

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 24, 2024

Alex Forrester
Bowman Engineering
11475 Great Oaks Way
Alpharetta, GA 30022

Re: Chick-Fil-A
1600 Gibson Blvd. SE
Traffic Circulation Layout
Engineer's Stamp 05-23-24 (M15-D012C)

Dear Ms. Forrester,

The TCL submittal received 05-17-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

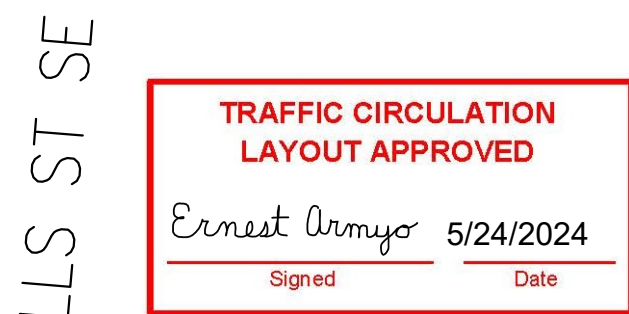
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.


















Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



LEGEND			
PROP. ASPHALT DRIVE		PROPERTY LINE	
PROP. CONC. PAVEMENT		EX. CONCRETE	
PROP. CURB		EX. CONCRETE CURB	
PROP. PARKING STRIPE		EX. SIGN	
PROP. SITE SIGNAGE		EX. LIGHT POLE	
PROP. DIRECTIONAL ARROW		EX. TREE	
PROP. PARKING COUNT		EX. ACCESSIBLE MARKING	
PROP. ORDER POINT		EX. BOLLARD	
		EX. DIRECTIONAL ARROW	

PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,526	5.6 SPACE PER 1,000 SF	26
CFA STANDARD PARKING PROVIDED			68
CFA ACCESSIBLE PARKING REQUIRED 3			
CFA ACCESSIBLE PARKING PROVIDED			3
MOTORCYCLE PARKING REQUIRED			2
MOTORCYCLE PARKING PROVIDED			2
BICYCLE PARKING REQUIRED			3
BICYCLE PARKING PROVIDED			3
PROPOSED TOTAL PARKING			71
EXISTING TOTAL PARKING			67
DRIVE-THROUGH STACKING REQUIRED			12
DRIVE-THROUGH STACKING PROVIDED			16

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-L (LOW INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	ABO181822 (CITY); 101505528944711715 (COUNTY)
LOT	
SIZE	66,888 SF (1.54 AC)
BUILDING	
SIZE	4,526
PARKING	
SIZE	9' X 20' (90') ; 9' X 22' (PARALLEL)

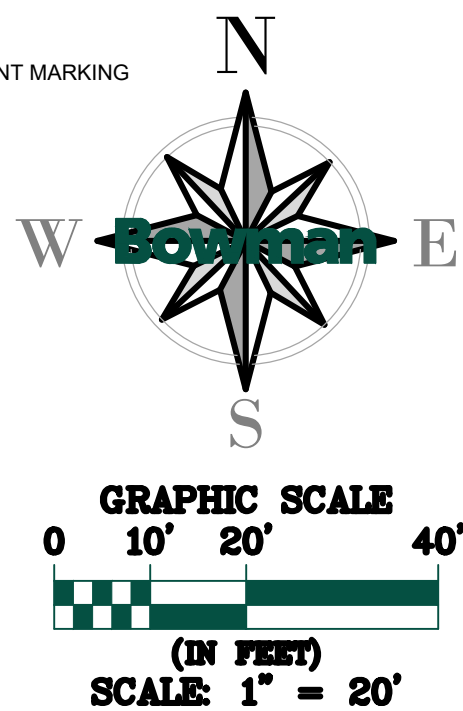
BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'	67.92'
REAR (NORTH)	N/A	44.67'
SIDE (WEST)	N/A	50.90'
SIDE (EAST)	25'	95.13'

EXISTING SITE CALCULATIONS			
EXISTING AREA	SF	ACRES	%
TOTAL AFFECTED AREA	66,888	1.54	100.00%
EXIST. OPEN SPACE AREA	19,108	0.44	28.57%
EXIST. Pervious Area	19,108	0.44	28.57%
EXIST. IMPERVIOUS AREA	47,780	1.10	71.43%
EXIST. BUILDING AREA	4,526	0.10	6.77%
EXIST. PAVEMENT AREA	43,169	0.99	64.54%
EXIST. VEHICULAR USE AREA	35,787	0.82	53.50%

PROPOSED SITE CALCULATIONS			
PROPOSED AREA	SF	ACRES	%
TOTAL AFFECTED AREA	66,888	1.54	100.00%
PROP. OPEN SPACE AREA	17,883	0.41	26.74%
PROP. Pervious AREA	17,883	0.41	26.74%
PROP. IMPERVIOUS AREA	49,005	1.13	73.26%
PROP. BUILDING AREA	4,526	0.10	6.77%
PROP. PAVEMENT AREA	44,394	1.02	66.37%
PROP. VEHICULAR USE AREA	36,883	0.85	55.14%

