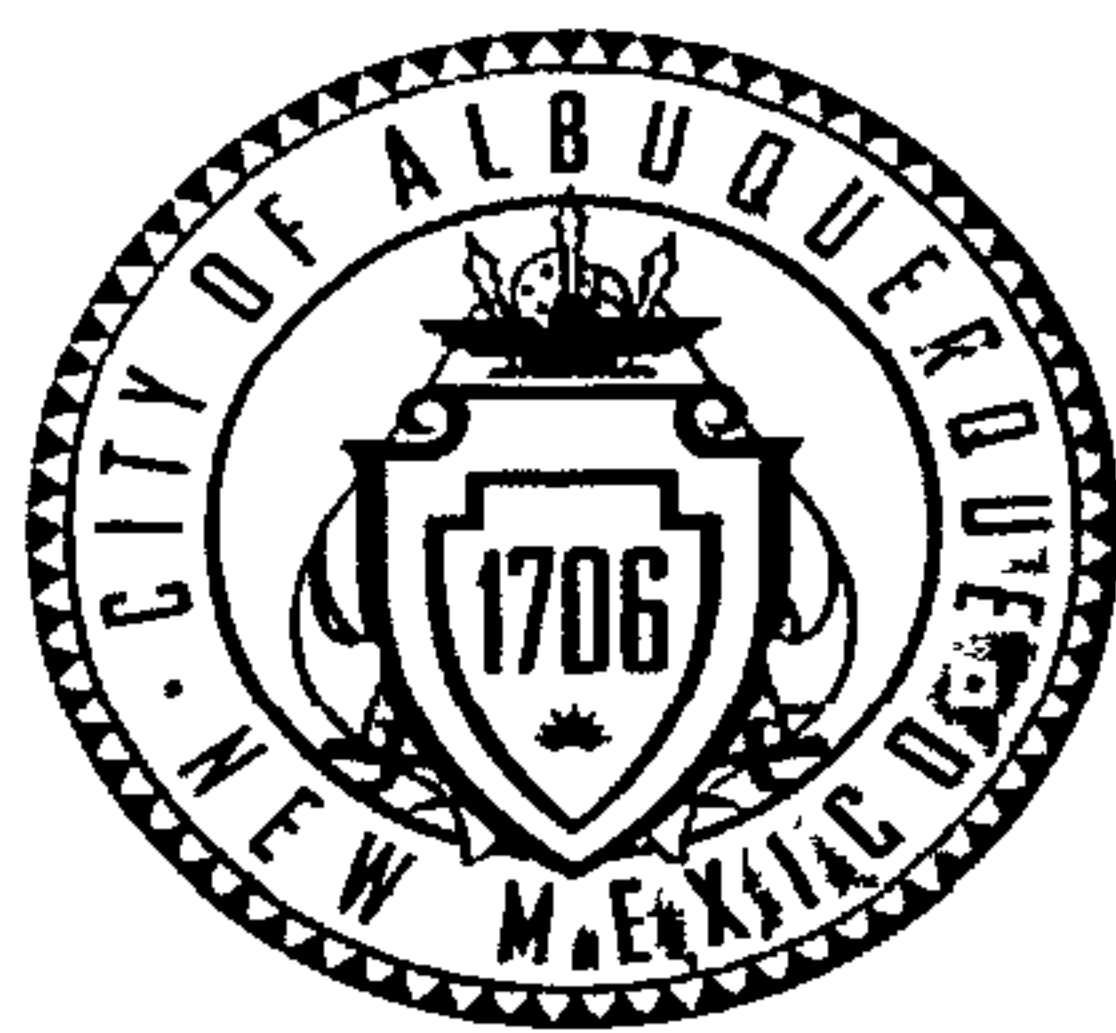
If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department
Development and Review Services

TE/AC
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

M15D012C

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: M15D012C

DRB#: 1010060 EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Sandia Land Surveying Contact: Andrew Medina

Address: 15 Casa Terrenos, Placitas, NM 87043

Phone#: 505-867-1241 Fax#: 505-867-1405 E-mail: sandialand@comcast.net

Contractor: R & O Construction Contact: Lee Child

Address: 933 Wall Avenue, Ogden, Utah, 84404

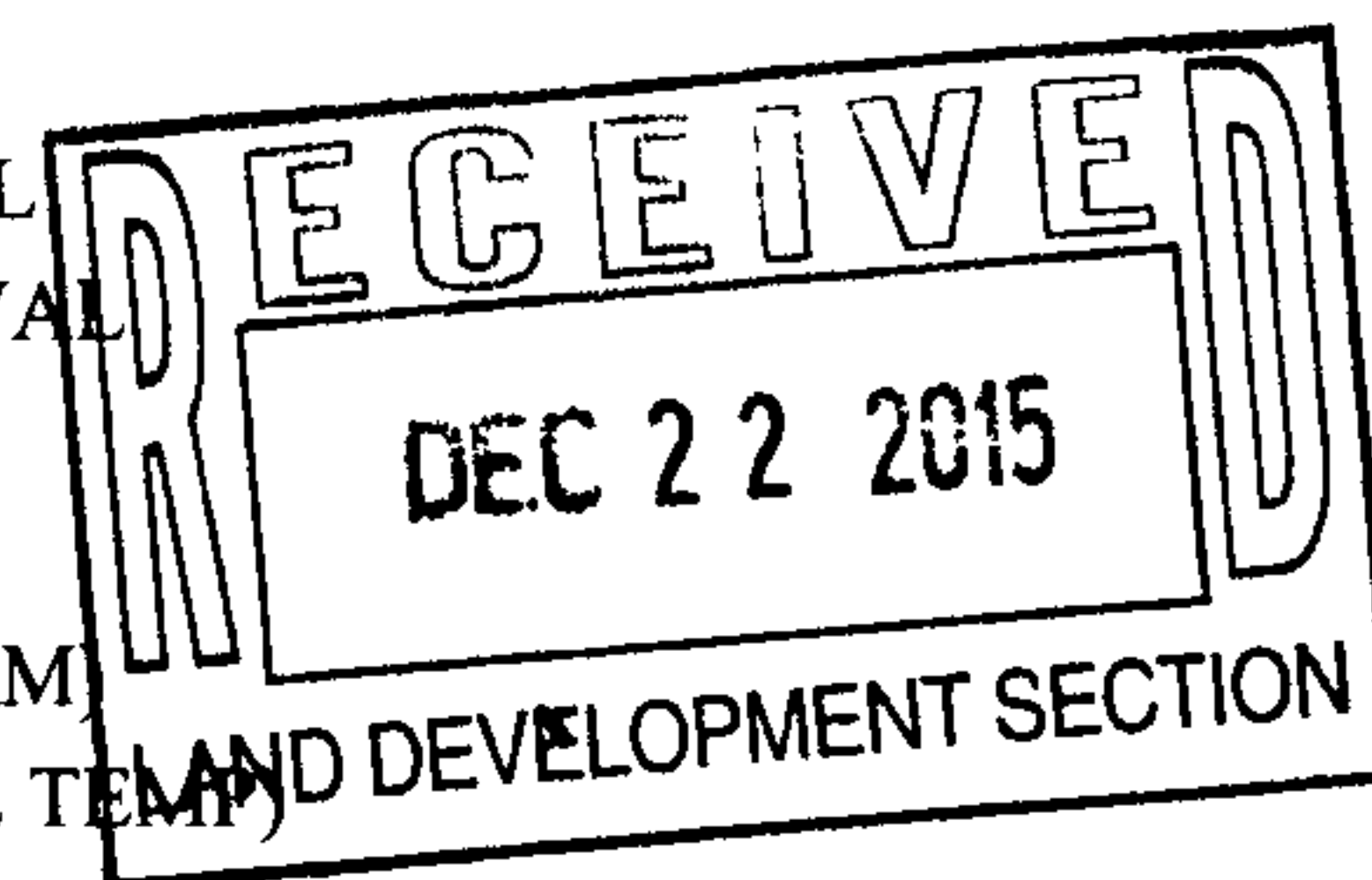
Phone#: 801-627-1403 Fax#: 801-399-1480 E-mail: leec@randoco.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 12/22/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



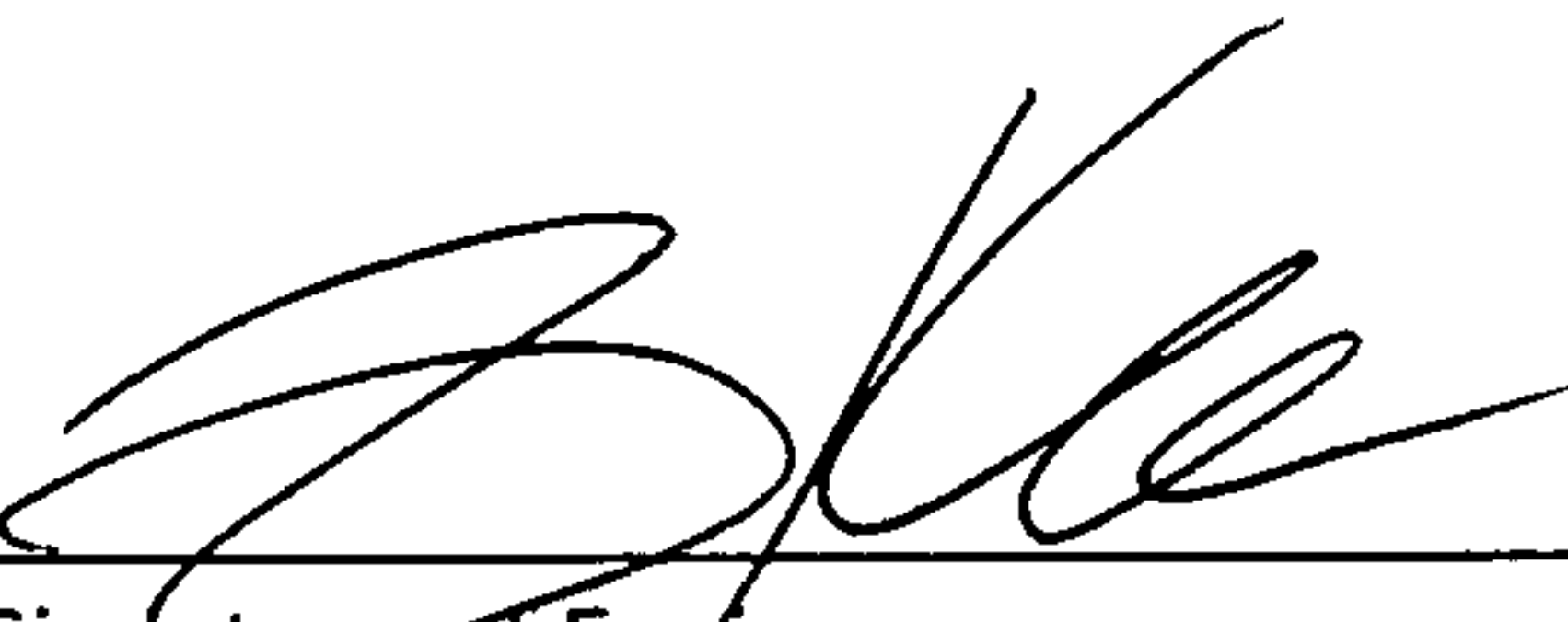
Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

CHICK-FIL-A – 1600 GIBSON BOULEVARD SE

I, Troy Kelts, NMPE 22102, OF THE FIRM MERRICK & Company
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE
WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/29/15.
THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY
Andrew Medina, NMPS 12649 OF THE FIRM SANBIA LAND SURVEY. I FURTHER CERTIFY THAT I
HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/22/15 AND HAVE DETERMINED BY VISUAL
INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND
IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED
IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY
TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT.
THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF
ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer

12/22/15

Date



ENGINEER'S STAMP



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 8, 2015

Troy Kelts
Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80015

**Re: Chick-fil-A
1600 Gibson SE
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 7-29-15 (M15-D012C)
Certification dated 12-01-15**

Dear Mr. Kelts,

PO Box 1293

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 12-2-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

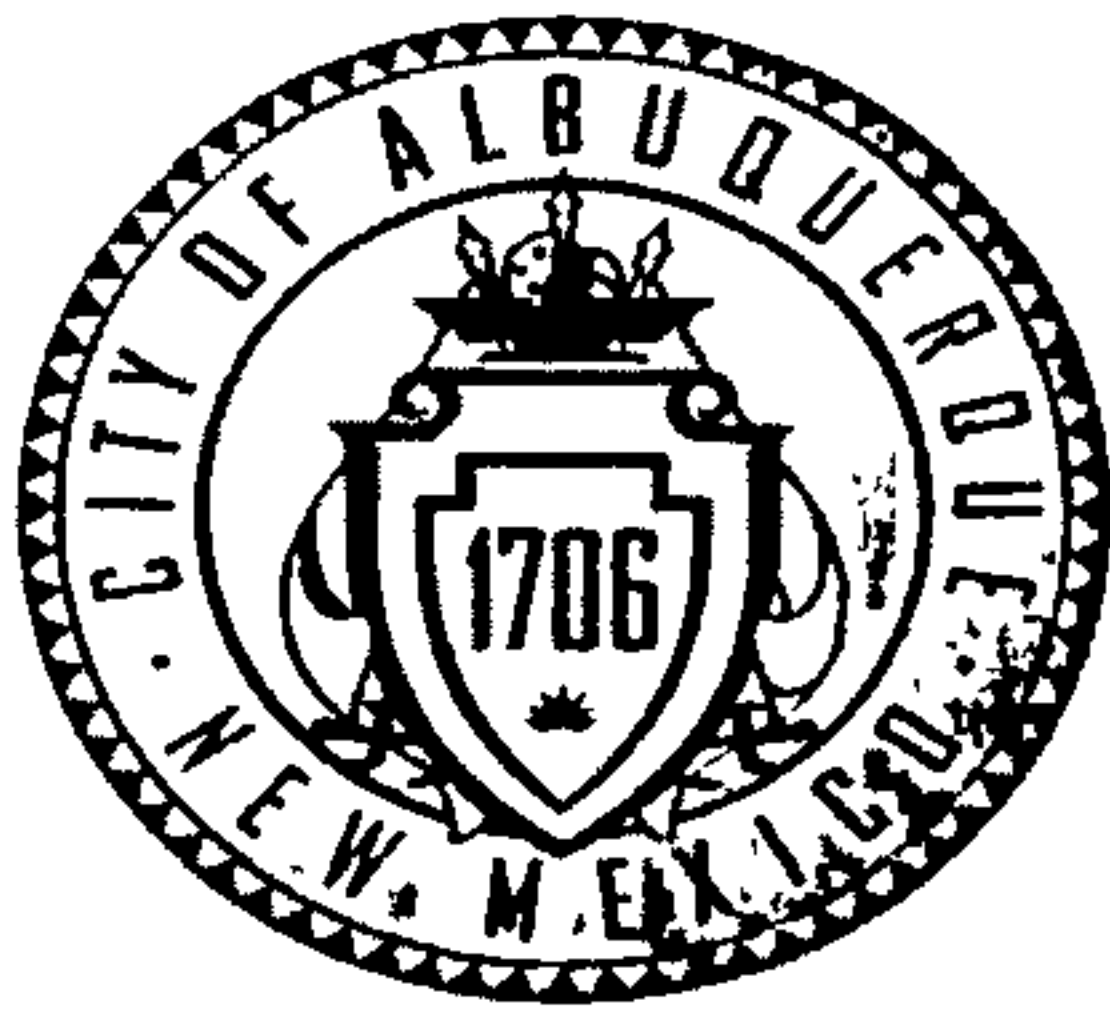
If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: M150012C
DRB#: 1010060 EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 30349-2732
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikeler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Sandia Land Surveying Contact: Andrew Medina
Address: 15 Casa Terrenos, Placitas, NM 87043
Phone#: 505-867-1241 Fax#: 505-867-1405 E-mail: sandialand@comcast.net

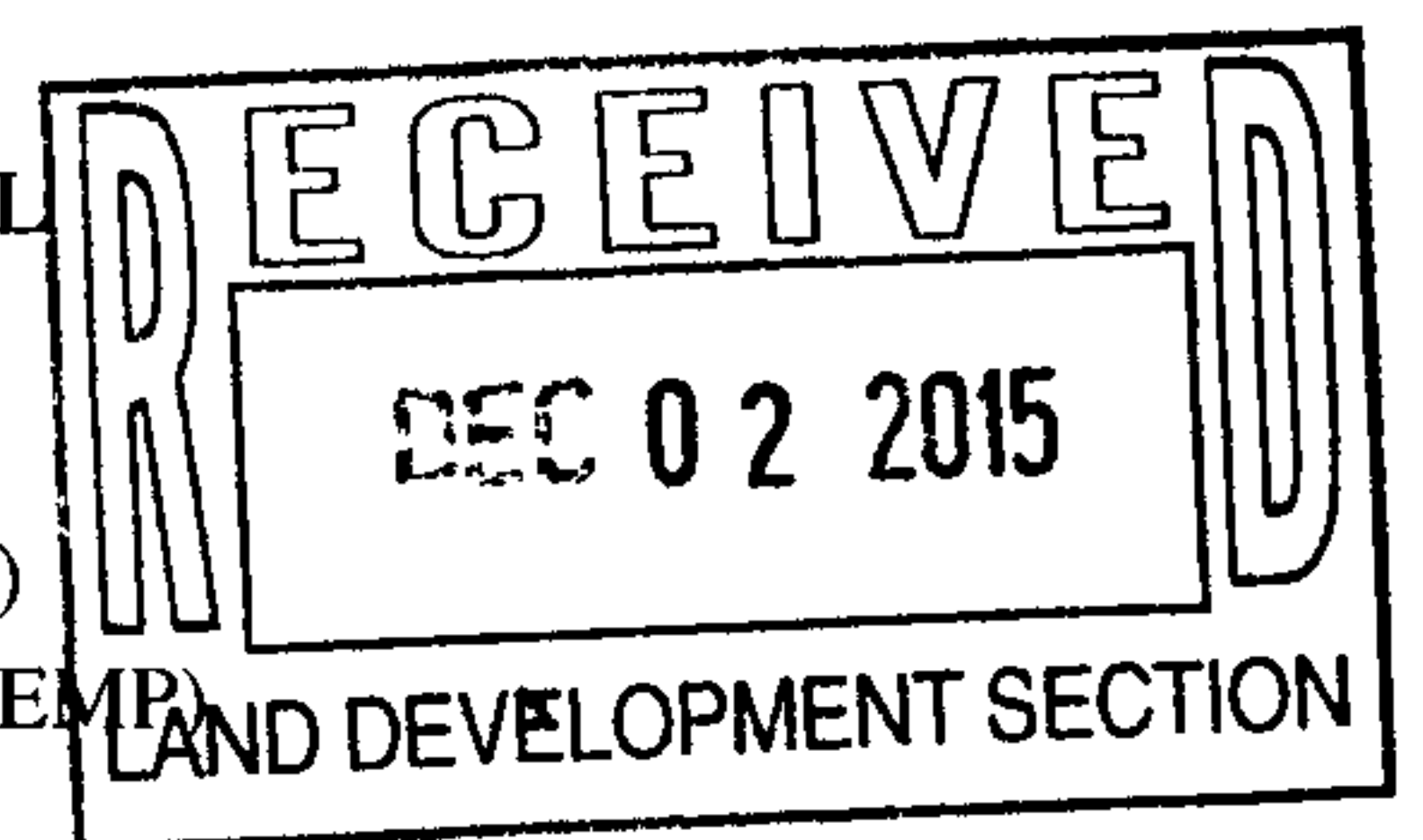
Contractor: R & O Construction Contact: Lee Child
Address: 933 Wall Avenue, Ogden, Utah, 84404
Phone#: 801-627-1403 Fax#: 801-399-1480 E-mail: leec@randoco.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