1	CONST. DIRECTIONAL ARROW (TYP.)
2	CONST. PAVEMENT MARKINGS GRAPHICS
2A	ONE WAY GRAPHICS
2B	DRIVE-THRU GRAPHICS
3	CONST. PARALLEL PARKING STALL (4" YELLOW STRIPING)
4	CONST. CURB
5	DIRECTIONAL SIGNAGE
5A	STOP SIGN
5B	BOLLARD MOUNTED ACCESSIBLE SIGN (NOT USED)
5C	CURBSIDE DELIVERY DESIGNATED SPACE (REMOVABLE SIGN) (NOT USED)
5D	NO LEFT TURN SIGN (NOT USED)
5E	ONE WAY SIGN (NOT USED)
5F	RIGHT TURN ONLY SIGN (NOT USED)
5G	PEDESTRIANS CROSSING SIGN
5H	DRIVE-THRU SIGN
5I	DO NOT ENTER SIGN

NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE PAVING SIDEWALK DETAIL.



Chick-fil-A
5200 Buffington Rd
Atlanta, GA 30349-
2998

Bowman

Certificate of Authorization License No. LSF001241
11475 Great Oaks Way Suite 350
Alpharetta, GA 30022
Phone: (678) 374-6687
www.bowman.com
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CHICK-FIL-A

GIBSON BLVD FSU

1600 GIBSON BLVD SE

ALBUQUERQUE, NEW MEXICO 87106

FSU#03486

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #010014-01-218

ISSUED FOR	PERMIT
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DATE **May 22, 2024**

DATE May 23, 2024

PREPARED BY

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SHEET

SITE PLAN

SITE PLAN

QUEST NUMBER

SHEET NUMBER 000000

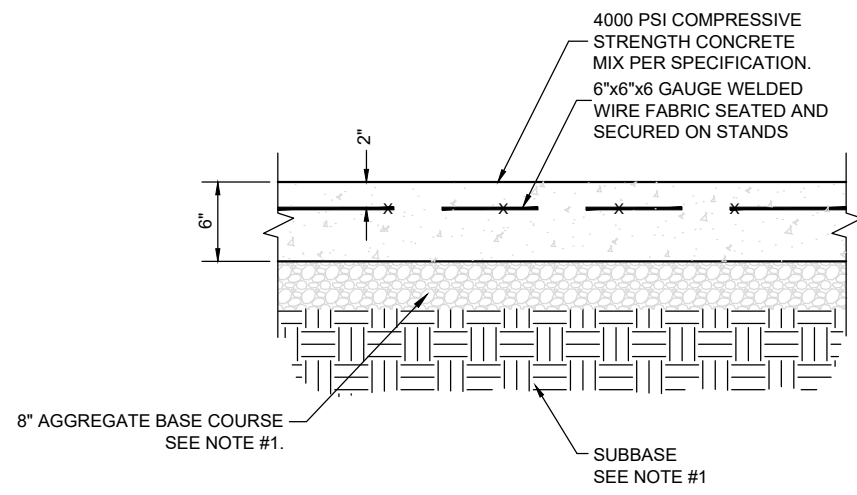
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C-2.0

May 23, 2024
File Path: Y:\010014 - Chick-fil-A\010014-01-218 (ENG) - CFA 02486 Gibson Blvd Albuquerque NM\Engineering\Engineering Plans\Sheet Set\010014-01-218 - C-4.0 STANDARD DETAILS.dwg
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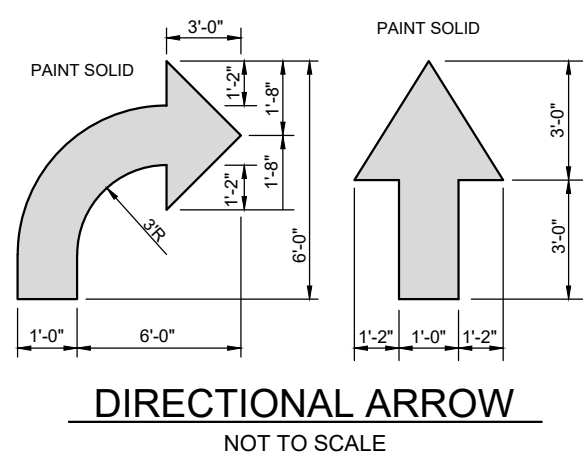
Know what's below.
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NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

26 CONCRETE PAVEMENT DRIVE-THRU LANE

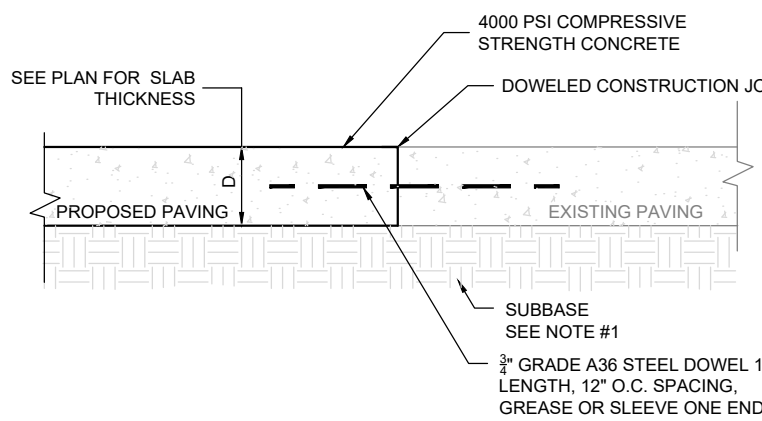
C2.0 NOT TO SCALE



NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38 OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER. IN WHICH CASE THESE CODES SHALL GOVERN.

1 PAVEMENT MARKINGS - 1

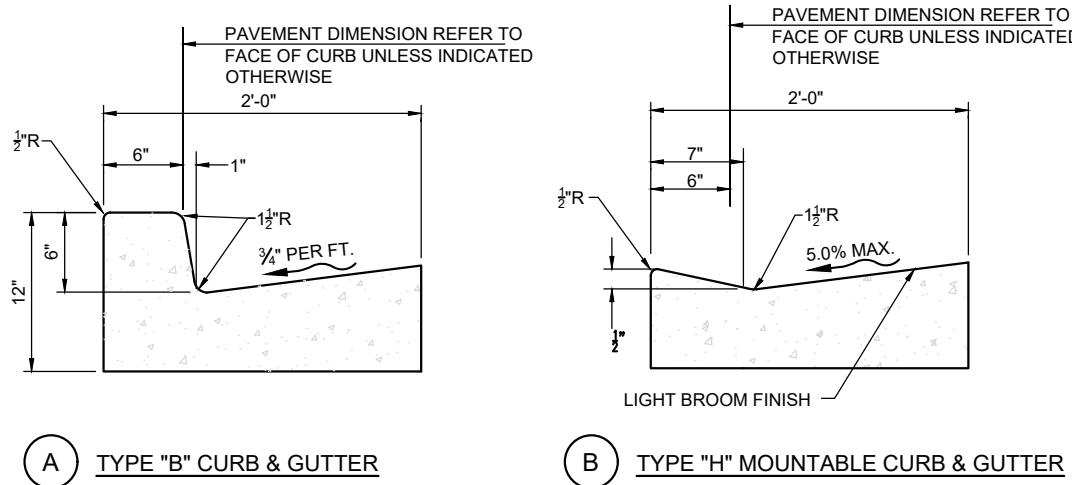
C2.0 NOT TO SCALE



NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

22 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT

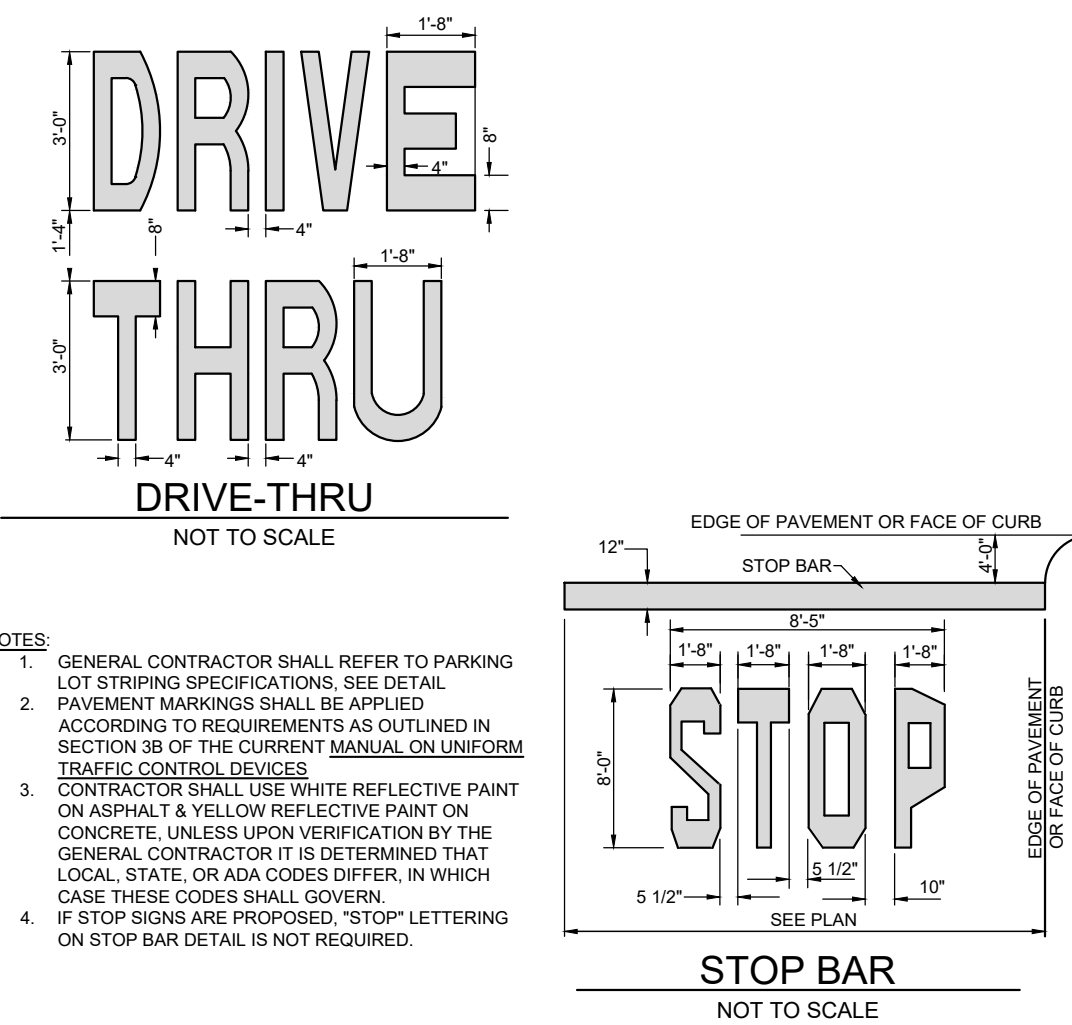
C2.0 NOT TO SCALE



NOTES:
1. CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS
2. CONTRACTION JOINTS @ 1'-0" O.C. TOOLED 1/2" (4 1/2" - 4) WIDE, 1" OR MAX. DIA DEPTH WHICHEVER IS GREATER
3. IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL
4. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE & LONGITUDINAL.

11 CONCRETE CURB & GUTTER

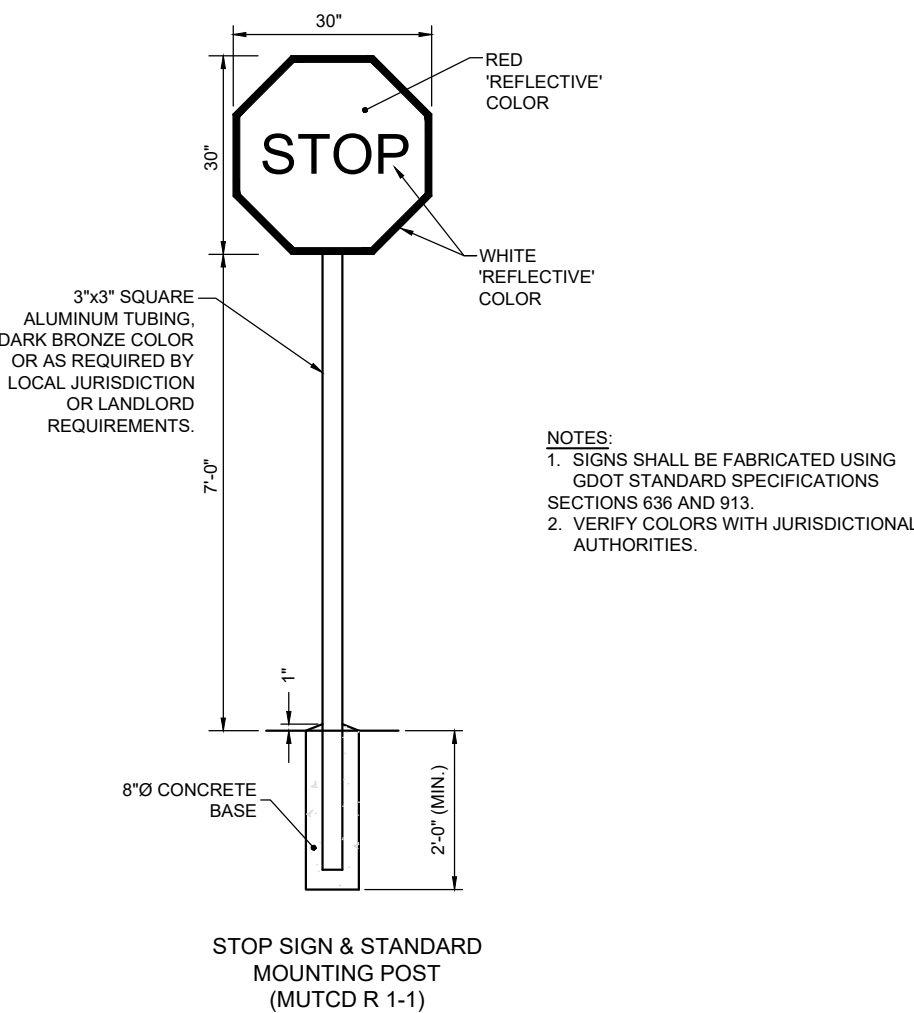
C2.0 NOT TO SCALE



NOTES:
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2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38 OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER. IN WHICH CASE THESE CODES SHALL GOVERN.
4. IF STOP SIGNS ARE PROPOSED, "STOP" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