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- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 12/2/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

TRAFFIC CERTIFICATION

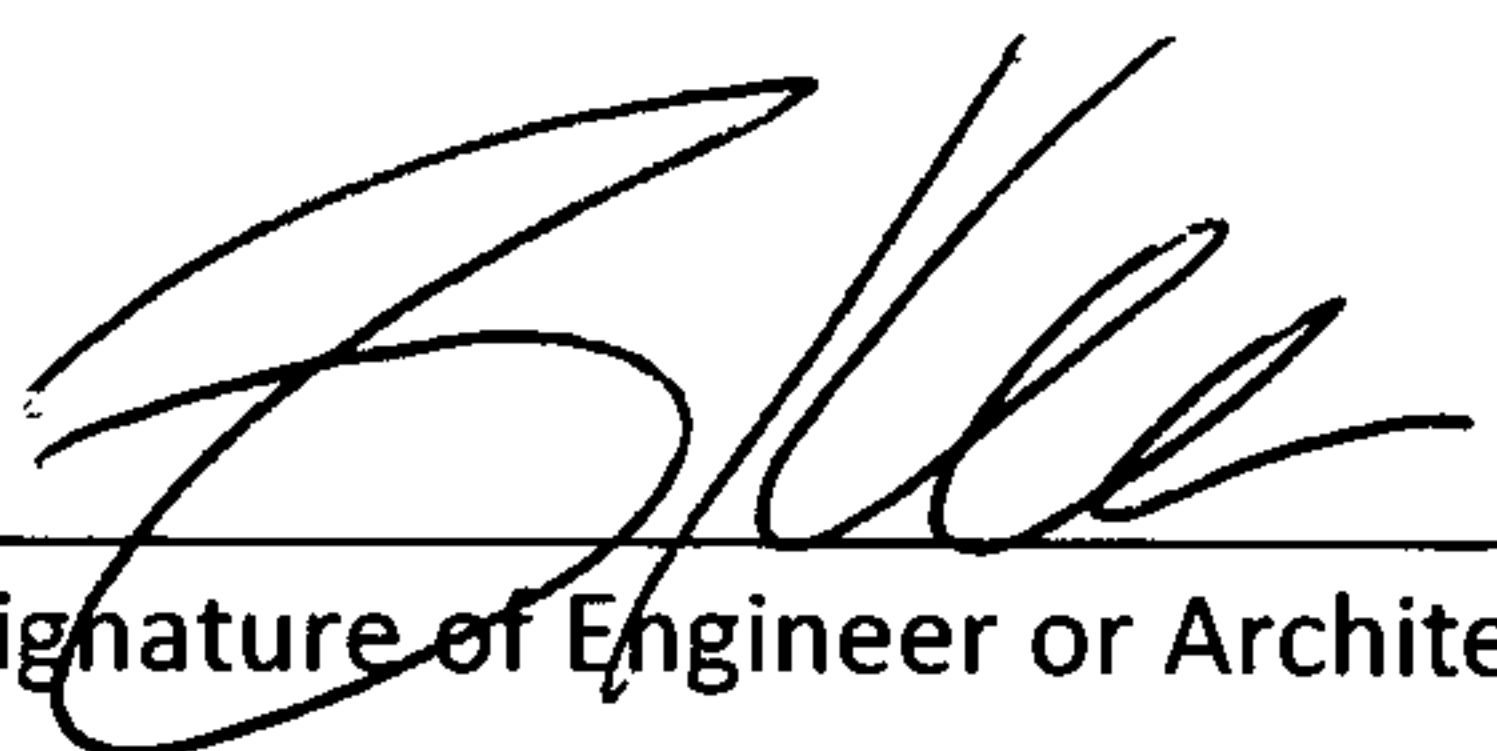
CHICK-FIL-A – 1600 GIBSON BLVD SE

I, Troy Kelts, NMPE OF THE FIRM MERRICK & Company, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/22/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Troy Kelts OF THE FIRM MERRICK & Company. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/1/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

EXCEPTIONS

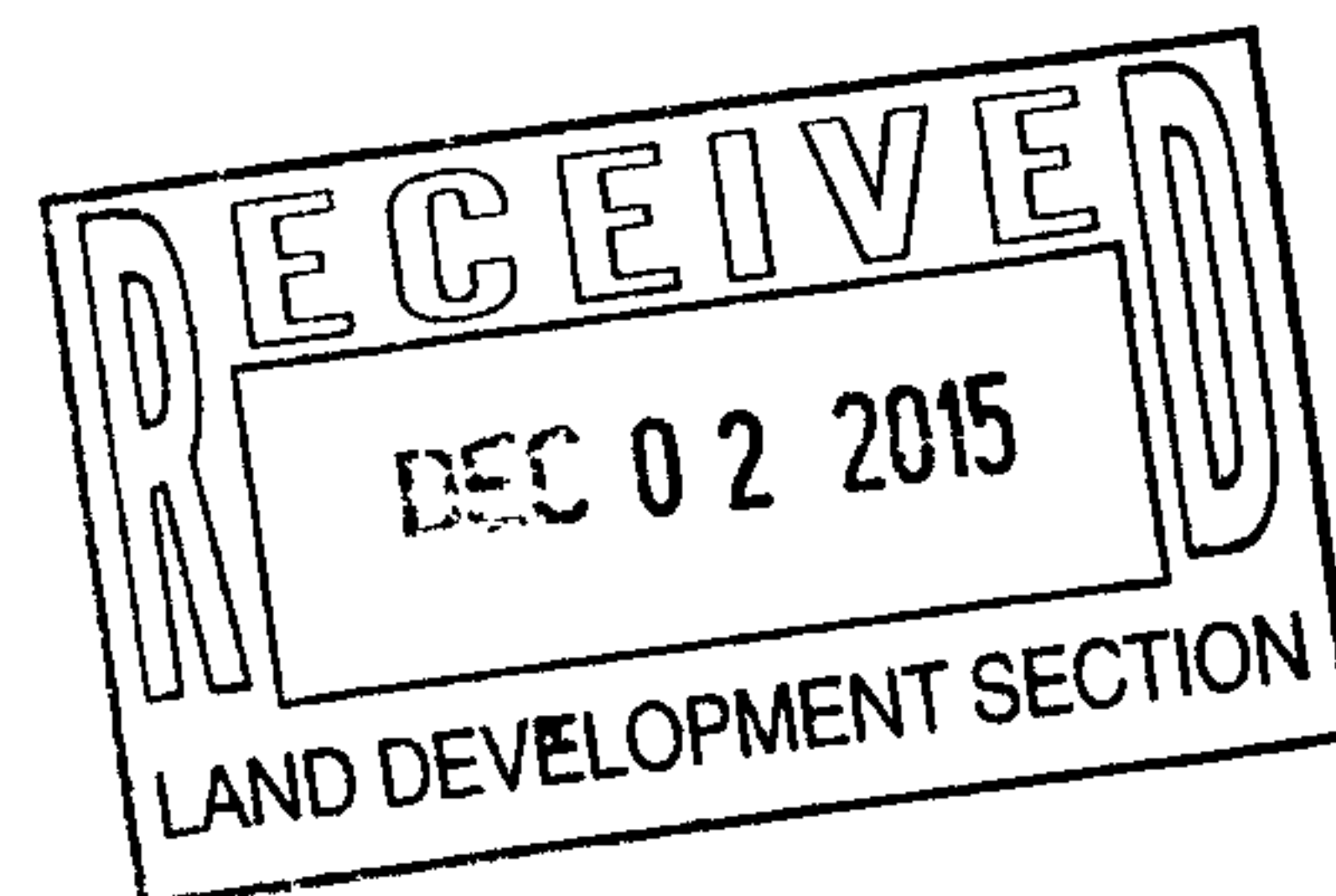
- IMPROVEMENTS WITHIN UNIVERSITY BLVD RELATED TO THE MEDIAN RECONFIGURATION AND RESTRIPIING ARE STILL OUTSTANDING. OVERALL PROJECT DEVELOPER IS RESPONSIBLE FOR COMPLETION OF THIS WORK.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

12/2/15
Date

ENGINEER'S OR ARCHITECT'S STAMP



CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



December 8, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

**RE: Chick-fil-A at Gibson
1600 Gibson Blvd SE
Requested for 30 Day Temporary C. O. - Accepted
Engineers Stamp Date 7/29/15 (M15D012C)**

Dear Mr. Kelts,

Based on the certification provided in your submittal received 12/2/2015, the above referenced is approved for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

- The pond on the south side must be completed.
 - The drain in the dumpster must be cut at grade and a drain placed over it.
 - The 12" x 12" area drain on the NW corner must be cut and grate placed over it.
- An inspection by our office will need to take place after plan is provided.

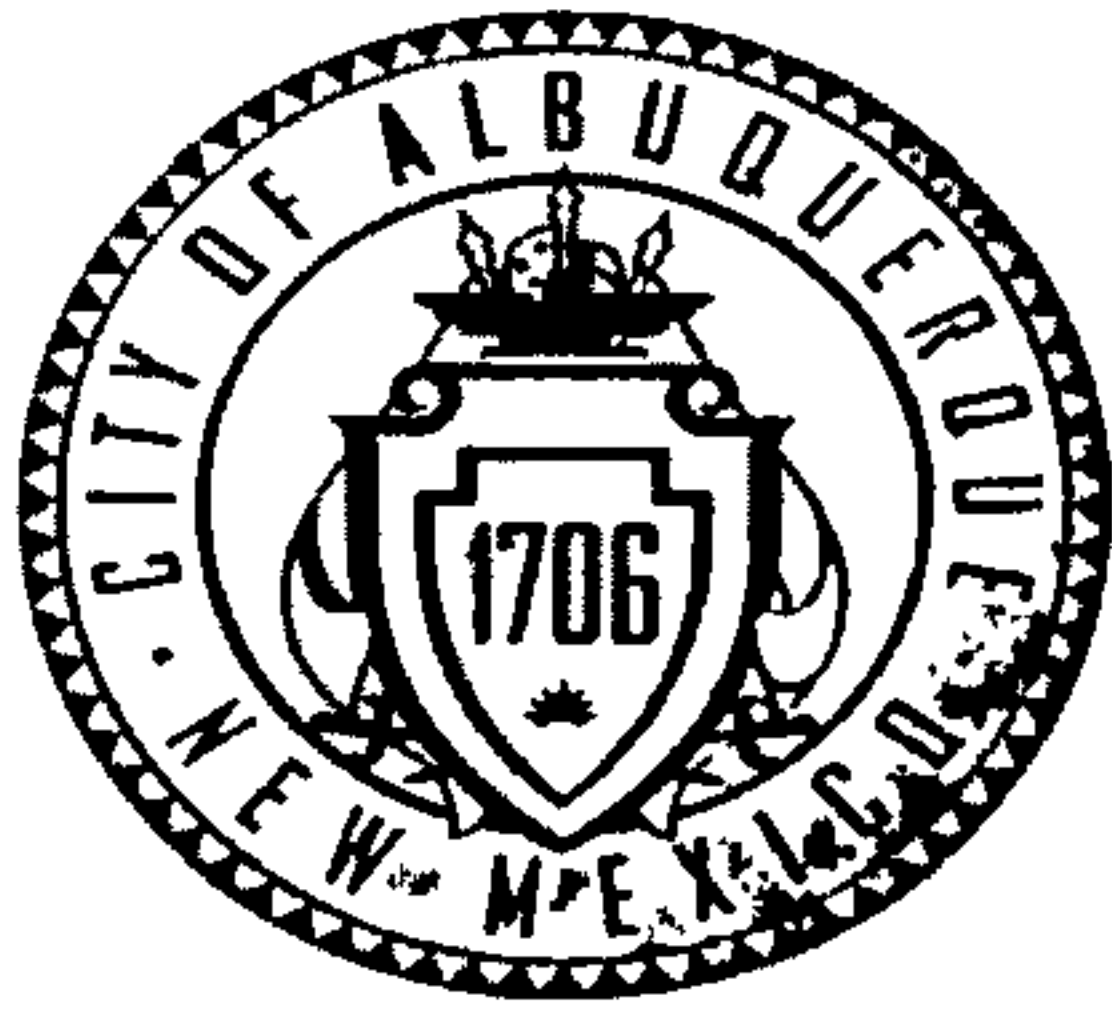
If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department
Development and Review Services

Sincerely,

TE/AC
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: M15D012C
DRB#: 1010060 EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 30349-2732
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Sandia Land Surveying Contact: Andrew Medina
Address: 15 Casa Terrenos, Placitas, NM 87043
Phone#: 505-867-1241 Fax#: 505-867-1405 E-mail: sandialand@comcast.net

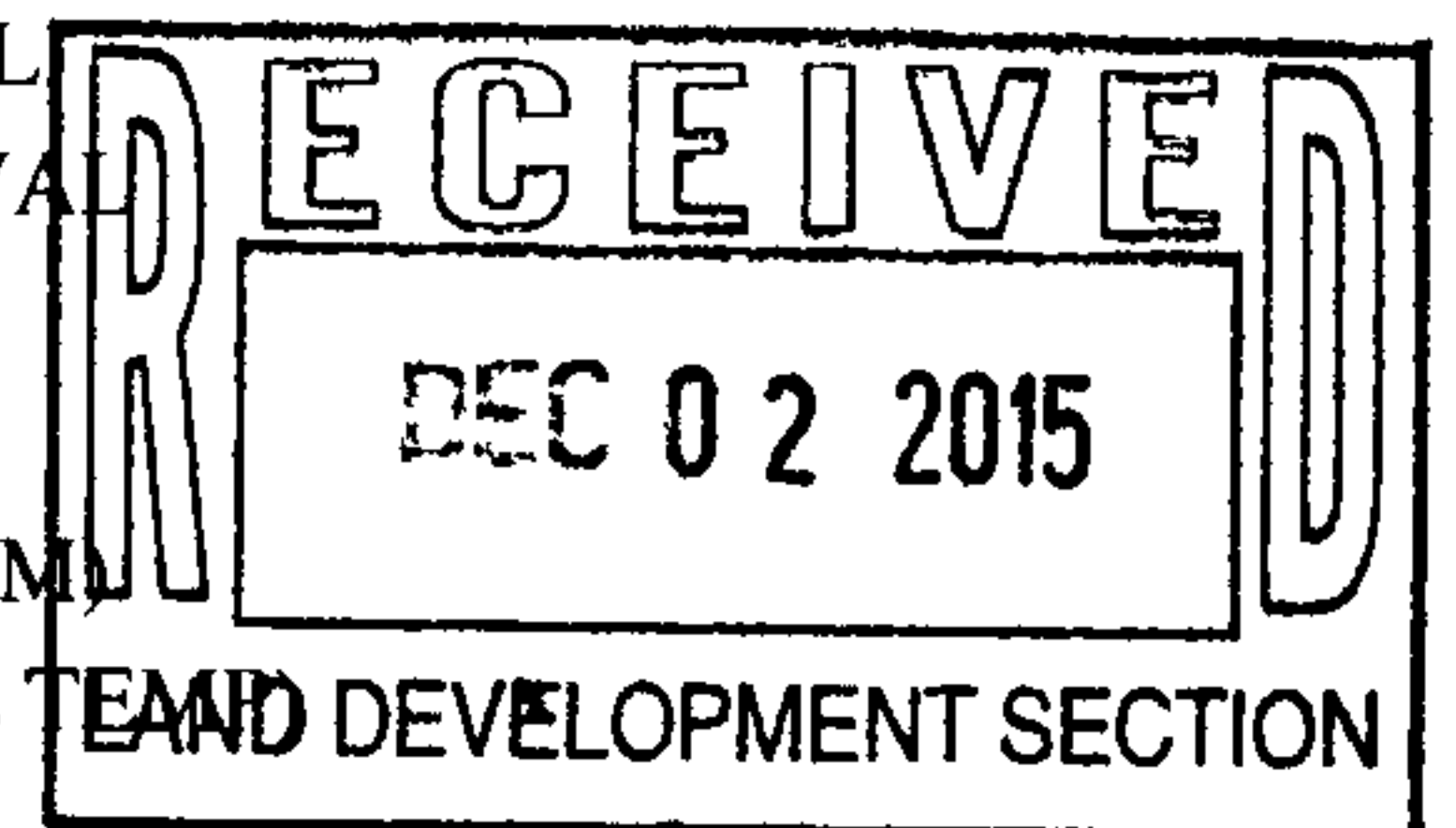
Contractor: R & O Construction Contact: Lee Child
Address: 933 Wall Avenue, Ogden, Utah, 84404
Phone#: 801-627-1403 Fax#: 801-399-1480 E-mail: leec@randoco.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
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- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 12/2/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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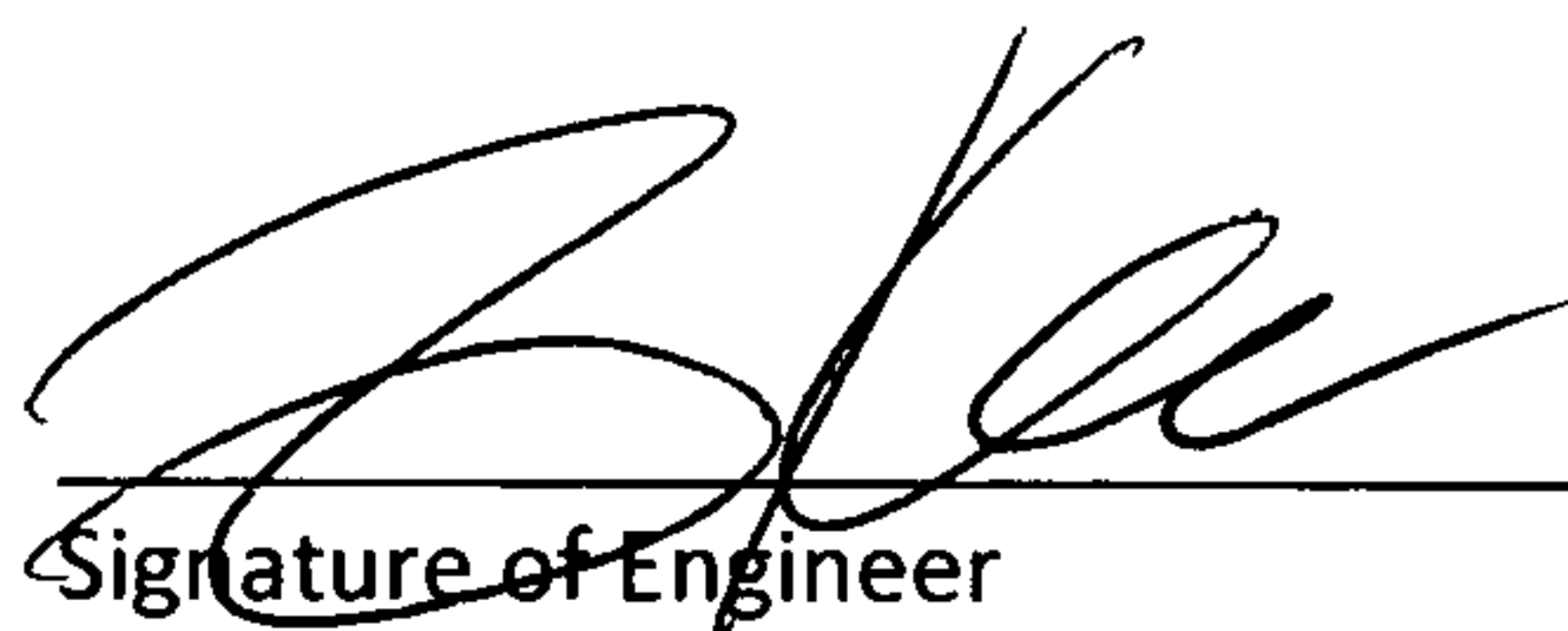
Merrick & Company
5970 Greenwood Plaza Blvd.
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Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