2 PAVEMENT MARKINGS - 2

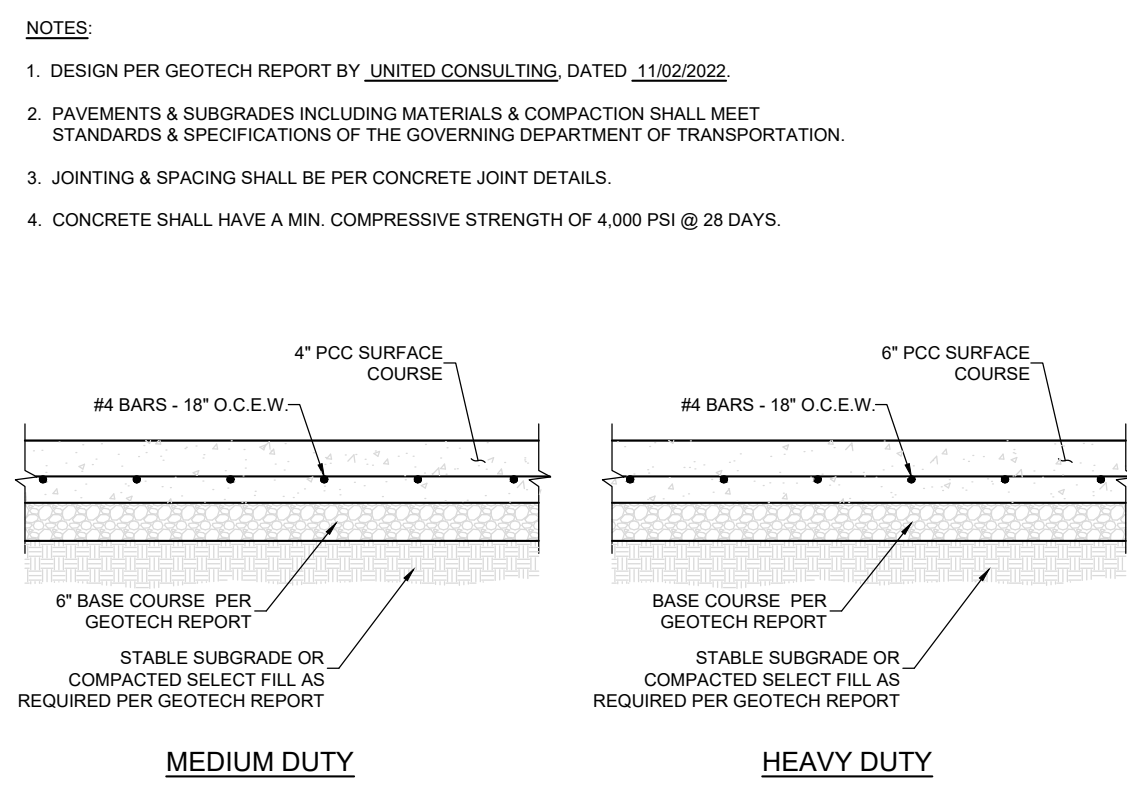
C2.0 NOT TO SCALE



NOTES:
1. SIGNS SHALL BE FABRICATED USING GDOT STANDARD SPECIFICATIONS SECTIONS 538 AND 913.
2. VERIFY COLORS WITH JURISDICTIONAL AUTHORITIES.

8 STOP SIGN

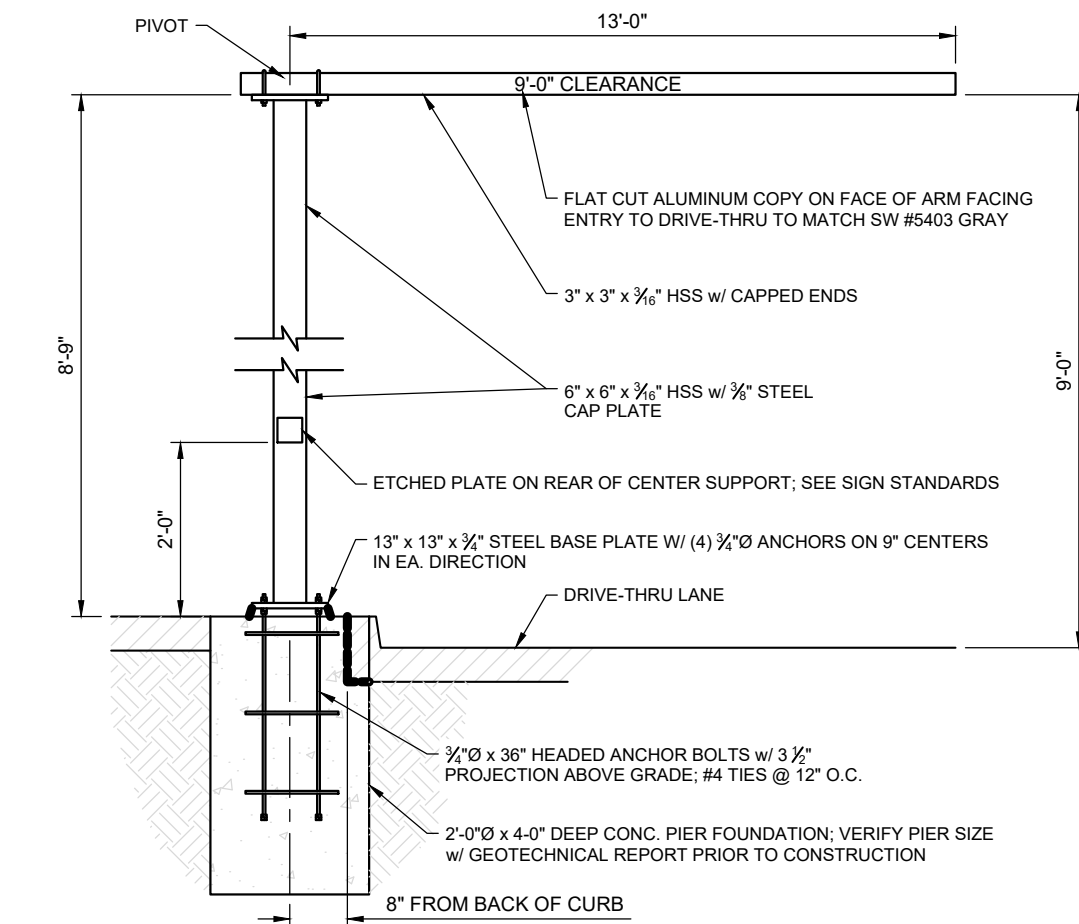
C2.0 NOT TO SCALE



NOTES:
1. DESIGN PER GEOTECH REPORT BY UNITED CONSULTING, DATED 11/02/2022
2. PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.
3. JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.
4. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.

12 CONCRETE PAVEMENTS

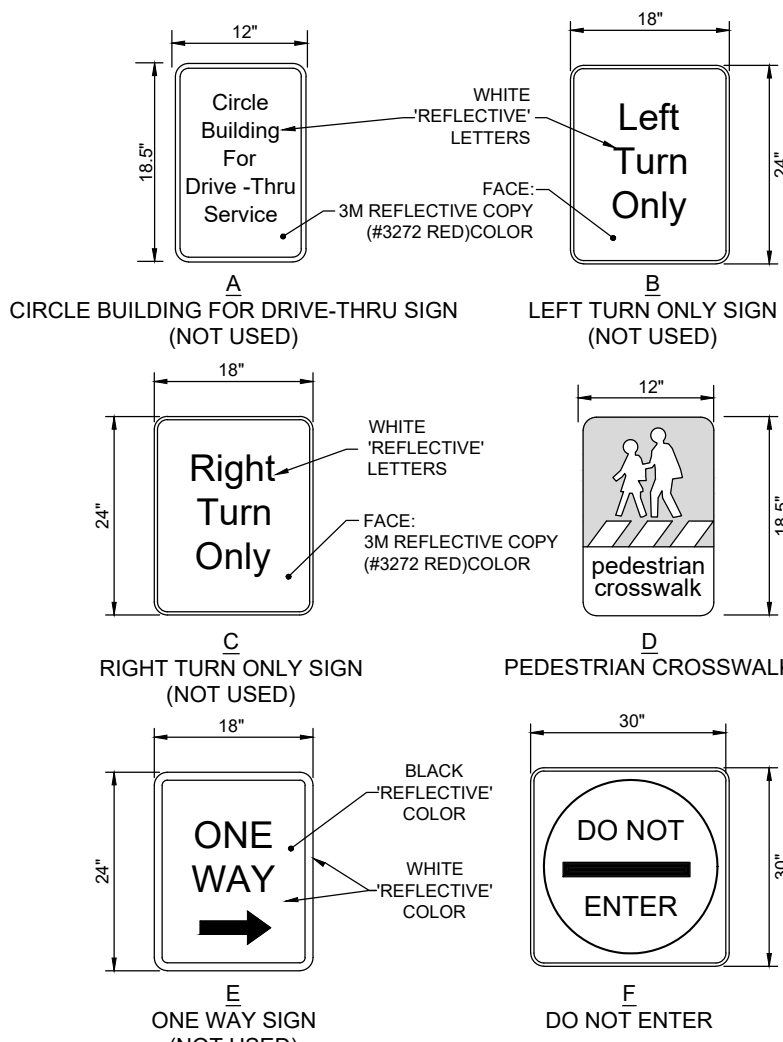
C4.0 NOT TO SCALE



NOTES:
1. ENTIRE CLEARANCE BAR & HARDWARE TO BE POWDER COATED OPC P-820 MATTE BLACK FINISH
2. CLEARANCE BAR ARM TO ROTATE WHEN STRUCK & RETURN TO ORIGINAL POSITION
3. COORDINATE W/ THE ARCHITECT & STRUCTURAL ENGINEER

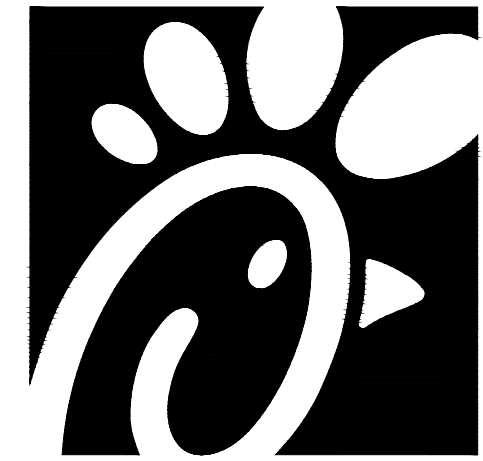
5 DRIVE-THRU CLEARANCE BAR

C2.0 NOT TO SCALE



7 DIRECTIONAL SIGNAGE

C2.0 NOT TO SCALE



Chick-fil-A
5200 Buffington Rd
Atlanta, GA 30349-2998

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Alpharetta, GA 30022
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CHICK-FIL-A

GIBSON BLVD FSU

1600 GIBSON BLVD SE

ALBUQUERQUE, NEW MEXICO 87106

FSU#03486

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-218
ISSUED FOR PERMIT
DATE May 23, 2024
DRAWN BY BCG

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SHEET

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DETAILS

SHEET NUMBER

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/ TRANSPORTATION DESIGN/

Section 7-4(J)(7) Entrance and Gate Requirements for Private Ways and Streets

1. All gated communities must include a turnaround for visitors at the gate so that the vehicle does not stand in or back into the City right-of-way.
2. Where a single gate is provided, the minimum width shall be 20 feet. For divided streets, the minimum width shall be 12 feet.
3. Additional entrance and gate requirements may be required by the Fire Marshal.