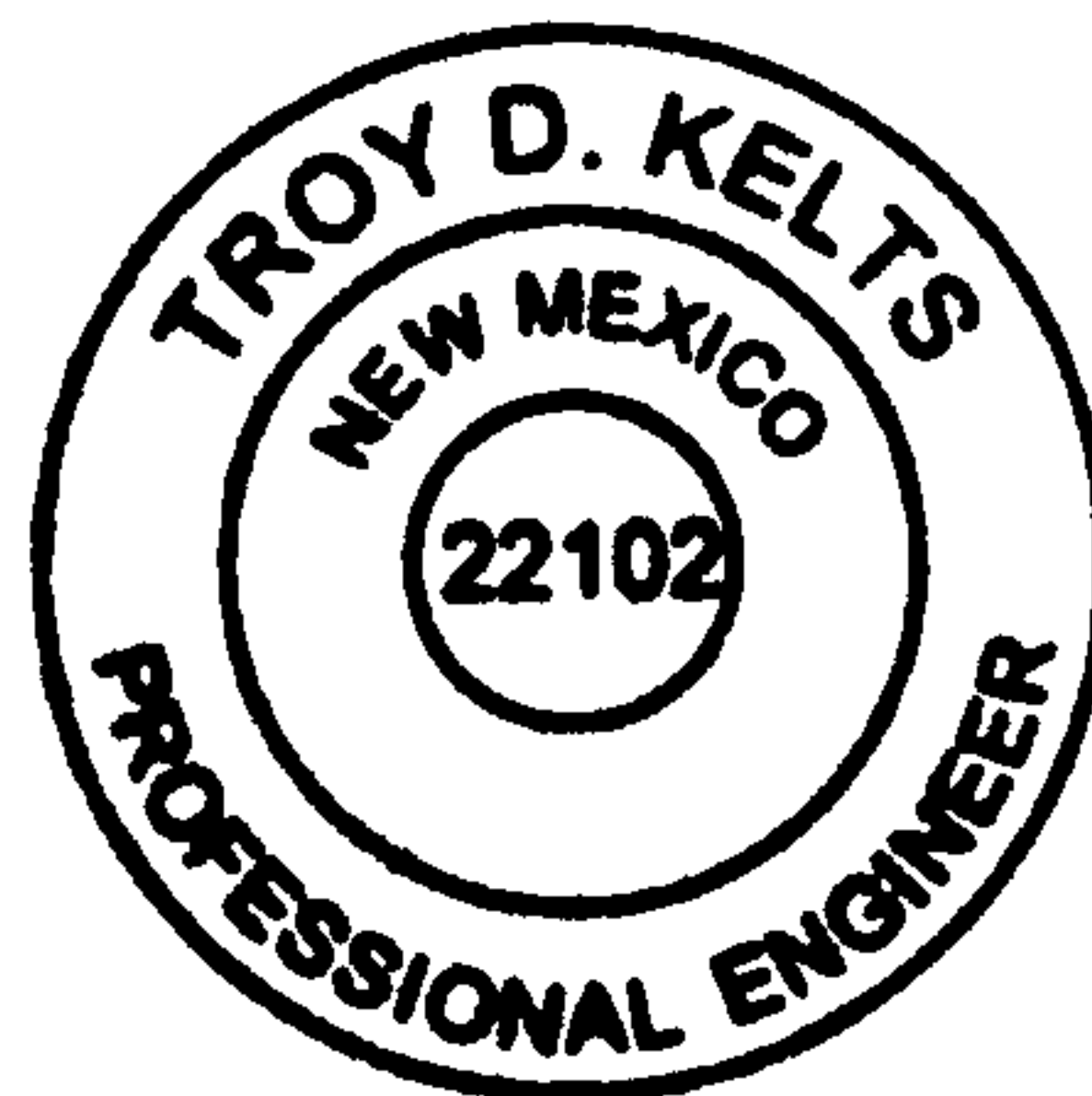
CHICK-FIL-A – 1600 GIBSON BLVD SE

I, Troy Kelts, NMPE 22102, OF THE FIRM MERRICK & Company
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE
WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/29/15.
THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY
Andrew Medina, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I
HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/1/15 AND HAVE DETERMINED BY VISUAL
INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND
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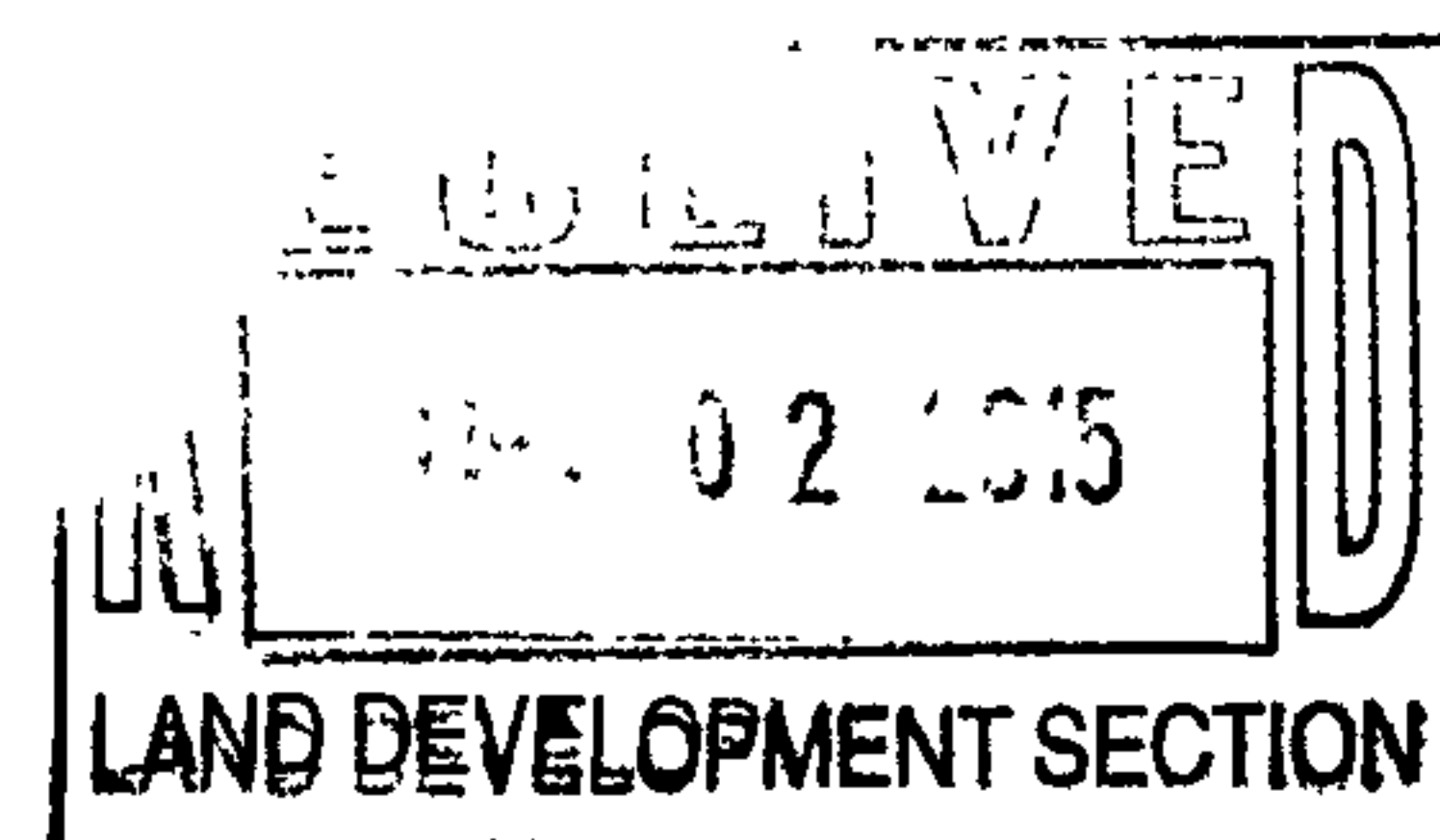
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ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer

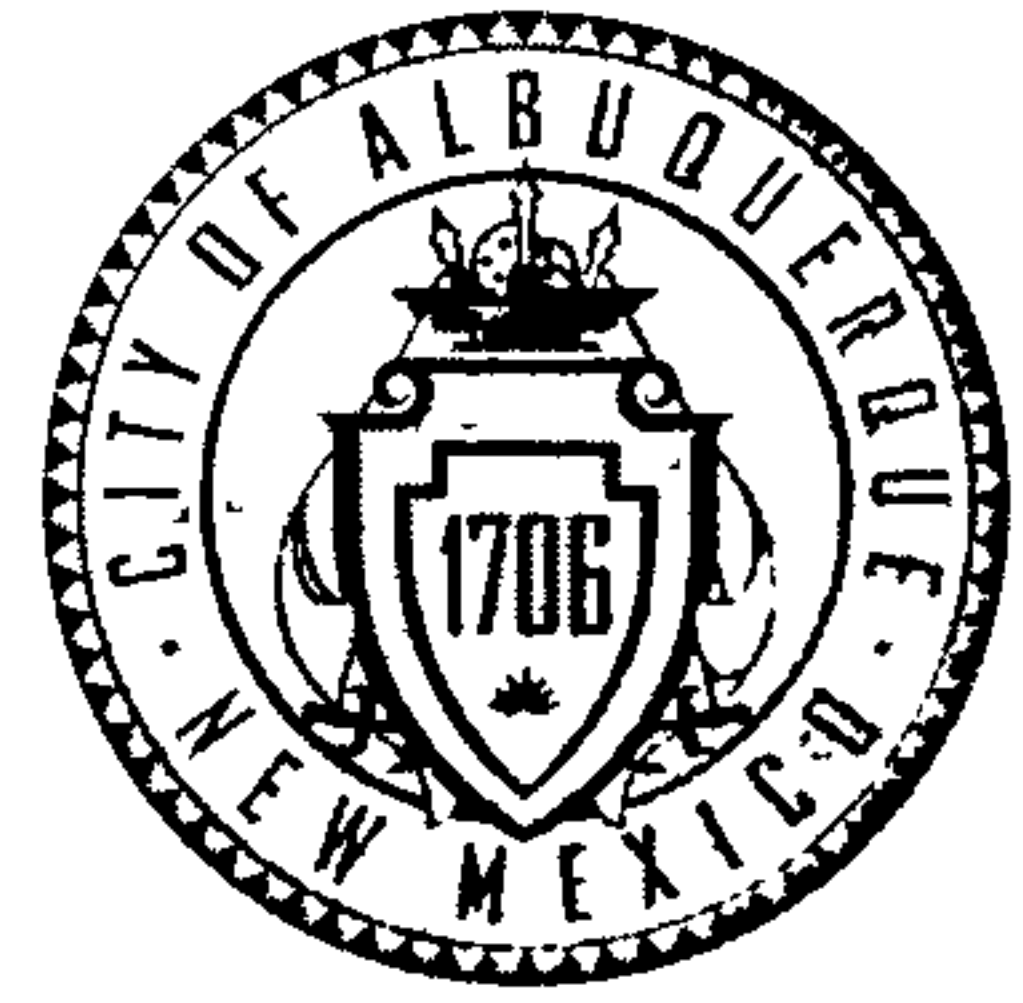
12/2/15
Date



ENGINEER'S STAMP



CITY OF ALBUQUERQUE



May 14, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

RE: **Chick-fil-A at Gibson**
1600 Gibson Blvd SE
Grading and Drainage Plan
Engineers Stamp Date 4/27/15 (M15D012C)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 4/29/15, this plan is approved for Building Permit and Paving Permit.

Please attach a copy of this approved plan dated 4/27/15 to the construction sets in the permitting process prior to sign-off by Hydrology.

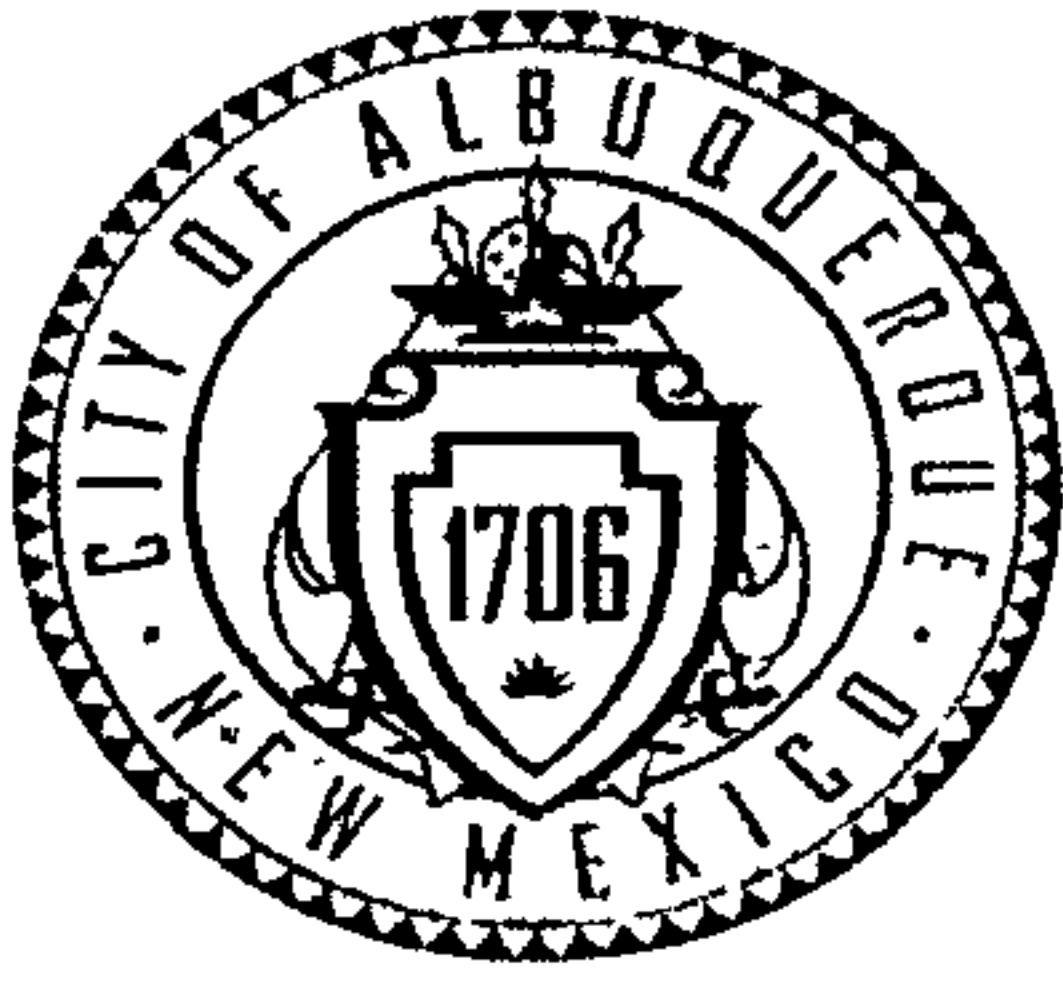
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: 115DQ/2C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 30349-2732
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikeler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
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☐ ENGINEER'S CERT (ESC)
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☐ OTHER (SPECIFY) _____

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- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
☒ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

4/29

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 03/18/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

April 28, 2015
Merrick Project No. 65118373

Rudy Rael
City of Albuquerque
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A**
1600 Gibson Blvd. SE
Grading and Drainage Plan
Engineers Stamp Date 3/18/15 (M12-D015C)

Dear Mr. Rael:

Merrick & Company has reviewed the comments received on March 18, 2015 regarding the proposed Chick-fil-A located at 1600 Gibson Blvd. SE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

- M15D012
1. Proposed storm drain pipe ties into an existing 21" storm drain
 - Show the existing storm drain in the profile and section views. Indicate invert elevations of the existing pipe
Response: See revised plans
 - Will this existing pipe be picking up flows from the adjacent site to the east once it is developed? If so, indicate how much flow it is collecting. Coordinate this with the engineer of that site.
Response: Existing pipe picks up flow from adjacent lot and access drive. Calculations have been added to the drainage plan showing that existing pipe has adequate capacity.
 - Provide hydraulic calculations and profile graphic of the existing storm drain showing Q, HGL, and velocity. Indicate if the values shown are for this site only, or include flows from the site to the east.
Response: See revised plans.
 - Provide connection detail to the 21" HDPE storm drain.
Response: See revised plans.
 2. Verify Pond Bottom Elevation.
Response: Typo was on the plans. Plans have been revised.
 3. There is an existing storm drain and inlet just north of the proposed storm drain. Please indicate if these items are to be removed or will remain.
Response: Existing inlet and pipe are to be removed, as shown on the demo plan. Demo plan has been included with this resubmittal.
 4. Since the pond is intended to drain via the existing storm drain, be sure to note it as a detention pond.
Response: See revised pond callout.

5. Indicate what the Discharge to University is and what is allowed. Provide the drainage file # of any references or supporting documentation. Provide any excerpts.