Part 7-4(K) Off-street Parking and Site Design

This section provides guidance on site design and off-street parking layout. The overall site design shall accommodate all modes of transportation including automobiles, pedestrians, bicyclists, and motorcyclists. To facilitate efficient parking operations, the designer shall also consider the interface of the site with adjacent development areas.

Section 7-4(K)(1) General Provisions

1. All sites and off-street parking areas shall be designed to comply with ADA/PROWAG standards.
2. The number of off-street, vehicle, bicycle and motorcycle parking spaces shall be provided as established in the [IDD Section 14-16-5-5 Parking and Loading](#).
3. Site design shall comply with design requirements and landscape buffers established by the [IDD Part 14-16-5 Dimensional Standards](#).
4. Parking and site layout shall be designed such that vehicles do not back into the City right-of-way, except single-family dwellings may back into local streets.

Section 7-4(K)(2) Bicycle Parking

Off-street bicycle parking location, layout and rack options vary widely. The following guidelines shall be considered when placing and designing bicycle parking areas and choosing rack options. Alternative rack design, placement, or installation methods not meeting the guidelines below may be considered and are reviewed on a case-by-case basis by the City Engineer.

1. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum of 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/hooster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the [IDD Section 14-16-5-8\(E\)](#) for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
2. Bicycle parking spaces shall be located in a well-lit area, visible from and, where feasible, located within 50 feet of the primary pedestrian entrance it serves. Bicycle rack placement shall meet the following placement requirements. (See [FIGURE 7.4.115](#) for direction on bicycle stall layout.)

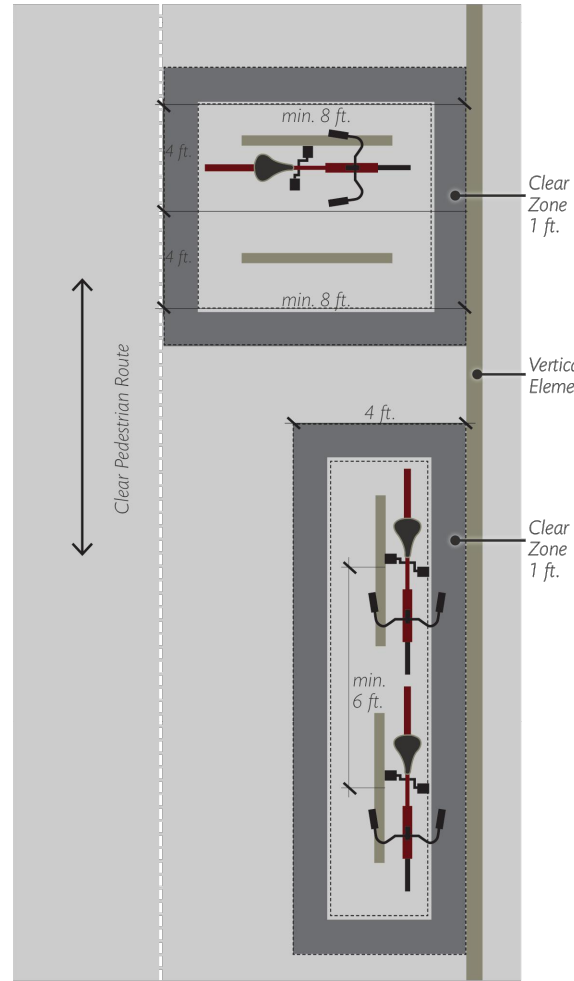
7-137 **dpm**

LAST PRINTED: SEPTEMBER 4, 2020

/ TRANSPORTATION DESIGN/

- a. Bicycle parking shall be separated from vehicle parking areas and driveways by a barrier, such as a curb, rail, or bollard, or be located to minimize the possibility of vehicles striking parked bicycles.
 - b. Bicycle racks shall be placed in a designated area and shall not infringe upon the width of the required clear pedestrian access route. (See [Part 7-4\(E\) Pedestrian Facilities](#).)
 - c. Bicycle racks shall not be placed directly in front of entrances or in locations that impede pedestrian flow.
3. Bicycle racks shall be sturdy and anchored to a concrete pad.
 4. A 1-foot clear zone around the bicycle parking stall shall be provided.
 5. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