Response: Drainage narrative has been amended to discuss prior drainage plan (File # M15D012A)

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY



Troy D Kelts, P.E.
Project Manager

Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

April 28, 2015
Merrick Project No. 65118373

Rudy Rael
City of Albuquerque
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A**
1600 Gibson Blvd. SE
Grading and Drainage Plan
Engineers Stamp Date 3/18/15 (M12-D015C)

Dear Mr. Rael:

Merrick & Company has reviewed the comments received on March 18, 2015 regarding the proposed Chick-fil-A located at 1600 Gibson Blvd. SE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

1. Proposed storm drain pipe ties into an existing 21" storm drain
 - Show the existing storm drain in the profile and section views. Indicate invert elevations of the existing pipe
Response: See revised plans
 - Will this existing pipe be picking up flows from the adjacent site to the east once it is developed? If so, indicate how much flow it is collecting. Coordinate this with the engineer of that site.
Response: Existing pipe picks up flow from adjacent lot and access drive. Calculations have been added to the drainage plan showing that existing pipe has adequate capacity.
 - Provide hydraulic calculations and profile graphic of the existing storm drain showing Q, HGL, and velocity. Indicate if the values shown are for this site only, or include flows from the site to the east.
Response: See revised plans.
 - Provide connection detail to the 21" HDPE storm drain.
Response: See revised plans.
2. Verify Pond Bottom Elevation.
Response: Typo was on the plans. Plans have been revised.
3. There is an existing storm drain and inlet just north of the proposed storm drain. Please indicate if these items are to be removed or will remain.
Response: Existing inlet and pipe are to be removed, as shown on the demo plan. Demo plan has been included with this resubmittal
4. Since the pond is intended to drain via the existing storm drain, be sure to note it as a detention pond.
Response: See revised pond callout.

5. Indicate what the Discharge to University is and what is allowed. Provide the drainage file # of any references or supporting documentation. Provide any excerpts.

Response: Drainage narrative has been amended to discuss prior drainage plan (File # M15D012A)

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY



Troy D Kelts, P.E.
Project Manager



Merrick & Company
5970 greenwood Plaza Blvd
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

LETTER OF TRANSMITTAL

To: Rudy Rael
City of Albuquerque
Development Review Services
600 2nd St. NW, Suite 201
Albuquerque, NM 87102

Date: 5/11/15

Ref: CFA at Gibson

The following material has been transmitted to you this date:

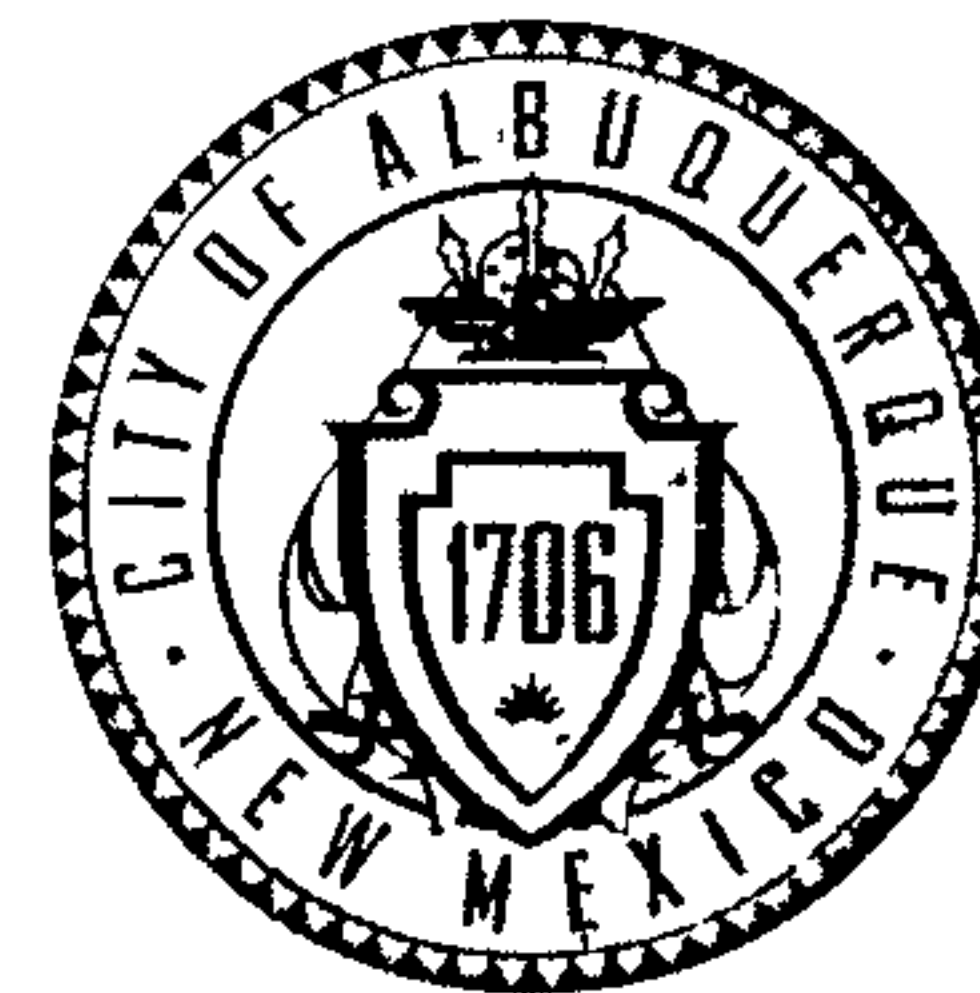
QUANTITY	DESCRIPTION
2 Copies	Drainage Plans
2 Copies	Comment Response Letter

Respectfully submitted:

MERRICK & COMPANY

Troy Kelts, PE
Project Engineer
303-353-3926

CITY OF ALBUQUERQUE



April 20, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

RE: **Chick-fil-A**
1600 Gibson Blvd SE
Grading and Drainage Plan
Engineers Stamp Date 3/18/15 (M15D012C)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 3/18/15, this plan cannot be approved for Grading Permit and Paving Permit until the following comments are addressed:

1. Proposed storm drain pipe ties into an existing 21" storm drain.
 - a. Show the existing Storm drain in the profile and section views. Indicate invert elevations of the existing pipe
 - b. Will this existing pipe be picking up flows from the adjacent site to the east once it is developed? If so, indicate how much flow it is collecting. Coordinating this with the engineer of that site.
 - c. Provide hydraulic calculations and profile graphic of the existing Storm Drain showing Q, HGL, and velocity. Indicate if the values shown are for this site only, or include the flows from site to the east.
 - d. Provide a connection detail to the 21" storm drain.
2. Verify Pond Bottom Elevation is 92.00 (Sht C3.0). It appears that it needs to be lowered since the invert is at 91.43(Sht C3.3).
3. There is an existing storm drain and inlet just north of the proposed storm drain. Please indicate if these items are to be removed or will remain.
4. Since the pond is intended to drain via the existing storm drain, be sure to note it as a detention pond.
5. Indicate what the Discharge to University is and what is allowed. Provide the drainage file # of any References or supporting documentation. Provide any excerpts.

PO Box 1293

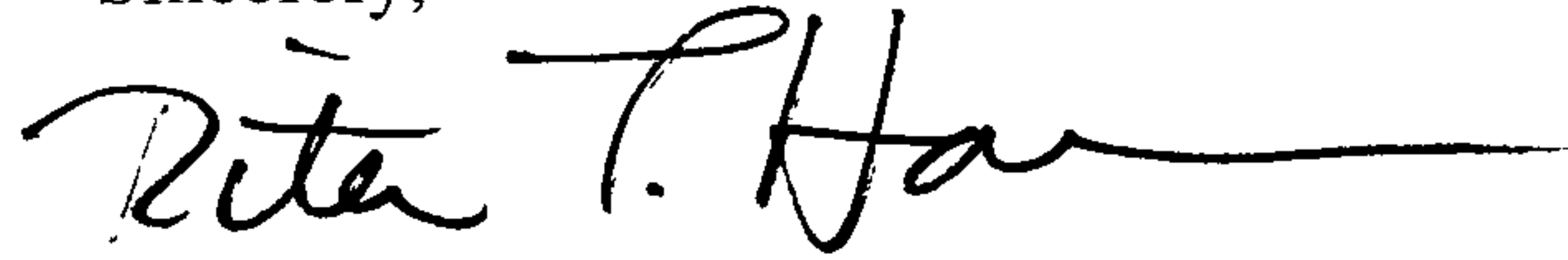
Albuquerque

New Mexico 87103

www.cabq.gov

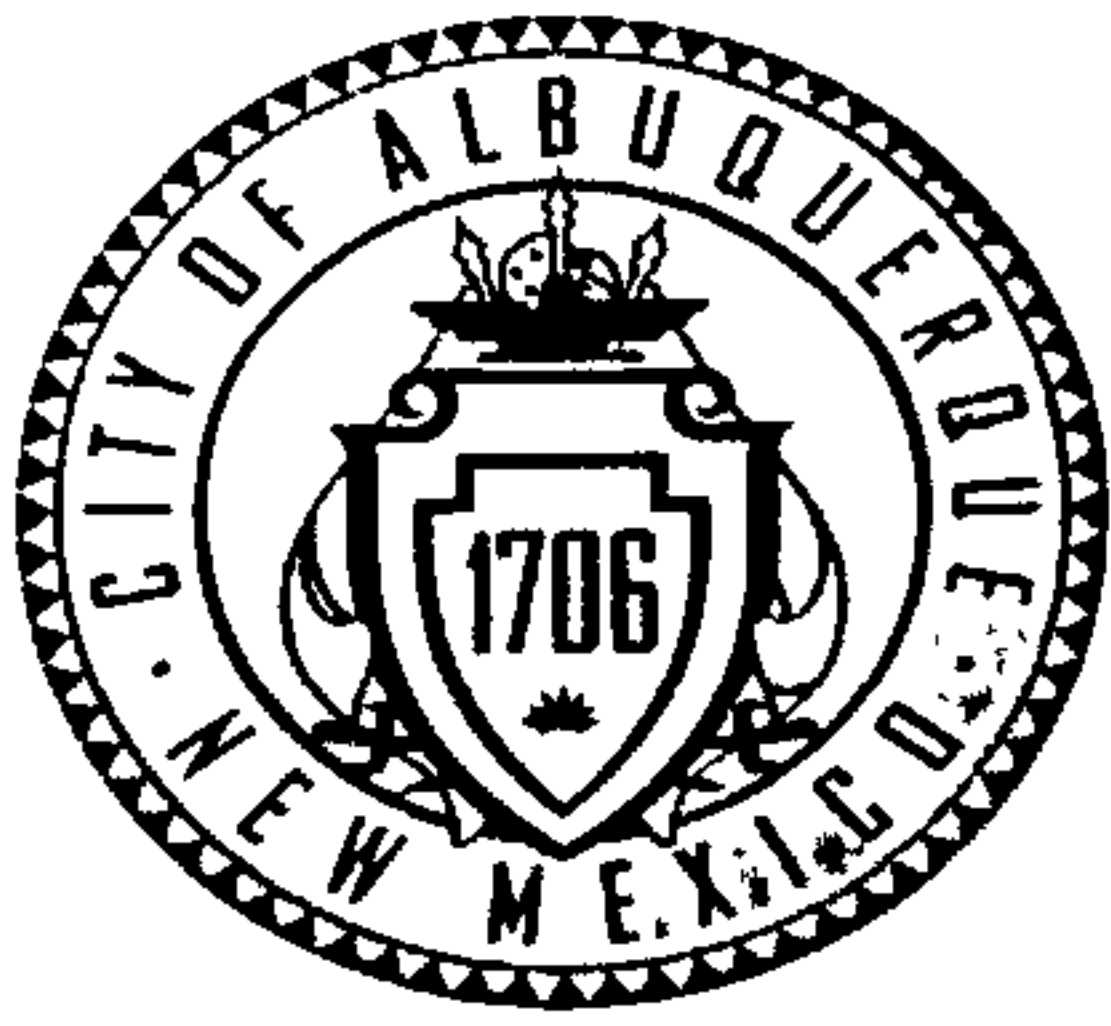
If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita T. Harmon". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

Orig: Drainage file
c.pdf: via Email: Recipient



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: MISDOIZC
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 30349-2732
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☒ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 03/18/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

March 18, 2015
Merrick Project No. 65118373

Rudy Rael
City of Albuquerque
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A**
1600 Gibson Blvd. SE
Grading and Drainage Plan
Engineers Stamp Date 12/15/14 (M12-D015C)

Dear Mr. Rael:

Merrick & Company has reviewed the comments received on February 26, 2015 regarding the proposed Chick-fil-A located at 1600 Gibson Blvd. SE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

- This site should be presented as a stand-alone site accepting off site flows from the east. The commercial sites to the east have not been built and may not be built due to some complications with the vacation of Miles road.

Response: Offsite drainage will be provided by the developer. Please refer to sheet C-2.0 for the overall drainage map as a reference.

- Mention of the first flush per EPA standards is required. The amount required is .34" times the impervious area. We believe there is enough landscape area to accomplish this requirement.

Response: The first flush has been mentioned in the drainage statement located on sheet C-3.2.

- All flows are to enter University Boulevard's storm drain system, only 0.8 cfs is allowed to surface flow onto University Blvd.

Response: Less than 0.8 cfs will enter University Boulevard as surface flow

- Provide the vicinity map for the area. Also provide the FIRMette or mention the flood zone and map page.

Response: Vicinity map and FIRMette have been added to the drainage pages.

- Provide the legal description on the G&D plan along with the benchmark location.

Response: The legal description has been provided of the G&D plan along with the benchmark.

- Show the roof flows.

Response: Roof flows have been added to the drainage map.

- Depress all landscape areas which are no closer than 10 feet from the building. Create a curb opening on the high side of the parking lot island's and let the flows overtop the curb on the low side.

Response: Landscape areas have not been depressed because retention ponds have been provided to retain the first flush.

- Remove the "not for construction" note, all plans submitted for Building Permit and Grading Permit must be a plan used for building purposes.

Response: The "not for construction" note has been removed from all plans.

- The dumpster area must contain a drain connected to the SAS, with a grease trap.

Response: The trash enclosure contains a drain connected to the SAS

- The plan would be easier to review if sheets C-3.0 & C-3.1 or provide build notes on sheet C-3.0 to get rid of Sheet C-3.1. The storm plan can also be added to sheet C-3.0 and the profiles can be reduced and added to the basin map. Sheet C-3.3 can be deleted if references to these profiles are made on the sheet C-3.0. Also, when time comes to submit for Certificate of Occupancy, fewer sheets will need to be certified.

Response: The sheets have been altered to make reviewing clear and easy.

- Basin B-1 needs to flow through a first flush retention pond before leaving the site.

Response: A retention pond has been added to retain the first flush from basin B-1

- What is the purpose of storm drain line B?

Response: Storm drain B collects developed drainage greater than the first flush and puts it in the existing storm line.

- There appears to be a ponding area in the drive up lane.

Response: The grading has been adjusted to remove ponding area.

- An SO-19 permit may be required, depending on if the stub from Gibson Blvd. was extended/built into this site.

Response: This comment will be researched further and necessary permits will be obtained.

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY



Troy D Kelts, P.E.
Project Manager

CITY OF ALBUQUERQUE



February 26, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

RE: **Chick-fil-A**
1600 Gibson Blvd SE
Grading and Drainage Plan
Engineers Stamp Date 12/15/14 (M15-D012C)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 2/23/2015, the above referenced Grading and Drainage Plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed.

This project requires an **Erosion and Sediment Control Plan (ESC)**, to be accepted before the Building Permit is accepted in the building and permit process.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- This site should be presented as a stand-alone site accepting off site flows from the east. The commercial sites to the east have not been built and may not be built do to some complications with the vacation of Miles road.
- Mention of the first flush per EPA standards is required. The amount required is .34" times the impervious area. We believe there is enough landscape area to accomplish this requirement.
- All flows are to enter University Boulevard's storm drain system, only 0.8cfs is allowed to surface flow onto University Blvd.
- Provide the vicinity map for the area. Also provide the FIRMette or mention the flood zone and map page.
- Provide the legal description on the G&D plan along with the benchmark location.
- Show the roof flows.
- Depress all landscape areas which are no closer than 10 feet from the building. Create a curb opening on the high side of the parking lot island's and let the flows overtop the curb on the low side.
- Remove the "not for construction" note, all plans submitted for Building Permit and Grading Permit must be a plan used for building purposes.
- The dumpster area must contain a drain connected to the SAS, with a grease trap.

CITY OF ALBUQUERQUE



- The plan would be easier to review if sheets C-3.0 & C-3.1 or provide build notes on sheet C-3.0 to get rid of Sheet C-3.1. The storm plan can also be added to sheet C-3.0 and the profiles can be reduced and added to the basin map. Sheet C-3.3 can be deleted if references to these profiles are made on the sheet C-3.0. Also, when time comes to submit for Certificate of Occupancy, fewer sheets will need to be certified.
- Basin B-1 needs to flow through a first flush retention pond before leaving the site.
- What is the purpose of storm drain line B?
- There appears to be a ponding area in the drive up lane.
- An SO-19 permit may be required, depending on if the stub from Gibson Blvd. was extended/built into this site.

If you have any questions please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Department

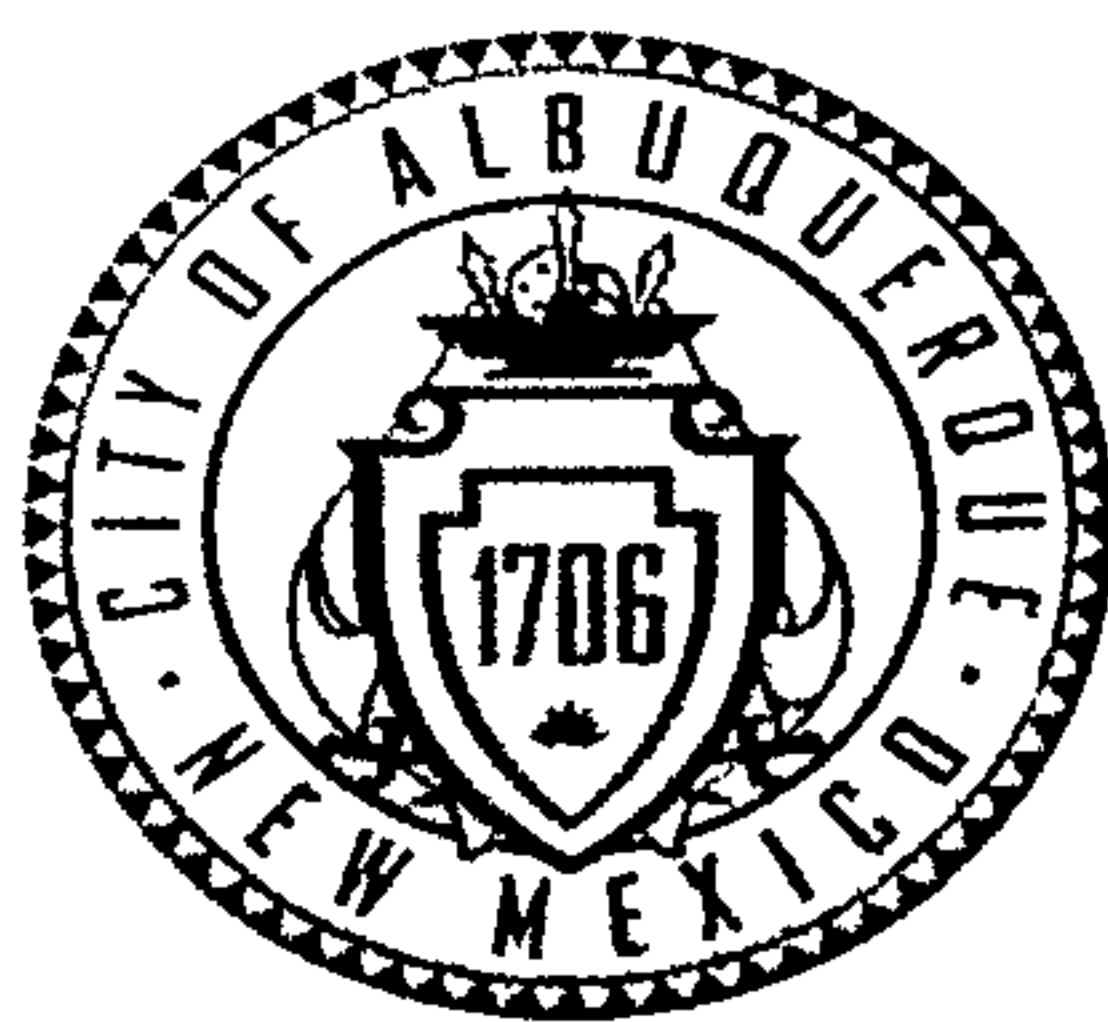
PO Box 1293

Albuquerque

New Mexico 87103

RR/CC
C: File

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A Gibson Building Permit #: 201493225 City Drainage #: M15D0120
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE
Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com
Owner: Chick-fil-A Contact: Ryan Robinson
Address: PO Box 270571, San Diego, CA 92198
Phone#: 760-522-9764 Fax#: _____ E-mail: rrobinson@4gdev.com
Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Tustin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com
Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com
Contractor: TBD Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☒ SO-19 APPROVAL
☒ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: January 23, 2015

By: Ryan Robinson (760)522-9764 rrobinson@4gdev.com

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

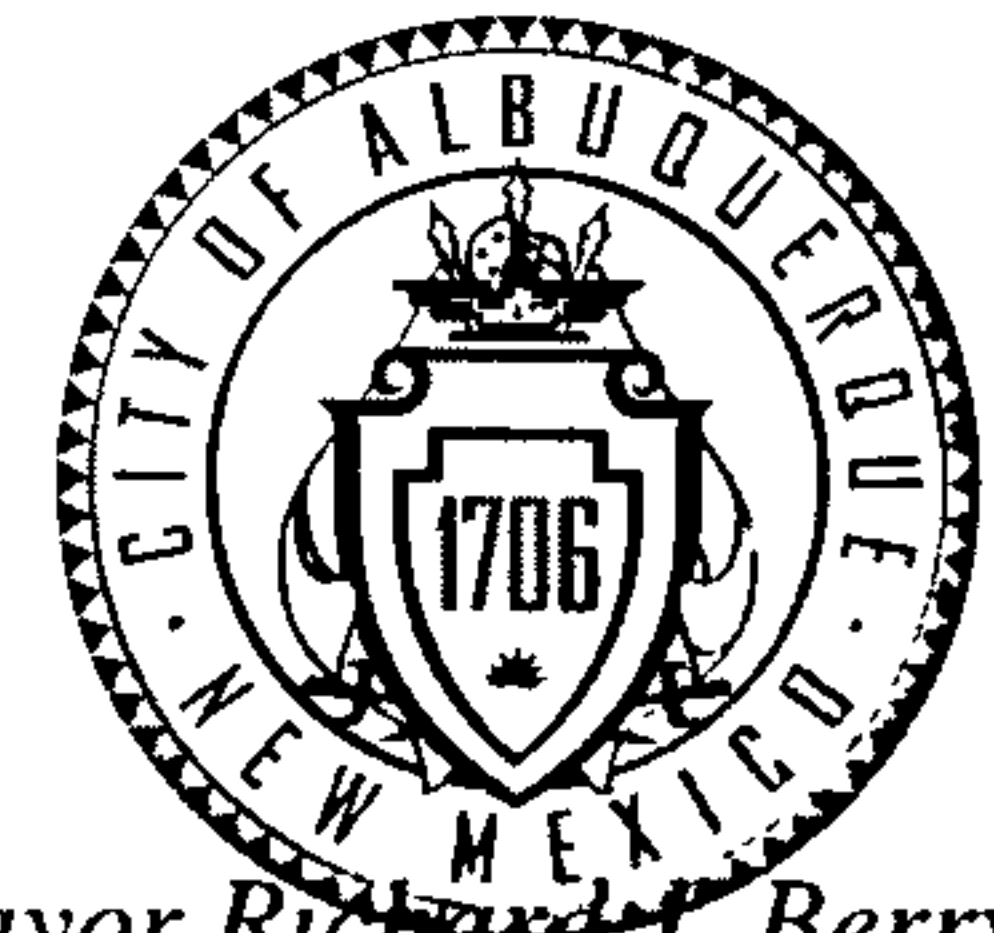
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

LEGAL DESCRIPTION

LOTS NUMBER NINE-A-1 (9-A-1) AND NINE-B-1 (9-B-1) IN BLOCK LETTERED A OF KIRTLAND ADDITION, UNIT 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 9-A-1 & 9-B-1 – BLOCK A, KIRTLAND ADDITION, UNIT 2, WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 18, 2008, IN PLAT BOOK 2008C, PAGE 187.

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

November 13, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

**RE: Chick-fil-A at Gibson
1600 Gibson Blvd SE
Grading and Drainage Plan Resubmittal #5
Engineers Stamp Date 7/29/15 (H20D003C)**

Dear Mr. Kelts,

PO Box 1293

Based upon the information provided in your submittal received 11/13/15, this plan is approved for Building Permit and Paving Permit.

Albuquerque

Please attach a copy of this approved plan dated 7/29/15 to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

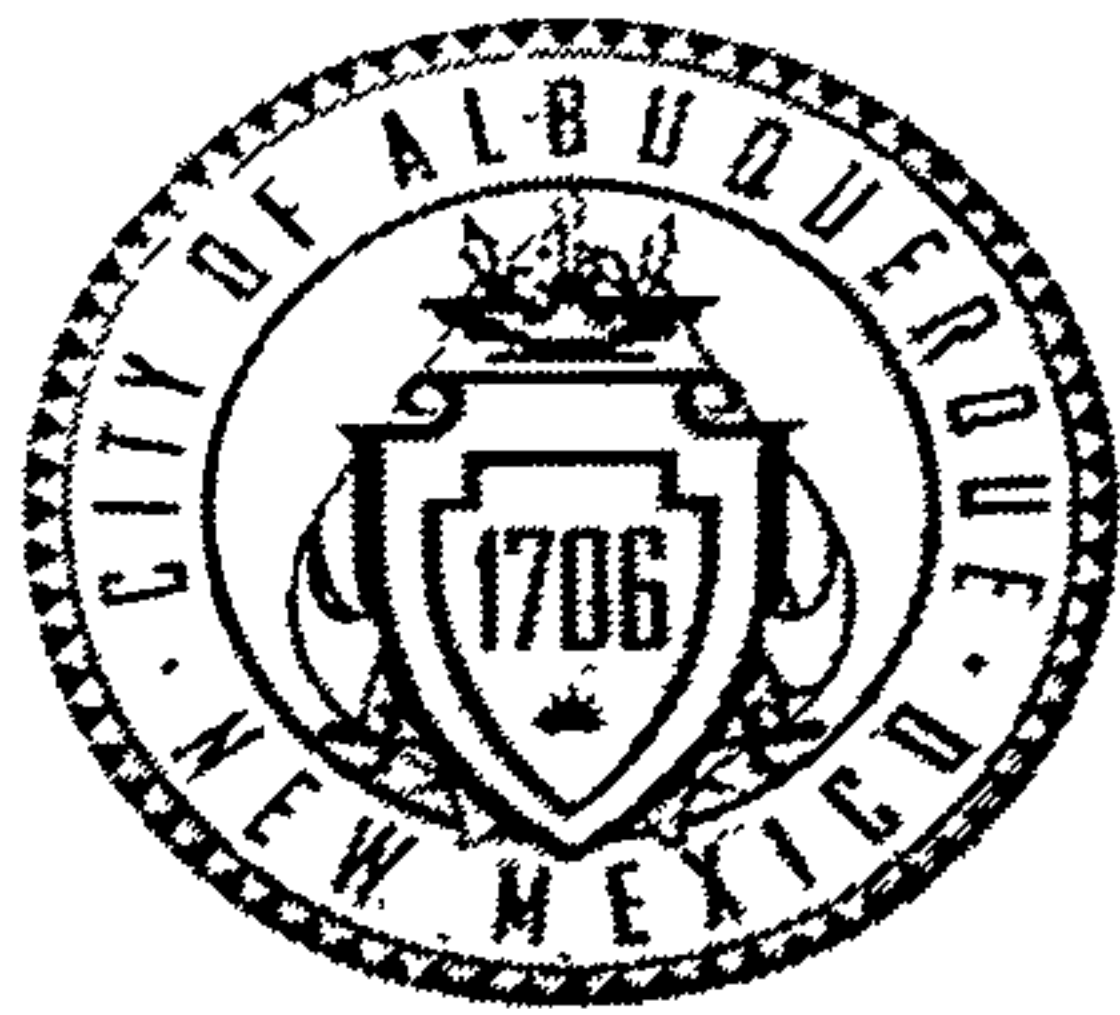
If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File



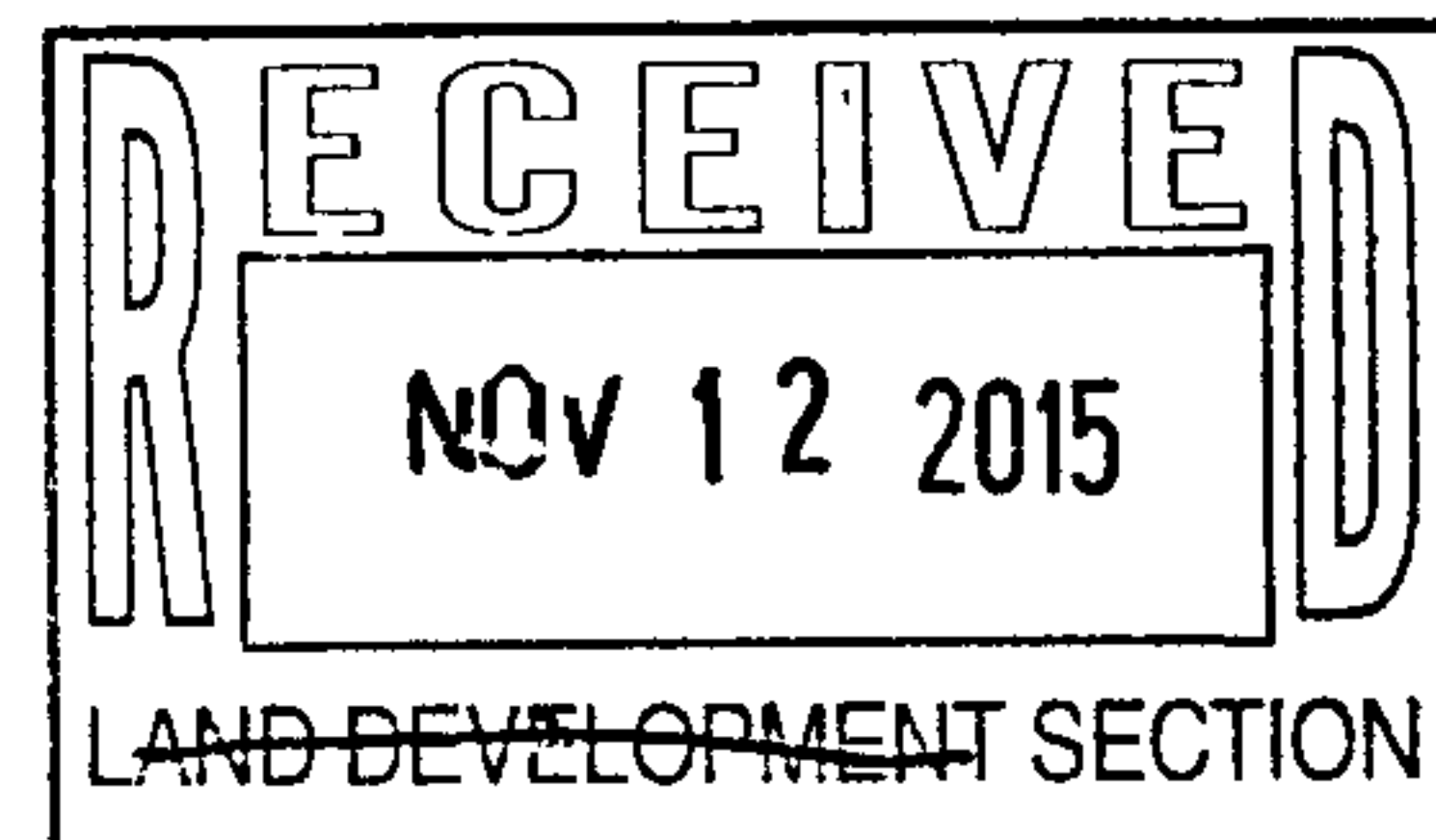
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)



Hydrology

Project Title: Chick-fil-A Gibson Building Permit #: 201493225 City Drainage #: M15D012C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE
Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com
Owner: Chick-fil-A Contact: Ryan Robinson
Address: PO Box 270571, San Diego, CA 92198
Phone#: 760-522-9764 Fax#: _____ E-mail: rrobinson@4gdev.com
Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Tustin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com
Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com
Contractor: TBD Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
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☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No ☒ Copy Provided

DATE SUBMITTED: November 12, 2015 By: Ryan Robinson (760)522-9764 rrobinson@4gdev.com

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Timeline of Events:

May 14, 2015: Approval of TIS, asking for improvements within University.

May 14, 2015: Original approval of TCL along with the statement about the work order drawings requiring a separate permit.

June 9, 2015, June 10, 2015: Jeanne sends Kris Wiest drawings for University (60% complete) to coordinate with Eric Froberg. (gives Eric and Andrew contact information for Ryan Robinson and Kris Wiest)

June 16, 2015: Coordination with DMD on TIS requirements.

July 28th, 2015: University/Gibson meeting to coordinate and question the T.I.S. and if the center lane could be deleted. (Jeff Wooten pushed for deletion of the center left turn lane.) Jeanne and Kristal covered work order requirements in general for all of the Chick-fil-A's. (Jeanne sent subsequent e-mails to forward examples of DRC drawings and required forms that day and the following week.)

August 26, 2015: Eric Froberg (TY Lin – Engineer for University Bikeways project) sends e-mail mentioning that he is going to be comparing work on University in ACAD to make sure that coordination had been done.

August 28, 2015: Eric Froberg sends another e-mail discussing conflict between Chick-fil-A plans and the University Bikeway plans. He suggested a meeting.

August 28, 2015: Second TIS was submitted for project, retracting requirement for double-left centerlane.

August 30, 2015: Terry Brown requests a meeting with Jeanne to discuss the coordination of University Bikeways with the Chick-fil-A Project due to conflicts (ccs Josh Skaarsguard, Eric Froberg, Andrew Varoz,).

August 31st: Erick Froberg sends out an e-mail (ccing Josh Skaarsguard, Andrew, and Kris Wiest regarding setting up meeting and discussing conflict.)

August 31 to September 4, 2015: Curb cut permit issued to Franklin's according to TCL for these work dates (Approved May 14, 2015 TCL attached).

September 2, 2015: Another revised TCL was approved due to internal changes to parking lot.

Sept 4, 2015: Chick-fil-A has meeting with COA (Terry Brown, Eric Froberg, Andrew Varoz, Jeanne Wolfenbarger) At this meeting, it was agreed to change the driveway location 2 feet to the west to accommodate the University Bikeway plans at the request of Andrew Varoz.

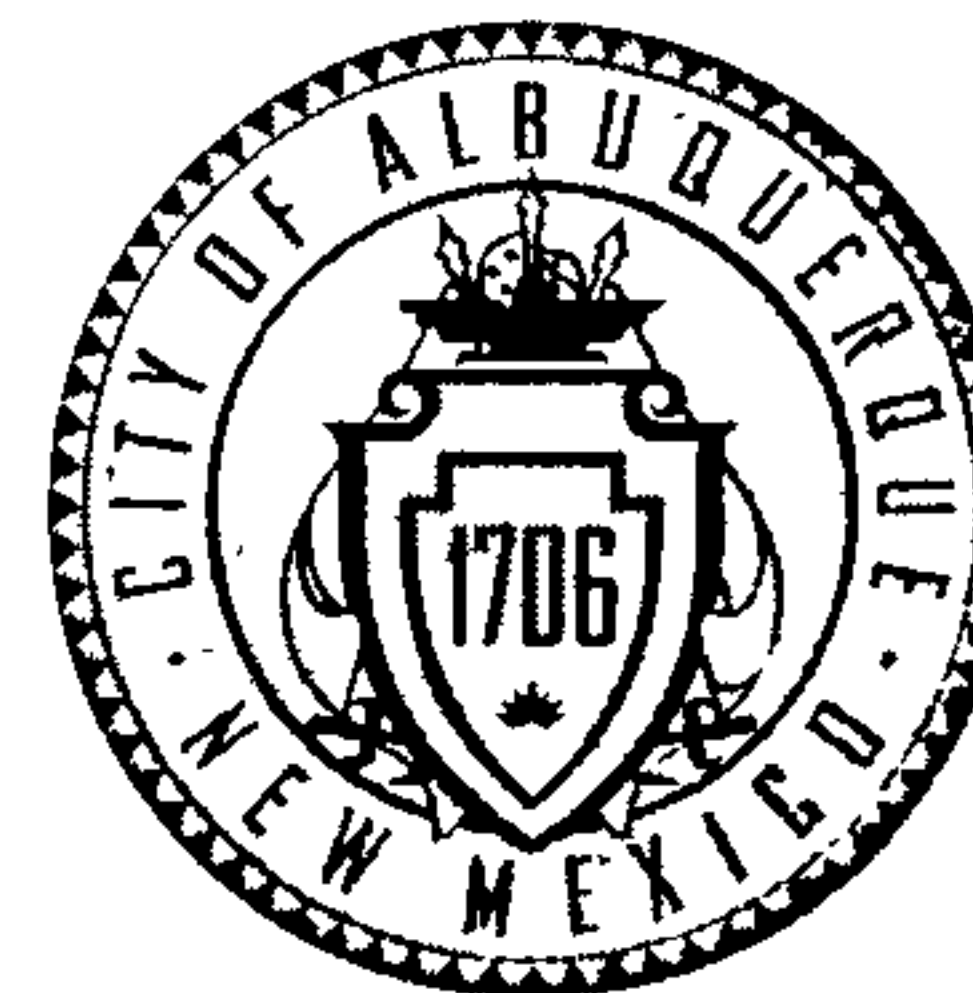
September 7th: Terry Brown sends out meeting minutes from Sept. 4th Meeting and then Jeff Wooten replies with an e-mail stating that he thinks they started construction on the driveway at University already. Jeanne called Ryan Robinson (project manager) to confirm whether they had started, and he mentioned in a voicemail on September 8th that they were half-way finished with the concrete already done at the driveway.