FIGURE 7.4.115 Bicycle Parking Stall Layout Options

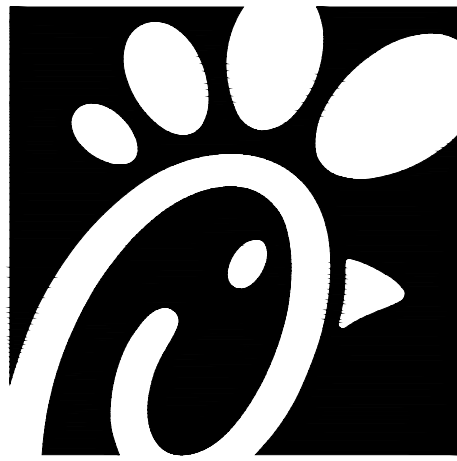
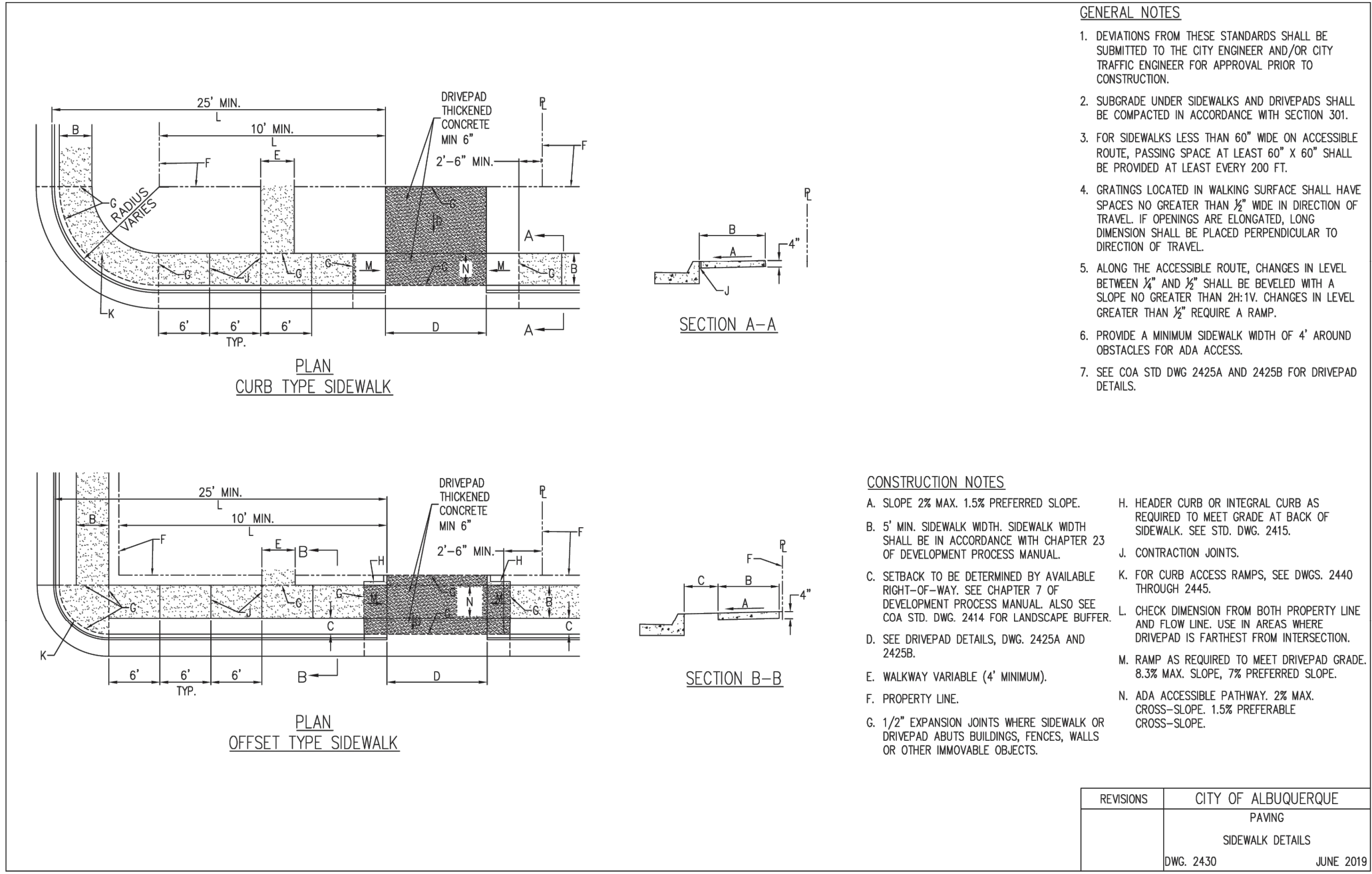


Section 7-4(K)(3) Motorcycle Parking

1. Motorcycle parking shall be a minimum of 4 feet wide and 8 feet long. (See [TABLE 7.4.77](#) and [FIGURE 7.4.116](#).)
2. Motorcycle parking spaces shall be located in a well-lit area that is visible from the primary building entrance on the site.

7-138 **dpm**

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Chick-fil-A
5200 Buffington Rd
Atlanta, GA 30349-2998

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11475 Great Oaks Way Suite 350
Alpharetta, GA 30022
Phone: (678) 374-6667
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CHICK-FIL-A

GIBSON BLVD FSU

1600 GIBSON BLVD SE

ALBUQUERQUE, NEW MEXICO 87106

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SHEET

CONSTRUCTION
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