1010060

1001449

M15-D012e

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 2, 2015

Troy Kelts
Merrick & Company
5970 Greenwood Plaza Blvd.,
Greenwood Village, CO 80015

Re: Chick-fil-A Gibson, 1600 Gibson Blvd. SE
Traffic Circulation Layout - Revised
Engineer's Stamp Dated 7-29-15 (M15-D012C)

Dear Mr. Kelts,

The TCL submittal received 8-31-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

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Additionally, a Certificate of Occupancy will not be issued until the work order is completed for the required work on University Boulevard as shown as part of the Traffic Impact Study dated May 12, 2015. Work Order drawings shall include striping work and median work necessary for extension of the northbound left-turn lane onto University Boulevard and the center dual left-turn lane north of Driveway "A" as shown on Page A-48 (Attached).

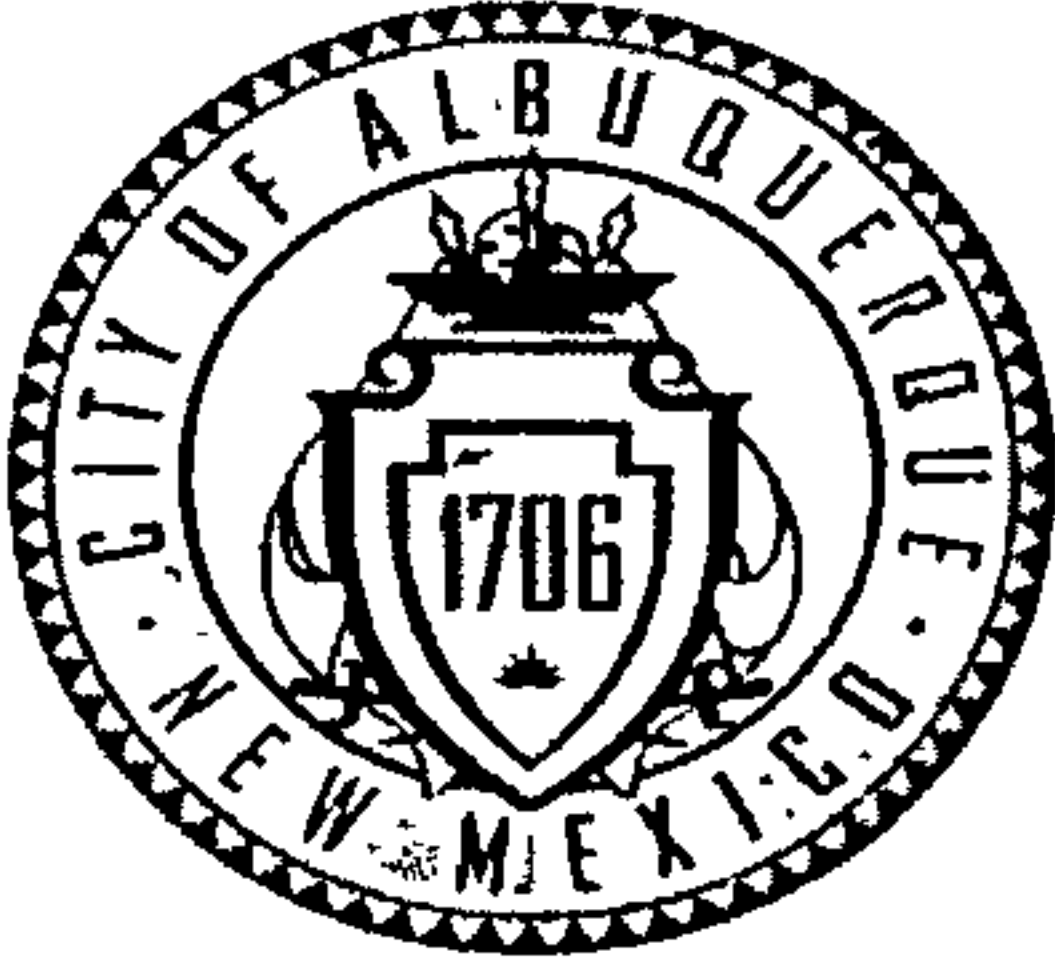
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: 201493225 City Drainage #: M150012C
DRB#: 1010060 EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 30349-2732
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ **TRAFFIC CIRCULATION LAYOUT (TCL)** **Revision**
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
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☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

Rec 8/31/15

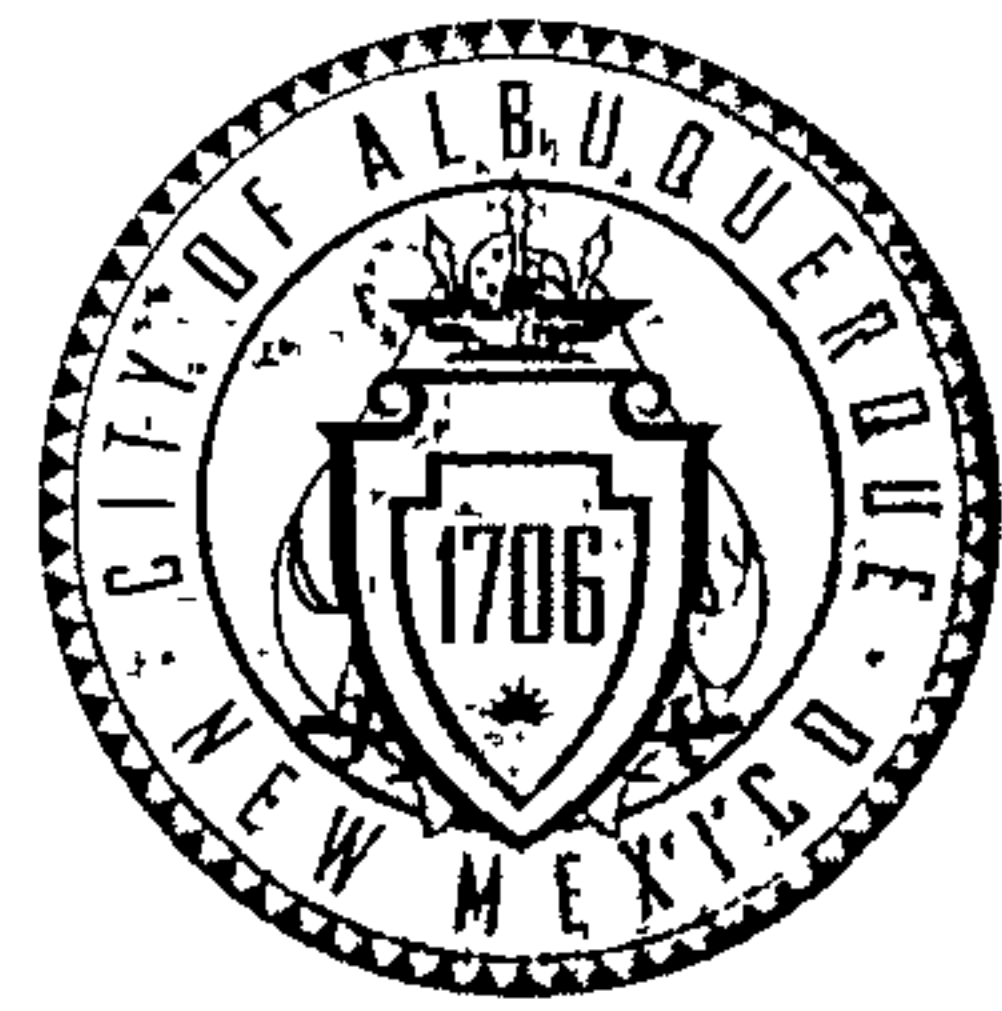
WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 8/31/15 By: Ryan Robinson

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

May 14, 2015

Troy Kelts
Merrick & Company
5970 Greenwood Plaza Blvd.,
Greenwood Village, CO 80015

Re: Chick-fil-A Gibson, 1600 Gibson Blvd. SE
Traffic Circulation Layout
Engineer's Stamp Dated 05-05-15 (M15-D012C)

Dear Mr. Kelts,

The TCL submittal received 05-07-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Additionally, a Certificate of Occupancy will not be issued until the work order is completed for the required work on University Boulevard as shown as part of the Traffic Impact Study dated May 12, 2015. Work Order drawings shall include striping work and median work necessary for extension of the northbound left-turn lane onto University Boulevard and the center dual left-turn lane north of Driveway "A" as shown on Page A-48 (Attached).

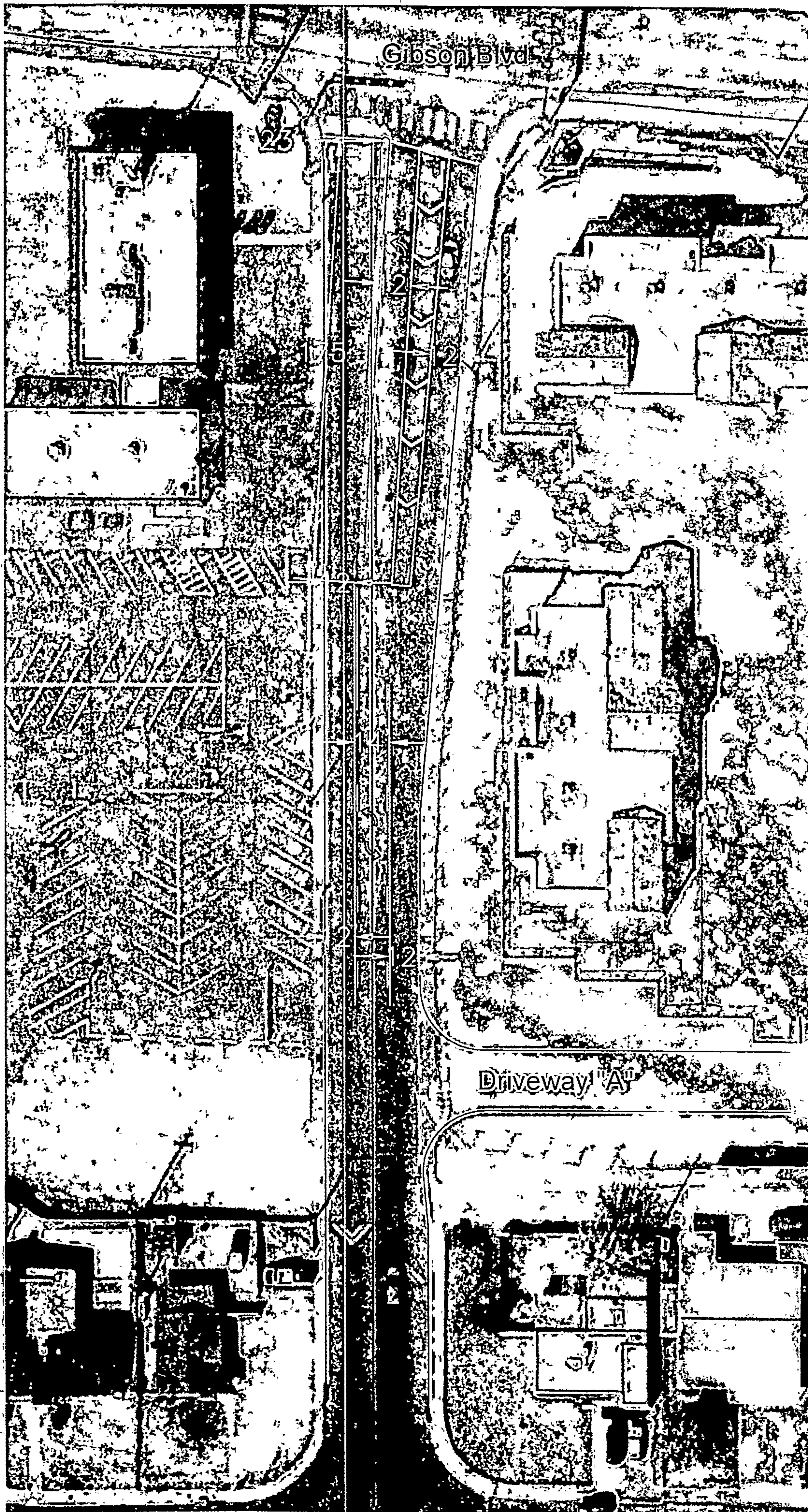
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

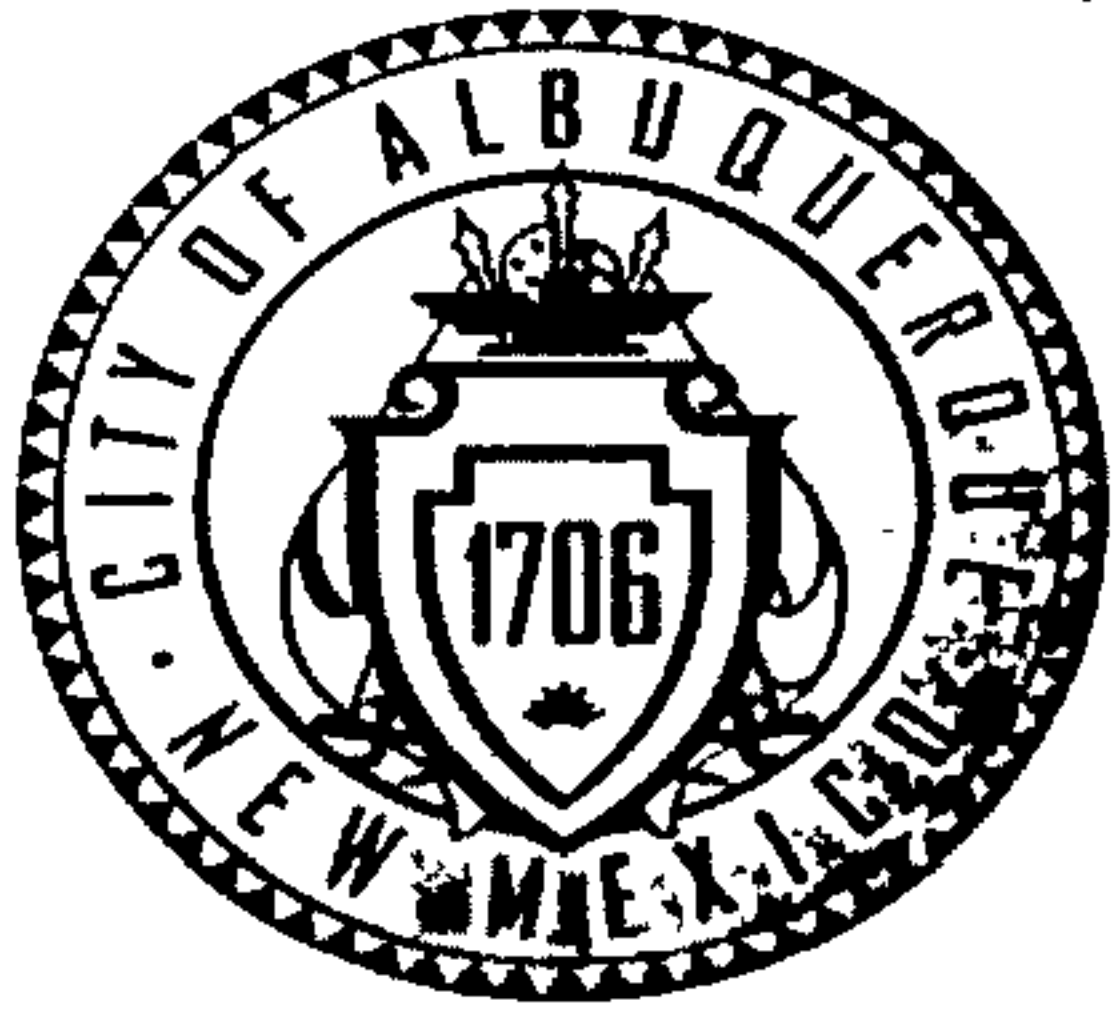
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: 1915-D012C
DRB#: 1010060 EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 92618
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
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- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

*Received
5-13-15*

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 5/5/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

March 30, 2015

Troy Kelts
Merrick & Company
5970 Greenwood Plaza Blvd.,
Greenwood Village, CO 80015

Re: Chick-fil-A Gibson, 1600 Gibson Blvd. SE
Traffic Circulation Layout
Engineer's Stamp Dated 03-19-15 (M15-D012C)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 03-20-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The TIS needs to be completed prior to TCL approval.
2. Identify the DRB Case Number concerning the proposed lot line relocation on the plan (The DRB number is 1010060.) The TCL cannot be approved until the proposed lot lines are in place and the access agreement is signed on by all property owners, as required at DRB.)
3. Show existing right-of-way width for Gibson Boulevard and existing sidewalk width on Gibson Boulevard.
4. The ADA van accessible sign detail must have the required language per 66-7-352.4C NMSA 1978, **"Violators are subject to a Fine and/or Towing."**
5. Sheet C2.0 will be the sheet to be stamped for TCL approval. Make a note reference to curb radii and curb geometry information on Sheet C2.1. Retitle Sheet C2.0 as the "Traffic Circulation Layout".
6. Clarify beginning and end of construction since this plan seems to conflict with Chick-Fil-A Construction. (For instance, the accessway plans from Wooten Engineering shows a different paving typical section than the one that is being used for Chic-Fil-A. The accessway plans also show curb that conflicts with the Chic-Fil-A site layout.)
7. Define the phasing of construction for the access-way versus the Chick-Fil-A parking lot. The TCL from Wooten Engineering needs to be approved prior to the TCL for the Chic-Fil-A especially since the accessway to the site is from the

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New Mexico 87103

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Wooten Engineering planset. Additionally, reference the accessway from Wooten Engineering, and call out for this to be constructed by others.

8. For the accessway into the site off of University Boulevard, call out the applicable COA Standard details such as COA Standard Dwg. 2426 for private entrances if this is what was intended. Provide more detail and dimensioning for the sidewalk within University Boulevard crossing the accessway since its alignment across the private accessway changes. Also reference COA Standard Dwg. 2430 for any sidewalk called out within public right-of-way on University Boulevard.
9. Call out the new 6-foot wide dimension for the ADA accessible pedestrian pathway to Gibson Blvd. Have a note call-out to provide a smooth connection where the proposed sidewalk ties into the existing sidewalk for Gibson Boulevard.
10. Provide a detail for the 18" step-off curb. How high is this curb?
11. For the curb ramps crossing the drive-thru on the south side of the building, I am still unclear as to where they are leading if there is no curb ramp back into the parking lot on the south side of the building. For one of these curb ramps at the southwest corner of the building, the minimum landing width to the north of the ramp is 4 feet by 4 feet for wheelchairs to turn on a level surface, and this ramp does not look like it will meet this criteria nor does it appear that there is even enough room to build a ramp with a 12:1 slope with a 6" curb at this location.
12. Provide the queuing length for the drive-thru showing the total number of vehicles that the drive-thru facility can handle. I could not find this information in the planset.

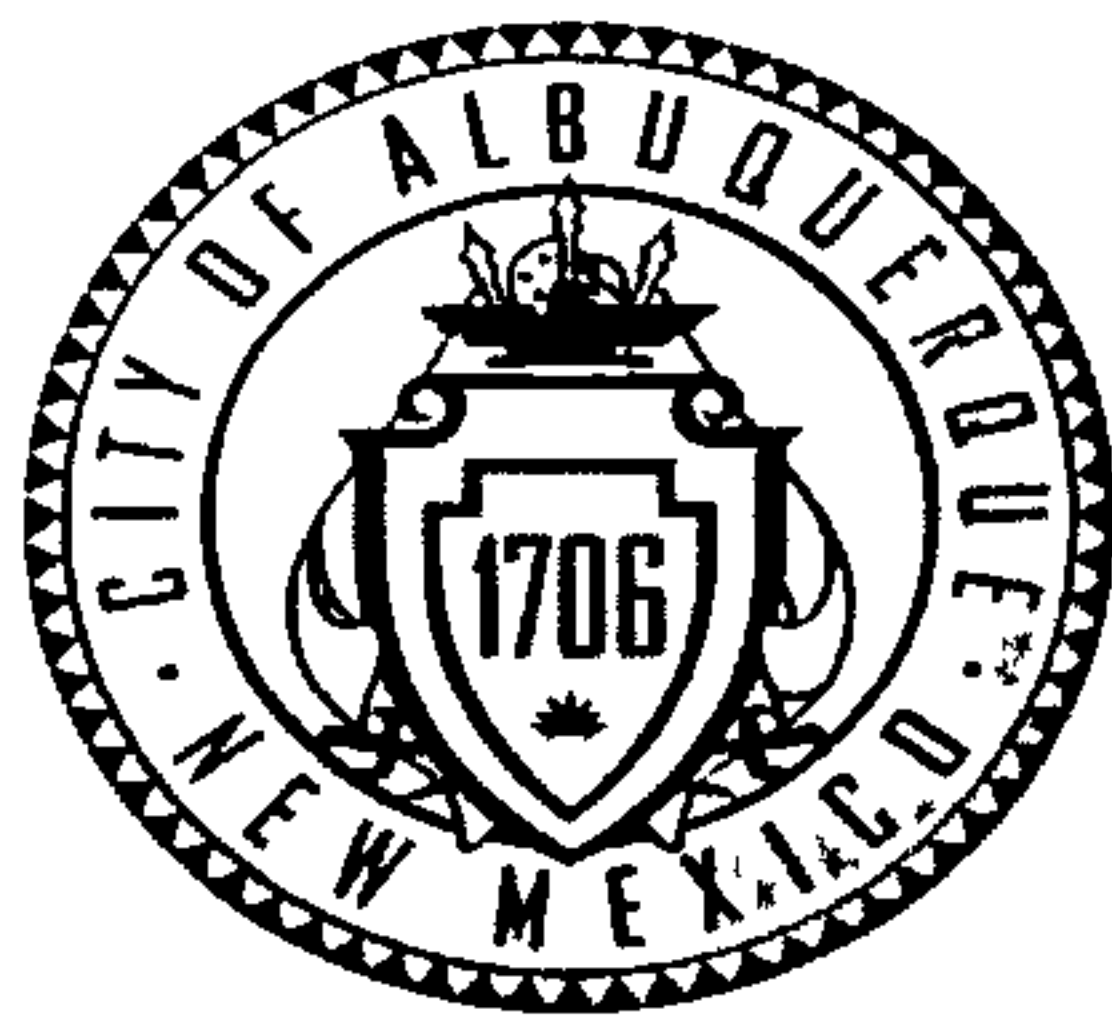
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg

Address: 9384 Valley View Drive

Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
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- ☐ ENGINEER'S CERT (HYDROLOGY)
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- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

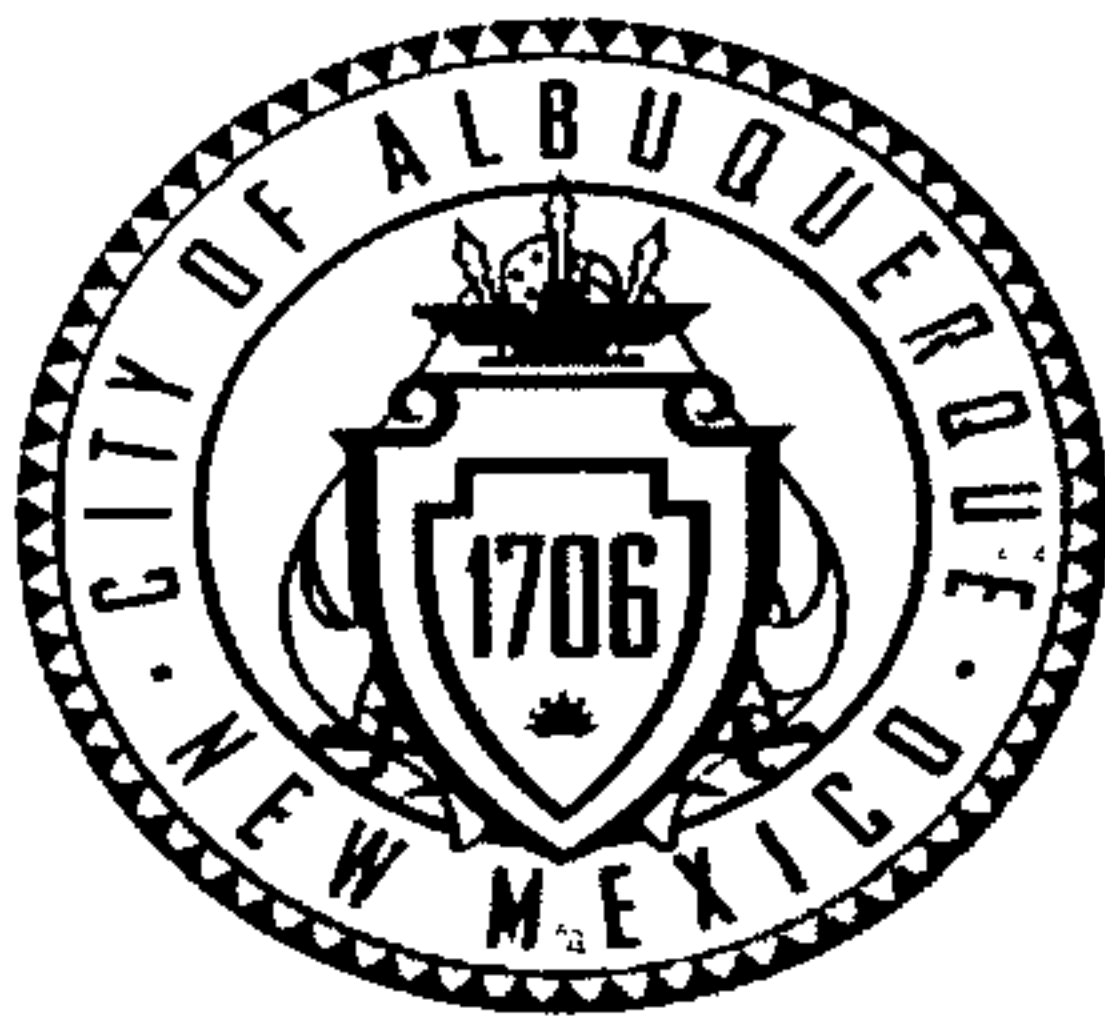
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 03/19/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: See Attached

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Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg

Address: 9384 Valley View Drive

Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 03/19/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans.** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Wolfenbarger, Jeanne

From: Wolfenbarger, Jeanne
Sent: Friday, April 17, 2015 11:24 AM
To: 'Jeff Wooten'; 'Kris Wiest'
Cc: Michel, Racquel M.
Subject: SEC Gibson/University Cross Access Driveway/Chick-fil-A - TCL Resubmittals ((M15-D012C and M15-D012D))

Kris and Jeff, for the most part the TCLs look good with very minor comments this time. As you know, the TCLs cannot be approved until the access agreement is signed at DRB and the TIS is approved, and any changes that are recommended as part of the TIS are shown on the site plan. (I called Terry Brown, and he is supposed to get me the first draft copy of the TIS next week for review.)

Kris,

Some very minor comments are left for this:

- One comment is that Note 42 for the valley gutter is called out on the plan view, but the note itself is listed as Keyed Note 41. This discrepancy needs to be corrected.
 - The shaded area for the 21B pavement should be shown in the legend for 21B pavement.
 - In the description for the phasing, the Lot 9-A-1A for Chick-Fil-A is called out as "9-1-1A". Correct discrepancy.
 - Although it does not affect our TCL approval, it would be helpful to call out 12" subgrade on the heavy duty pavement section and subgrade on the other pavement section since the Wooten planset does.
- You do not need to resubmit the entire package for TCL approval in hard copy format. Just resubmit Sheet C-2.0 for me to give you a stamped copy, and make sure to give 2 copies of it. The next submittal would need to reflect any approved recommendations as part of the TIS.

Jeff,

- The pavement section that you show is not an exact match for what is shown on the Merrick planset. (Your plan set calls for 12" subgrade, while the other plan set doesn't. The Merrick set calls out for a 1.5" lift and a 2.5" lift while your detail on Sheet C7 does not contain actual details of lift thicknesses.) This does not affect TCL approval as much as I just wanted to point this out to make sure there is not any confusion during construction with regard to exactly what pavement section to build for your access. If there are different pavement sections being used from one planset to the other, this ought to be reflected on each of the different plan sets.

Again, the final TCL needs to reflect the approved TIS.

Jeanne



Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

LETTER OF TRANSMITTAL

To: Jeanne Wolfenbarger
City of Albuquerque
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
(505) 924-3924

Date: 4/14/15

Ref: CFA at Gibson
65118373

MISD012C

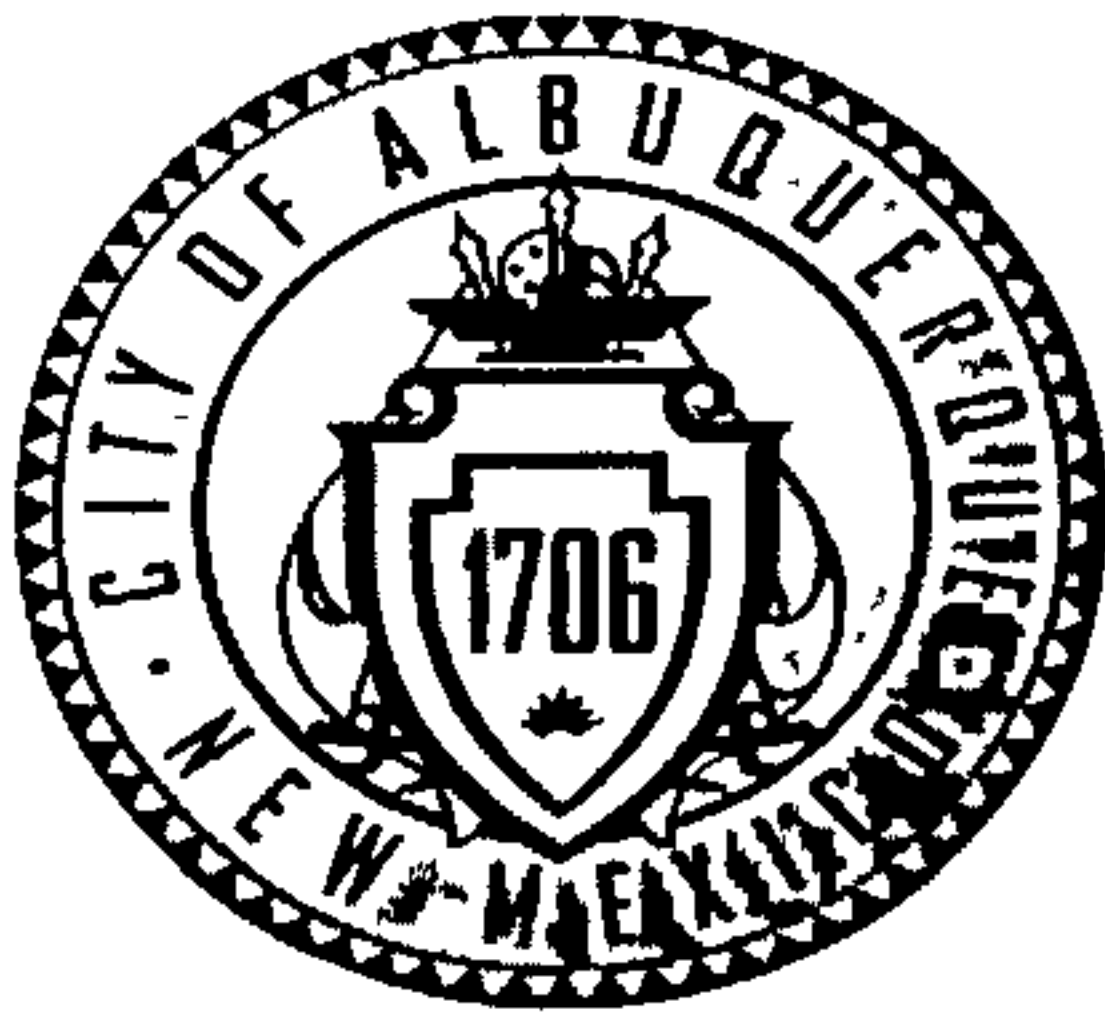
The following material has been transmitted to you this date:

QUANTITY	DESCRIPTION
2 Copies	Traffic Circulations Plans
1 Copy	Traffic Information Sheet
1 Copy	Comment Response Letter

Respectfully submitted:

MERRICK & COMPANY

Troy Kelts, PE
Project Engineer
303-353-3926



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: _____
DRB#: 1010060 EPC#: _____ Work Order#: _____
Legal Description: See Attached
City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015
Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler
Address: 15635 Alton Parkway, Irvine, CA 30349-2732
Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen
Address: 195 South "C" Street 200, Turstin, CA 92780
Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg
Address: 9384 Valley View Drive
Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 4/14/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

April 14, 2015
Merrick Project No. 65118373

City of Albuquerque
Jeanne Wolfenbarger
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A Gibson, 1600 Gibson Blvd SE**
Traffic Circulation Layout
(M12-D015C)

Merrick & Company has reviewed the comments for the proposed Chick-fil-A FSU located at 1600 Gibson SE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

Engineering:

1. The TIS needs to be completed prior to TCL approval.
Response: This will be completed by the seller.
2. Identify the DRB Case Number concerning the proposed lot lone relocation on the plan (The DRB number is 1010060.) the TCL cannot be approved until the proposed lot lines are in place and the access agreement is signed on by all property owners, as required at DRB.
Response: The DRB Case Number has been identified on the Traffic Circulation Layout notes.
3. Show existing right-of-way width for Gibson Boulevard and existing sidewalk width on Gibson Boulevard.
Response: The Gibson Boulevard right-of-way width varies and has been labeled accordingly. The existing sidewalk width on Gibson has been labeled.
4. The ADA van accessible sign detail must have the required language per 66-7-352.4C NMSA 1978, "Violators are subject to a Fine and/or Towing."
Response: The required language for the ADA van accessible sign has been added to the standard Chick-Fil-A details.
5. Sheet C2.0 will be the sheet to be stamped for TCL approval. Make a note reference to curb radii and curb geometry information on Sheet C2.1. Retitle Sheet C2.0 as the "Traffic Circulation Layout".
Response: Sheet C-2.0 has been renamed as "Traffic Circulation Layout"

6. Clarify beginning and end of construction since this plan seems to conflict with Chick-Fil-A construction. (For instance, the access way plans from Wooten Engineering shows a different paving typical section than the one that is being used for Chick-Fil-A. The access way plans also show curb that conflicts with the Chick-Fil-A site layout.)

Response: See revised plan. Plan has been coordinated with TCL prepared by Wooten Engineering.

7. Define the phasing of construction for the access-way versus the Chick-Fil-A parking lot. The TCL from Wooten Engineering needs to be approved prior to the TCL for the Chick-Fil-A especially since the access way to the site is from the Wooten Engineering plan set. Additionally, reference the access way from Wooten Engineering, and call out for this to be constructed by others.

Response: See revised plan. Phasing has been coordinated with TCL prepared by Wooten Engineering

8. For the access way into the site off of University Boulevard, call out the applicable COA Standard details such as COA Standard Dwg. 2426 for private entrances if this is what was intended. Provide more detail and dimensioning for the sidewalk within University Boulevard crossing the access way since its alignment across the private access way changes. Also reference COA standard Dwg. 2430 for any sidewalk called out within public right-of-way on University Boulevard.

Response: The access way into University now has the applicable COA standard details called out for both the private entrance and sidewalks. More dimensioning has been added to each sidewalk and can be found on sheet C-2.1.

9. Call out the new 6-foot wide dimension for the ADA accessible pedestrian pathway to Gibson Blvd. Have a note call-out to provide a smooth connection where the proposed sidewalk ties into the existing sidewalk for Gibson Boulevard.

Response: The new 6-foot wide dimension for the ADA accessible pedestrian pathway has been added. A call out for a smooth connection has been added.

10. Provide a detail for 18" step-off curb. How high is this curb?

Response: A detail has been added for the 18" step-off curb in the Chick-Fil-A Standard details.

11. For the curb ramps crossing the drive-thru on the south side of the building, I am still unclear as to where they are leading if there is no curb ramp back into the parking lot on the south side of the building. For one of these curb ramps at the southwest corner of the building, the minimum landing width to the north of the ramp is 4 feet by 4 feet for wheelchairs to turn on a level surface, and this ramp does not look like it will meet this criteria nor does it appear that there is even enough room to build a ramp with a 12:1 slope with a 6" curb at this location.

Response: The west side ramp crossing the drive-thru has the proper 4 foot by 4 foot ramp for wheelchairs on the north end and is to provide access to the trash enclosure. See sheet C-3.0 and C-3.1 for grading information. A curb ramp has also been added to the easterly sidewalk

crossing at the drive thru exit.

12. Provide the queuing length for the drive-thru showing the total number of vehicles that the drive-thru facility can handle. I could not find this information in the plan set.

Response: The queuing length for the drive-thru has been added.

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY

A handwritten signature in black ink, appearing to read 'T. Kelts', written in a cursive style.

Troy D Kelts, P.E.
Project Manager



Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

LETTER OF TRANSMITTAL

To: Jeanne Wolfenbarger
City of Albuquerque
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
(505) 924-3924

Date: 3/19/15

Ref: CFA at Gibson
65118373

The following material has been transmitted to you this date:

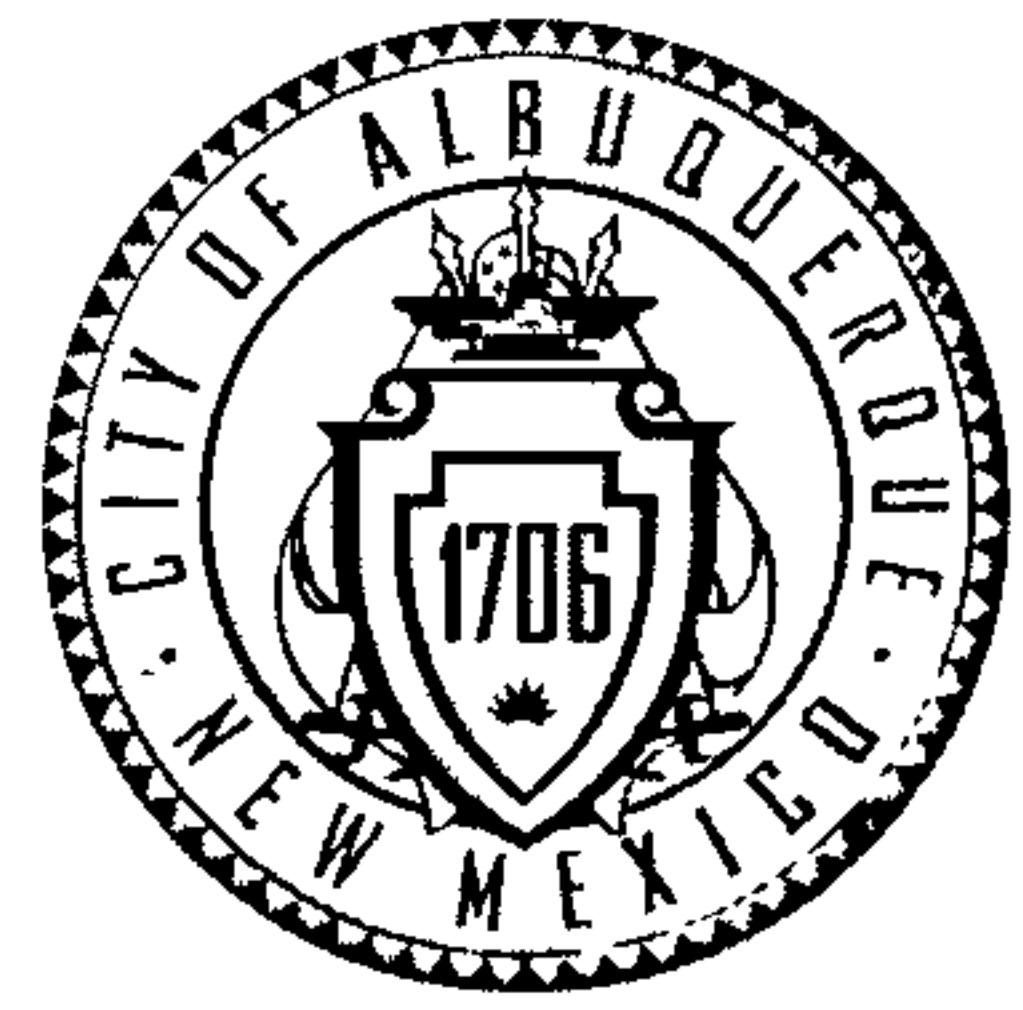
QUANTITY	DESCRIPTION
2 Copies	Traffic Circulations Plans
1 Copy	Drainage Information Sheet
1 Copy	Comment Response Letter

Respectfully submitted:

MERRICK & COMPANY

Troy Kelts, PE
Project Engineer
303-353-3926

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

February 6, 2015

Ryan Robinson
PO Box 270571
San Diego, CA 92198

Re: Chick-fil-A Gibson, 1600 Gibson Blvd. SE
Traffic Circulation Layout
Plan Dated 11-24-14 (M12-D012C)

Dear Mr. Robinson,

Based upon the information provided in your submittal received 01-23-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The proposed development looks like it may meet the threshold for a Traffic Impact Study based upon the square footage of the building. Please show the square footage of the building, and provide a trip generation for the proposed development. Analyze the need for a left turn bay into the access off of University Boulevard from the north.
2. Please show a vicinity map showing the location of the development in relation to streets and include the zone atlas map number.
3. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces for Chick-Fil-A.
4. For the next submittal, provide a date on the engineer's stamp.
5. Identify the DRB Case Number concerning the proposed lot line relocation. The TCL cannot be approved until the proposed lot lines are in place.
6. Identify the right of way width for University Boulevard and Gibson Boulevard. Label existing curb on University Boulevard and Gibson Boulevard, and show the existing sidewalk and sidewalk widths. Show existing private drives across the street from the site on University Boulevard. Also, show and label existing bus shelter off of Gibson Blvd.
7. Please list the width and length for all parking spaces. The parking spaces on the southwest side of the site need to be labeled, similar to the other spaces.
8. Include a minimum width of 8 feet wide for the van access aisle. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978

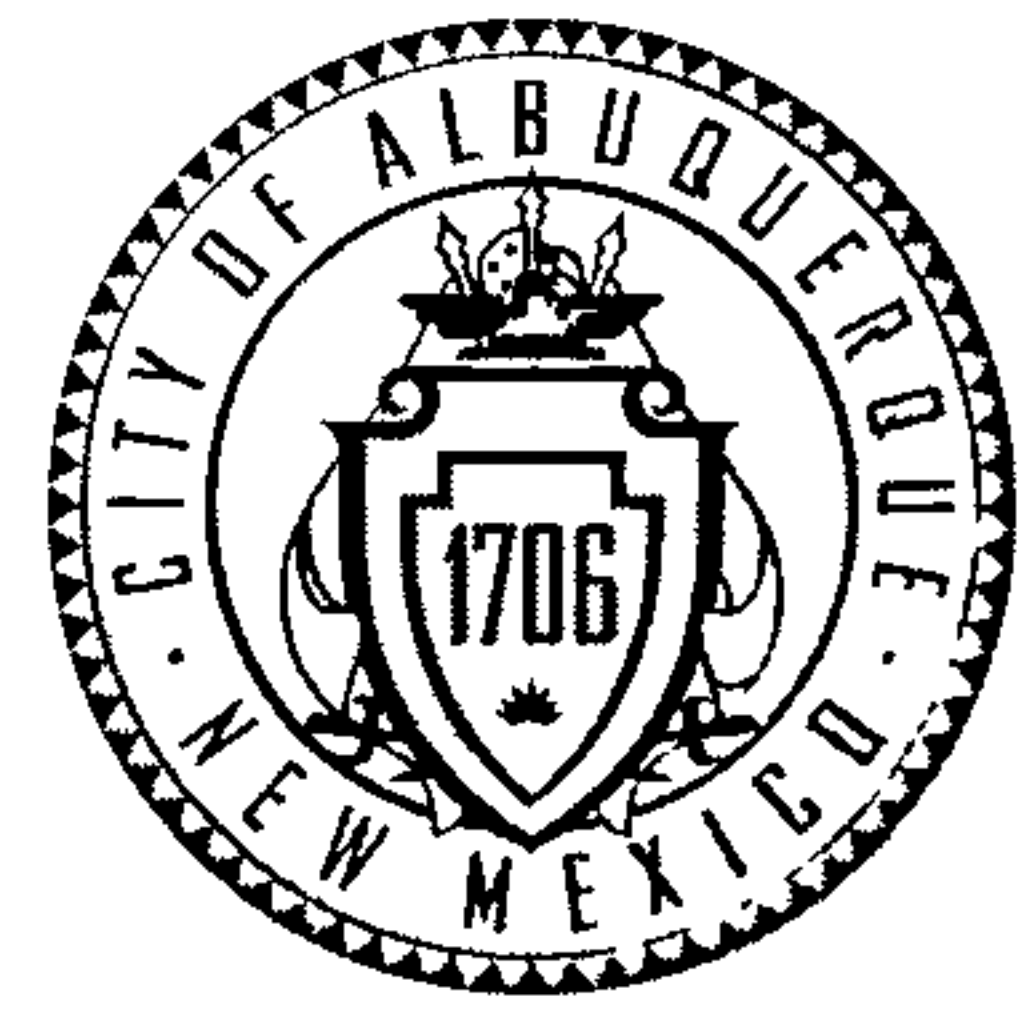
"Violators Are Subject to a Fine and/or Towing." Include an accessible signage detail for the next submittal.

9. The words **"NO PARKING"** for the van accessible aisle should be at least one foot high and at least two inches wide. Call out these dimensions within a keyed note.
10. Show all drive aisle curb radii for the parking lot. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger. (See Figure 23.7.2, Page 23-88 of the DPM.)
11. For the access onto University Blvd., provide more detail. List curb radii and provide detail and reference COA Standard Drawings for the valley gutter and the curb ramps as applicable. Provide detectable warning devices for the curb ramps, and show a detail of these.
12. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Connect a new 6-foot sidewalk to Gibson Blvd. or to University Boulevard, and provide sidewalk details. Please clearly show this pathway and provide details. Have a note call-out to provide a smooth connection.
13. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Include a 6-foot dimension for Note 41.
14. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between the parking lot and landscaping and between the parking lot and the pedestrian ways. Include curb detail with the next submittal.
15. Design delivery vehicle route needs to be shown from University Boulevard into and through the parking lot for the new facility.
16. Provide pavement typical sections that are proposed for the new parking lot.
17. Please provide a sight distance exhibit for the drive onto University Blvd. (see the *Development Process Manual, Chapter 23, Section 3, Page 23-28, Part D.5 Intersection Sight Distance*).

Please add the following note to this clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

18. Please include a copy of your shared access agreement with the adjacent property owner to the east prior to approval since the proposed lot line is centered within the driving aisle for the parking. If for any reason parking will be shared, also include this language within the agreement.

CITY OF ALBUQUERQUE



19. For the curb ramps crossing the drive-thru, where are these walkways leading to since there are no curb ramps on the south side of the parking lot or any handicapped spaces to provide a continuous ADA pathway? If they are not leading to anything, eliminate them. For one of these curb ramps at the southwest corner of the building, the minimum landing width to the north of the ramp is 4 feet by 4 feet for wheelchairs to turn on a level surface, and this ramp does not look like it will meet this criteria. Any proposed on-site curb ramps need to have an accompanying detail showing maximum slope criteria and dimensions. Include details with the next submittal.
20. Provide the queuing length for the drive-thru showing the total number of vehicles that the drive-thru facility can handle.
21. Please include two copies of the traffic circulation layout at the next submittal prior to approval.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

PO Box 1293

Sincerely,

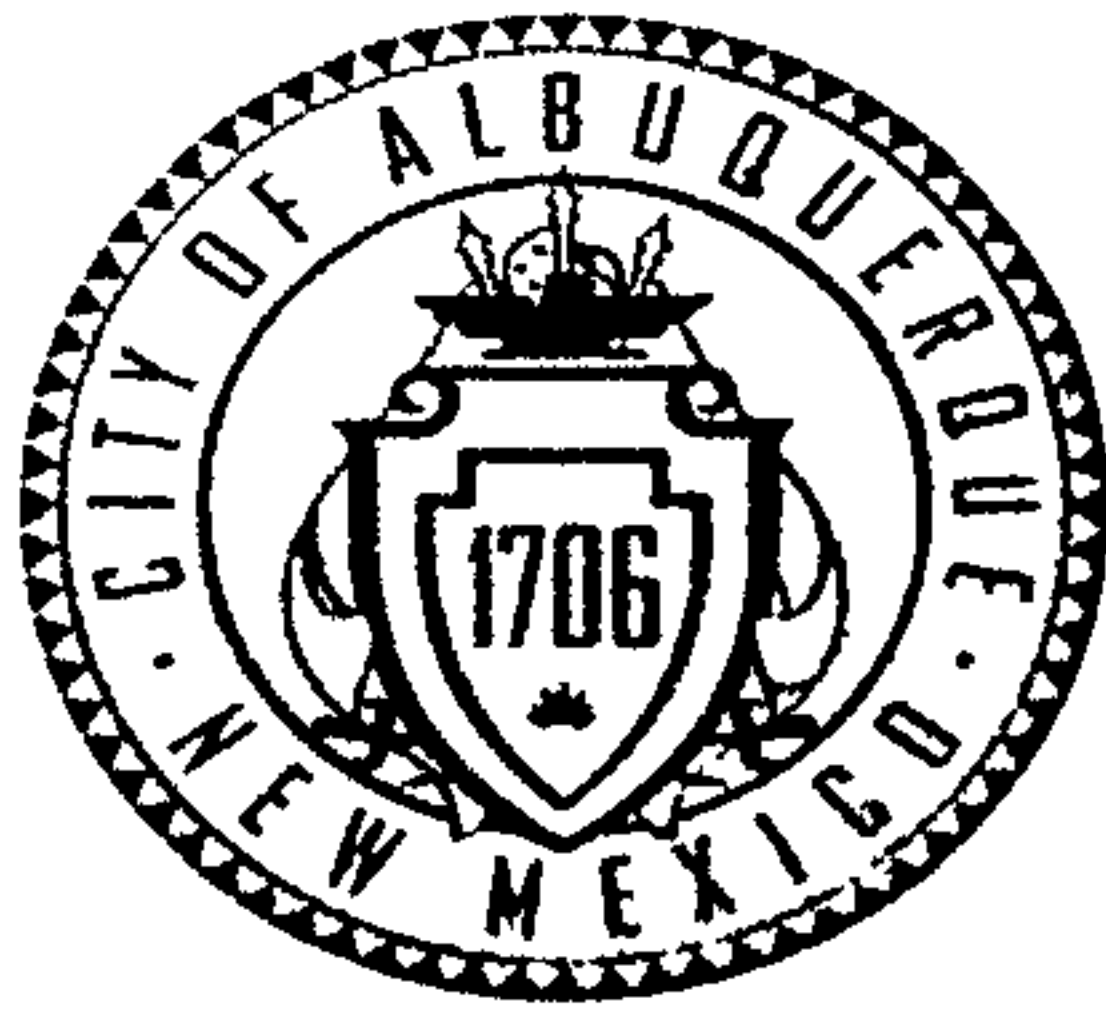
Albuquerque

New Mexico 87103

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A Gibson Building Permit #: 201493225 City Drainage #: M15D012C

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company

Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741

Fax#: 303-752-4451

E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A

Contact: Ryan Robinson

Address: PO Box 270571, San Diego, CA 92198

Phone#: 760-522-9764

Fax#: _____

E-mail: rrobinson@4gdev.com

Architect: CRHO

Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Tustin, CA 92780

Phone#: 714-832-1834

Fax#: _____

E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc

Contact: Russ Hugg

Address: 9384 Valley View Drive

Phone#: 505-897-3366

Fax#: _____

E-mail: russhugg@survtek.com

Contractor: TBD

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: January 23, 2015

By: Ryan Robinson (760)522-9764 rrobinson@4gdev.com

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

LEGAL DESCRIPTION

LOTS NUMBER NINE-A-1 (9-A-1) AND NINE-B-1 (9-B-1) IN BLOCK LETTERED A OF KIRTLAND ADDITION, UNIT 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 9-A-1 & 9-B-1 – BLOCK A, KIRTLAND ADDITION, UNIT 2, WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 18, 2008, IN PLAT BOOK 2008C, PAGE 187.

Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

March 18, 2015
Merrick Project No. 65118373

Jeanne Wolfenbarger
City of Albuquerque
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A Gibson, 1600 Gibson Blvd. SE**
Traffic Circulation Layout
Plan Dated 11-24-14 (M12-D015C)

Dear Ms. Wolfenbarger:

Merrick & Company has reviewed the comments received on February 6, 2015 regarding the proposed Chick-fil-A FSU located at 1600 Gibson Blvd. SE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

1. The proposed development looks like it may meet the threshold for a Traffic Impact Study based upon the square footage of the building. Please show the square footage of the building, and provide a trip generation for the proposed development. Analyze the need for a left turn bay into the access off of University Boulevard from the north.
Response: A TIS is currently being prepared by for the site and will be provided to the City when it is complete.
2. Please show a vicinity map showing the location of the development in relation to streets and include the zone atlas map number.
Response: Vicinity Map has been included on the Delivery Truck Plan
3. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces for Chick-Fil-A.
Response: Required parking spaces has been added to plan
4. For the next submittal, provide a date on the engineer's stamp.
Response: Included.
5. Identify the DRS Case Number concerning the proposed lot line relocation. The TCL cannot be approved until the proposed lot lines are in place.
Response: DRB Case Number for lot line adjustment is: 15DRB-70119, Project No. 10100606
6. Identify the right of way width for University Boulevard and Gibson Boulevard. Label existing curb on University Boulevard and Gibson Boulevard, and show the existing sidewalk and sidewalk widths.

Show existing private drives across the street from the site on University Boulevard. Also, show and label existing bus shelter off of Gibson Blvd.

Response: Added to plan.

7. Please list the width and length for all parking spaces. The parking spaces on the southwest side of the site need to be labeled, similar to the other spaces.

Response: Added to plan.

8. Include a minimum width of 8 feet wide for the van access aisle. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Include an accessible signage detail for the next submittal.

Response: Included

9. The words "**NO PARKING**" for the van accessible aisle should be at least one foot high and at least two inches wide. Call out these dimensions within a keyed note.

Response: Plans have been updated to reflect this change.

10. Show all drive aisle curb radii for the parking lot. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger. (See Figure 23.7.2, Page 23-88 of the DPM.)

Response: Curb Radii have been added to plan.

11. For the access onto University Blvd., provide more detail. List curb radii and provide detail and reference COA Standard Drawings for the valley gutter and the curb ramps as applicable. Provide detectable warning devices for the curb ramps, and show a detail of these.

Response: Plans has been updated to include this information.

12. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Connect a new 6-foot sidewalk to Gibson Blvd. or to University Boulevard, and provide sidewalk details. Please clearly show this pathway and provide details. Have a note call-out to provide a smooth connection.

Response: 6' wide ADA path has been provided from Gibson Blvd ROW to building.

13. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Include a 6-foot dimension for Note 41.

Response: Updated Note 41.

14. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between the parking lot and landscaping and between the parking lot and the pedestrian ways. Include curb detail with the next submittal.

Response: See revised submittal.

15. Design delivery vehicle route needs to be shown from University Boulevard into and through the parking lot for the new facility.

Response: Delivery Vehicle Route has been included with resubmittal.

16. Provide pavement typical sections that are proposed for the new parking lot.

Response: See revised plans.

17. Please provide a sight distance exhibit for the drive onto University Blvd. (see the *Development Process Manual, Chapter 23, Section 3, Page 23-28, Part D. 5 Intersection Sight Distance*). Please add the following note to this clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

Response: Sight Distance has been added to site plan.

18. Please include a copy of your shared access agreement with the adjacent property owner to the east prior to approval since the proposed lot line is centered within the driving aisle for the parking. If for any reason parking will be shared, also include this language within the agreement.

Response: The shared access agreement is still being finalized between the seller and developer. This document will be provided as soon as it is complete.

19. For the curb ramps crossing the drive-thru, where are these walkways leading to since there are no curb ramps on the south side of the parking lot or any handicapped spaces to provide a continuous ADA pathway? If they are not leading to anything, eliminate them. For one of these curb ramps at the southwest corner of the building, the minimum landing width to the north of the ramp is 4 feet by 4 feet for wheelchairs to turn on a level surface, and this ramp does not look like it will meet this criteria. Any proposed on-site curb ramps need to have an accompanying detail showing maximum slope criteria and dimensions. Include details with the next submittal.

Response: Curb ramps in this location are requested by CFA.

20. Provide the queuing length for the drive-thru showing the total number of vehicles that the drive-thru facility can handle.

Response: See Revised Plan.

21. Please include two copies of the traffic circulation layout at the next submittal prior to approval.

Response: Provided.

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY



Troy D Kelts, P.E.
Project Manager