

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



December 8, 2015

Troy Kelts, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd
Greenwood Village, CO 80015

**RE: Chick-fil-A at Gibson
1600 Gibson Blvd SE
Requested for 30 Day Temporary C. O. - Accepted
Engineers Stamp Date 7/29/15 (M15D012C)**

Dear Mr. Kelts,

Based on the certification provided in your submittal received 12/2/2015, the above referenced is approved for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

- The pond on the south side must be completed.
 - The drain in the dumpster must be cut at grade and a drain placed over it.
 - The 12" x 12" area drain on the NW corner must be cut and grate placed over it.
- An inspection by our office will need to take place after plan is provided.

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department
Development and Review Services

Sincerely,

TE/AC
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Gibson Building Permit #: _____ City Drainage #: M15D012C

DRB#: 1010060 EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikeler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Sandia Land Surveying Contact: Andrew Medina

Address: 15 Casa Terrenos, Placitas, NM 87043

Phone#: 505-867-1241 Fax#: 505-867-1405 E-mail: sandialand@comcast.net

Contractor: R & O Construction Contact: Lee Child

Address: 933 Wall Avenue, Ogden, Utah, 84404

Phone#: 801-627-1403 Fax#: 801-399-1480 E-mail: leec@randoco.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 12/2/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development




Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Tel: 303-751-0741
Fax: 303-751-2581
www.merrick.com

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

CHICK-FIL-A – 1600 GIBSON BLVD SE

I, Troy Kelts, NMPE 22102, OF THE FIRM Merrick & Company
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE
WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/29/15.
THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY
ANDREW MEDINA, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I
HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/1/15 AND HAVE DETERMINED BY VISUAL
INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND
IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED
IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY
TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT.
THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF
ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

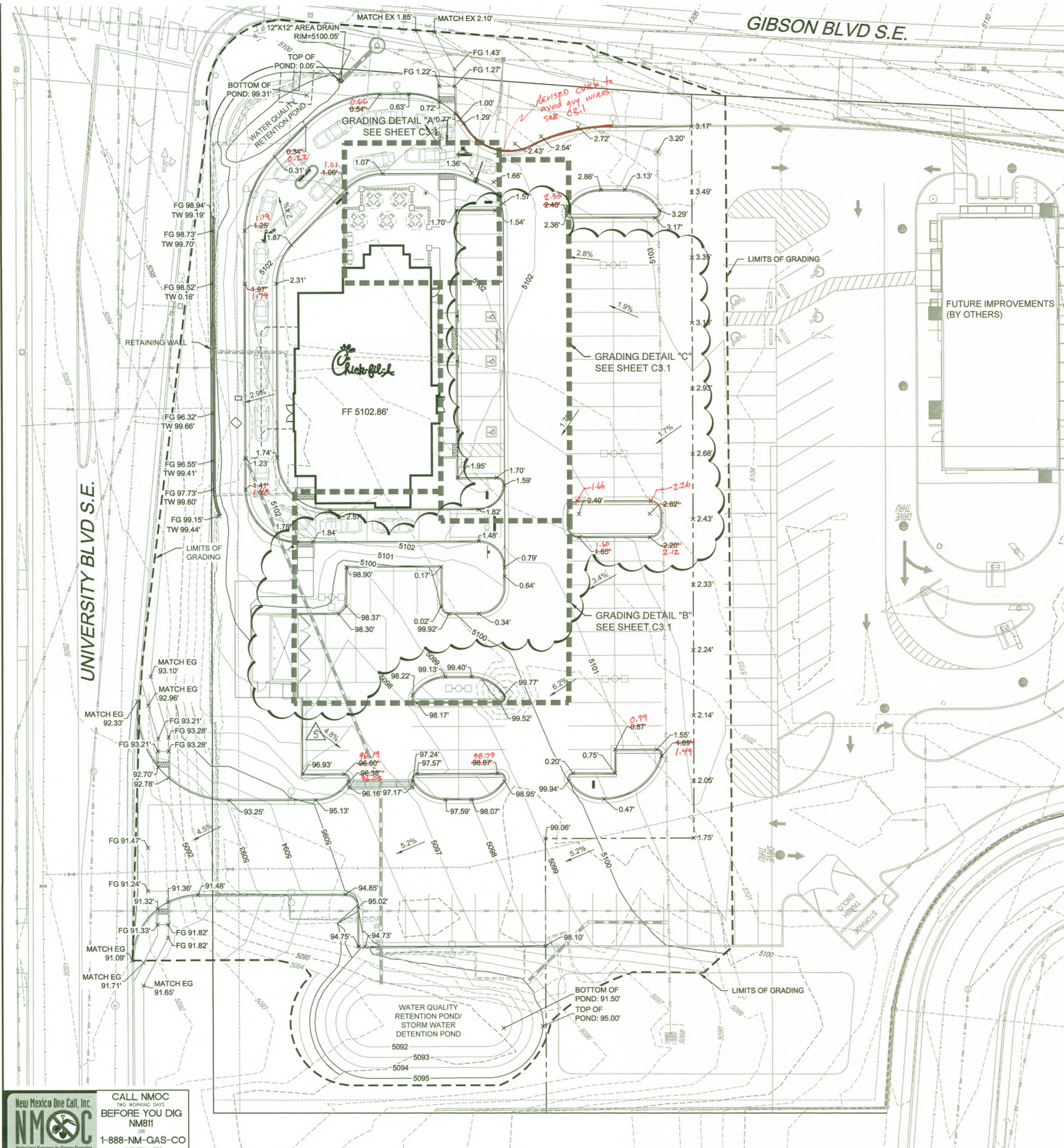


Signature of Engineer

ENGINEER'S STAMP

12/2/15
Date





LEGEND:

	PROPERTY LINE
	LIMITS OF GRADING
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	FLOWLINE SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION
	EXISTING GRADE SPOT ELEVATION
	EXISTING FLOWLINE SPOT ELEVATION
	PROPOSED SLOPE ARROWS
	EXISTING SLOPE ARROWS
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM LINE

NOTES:

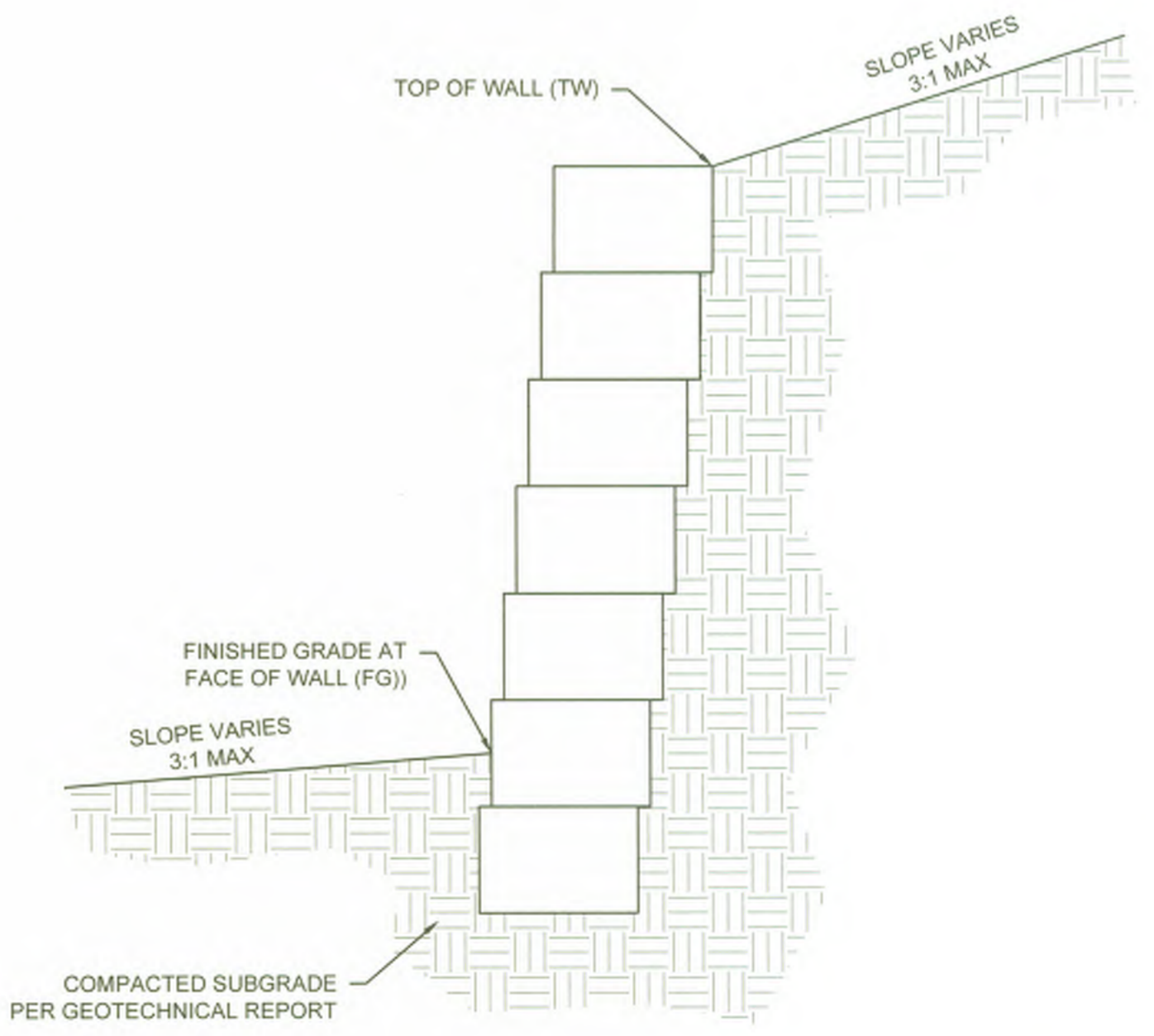
- ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
- ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
- ELEVATIONS ARE 50XX OR 51XX

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATE JULY 29TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW S. MEDINA, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 1ST, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

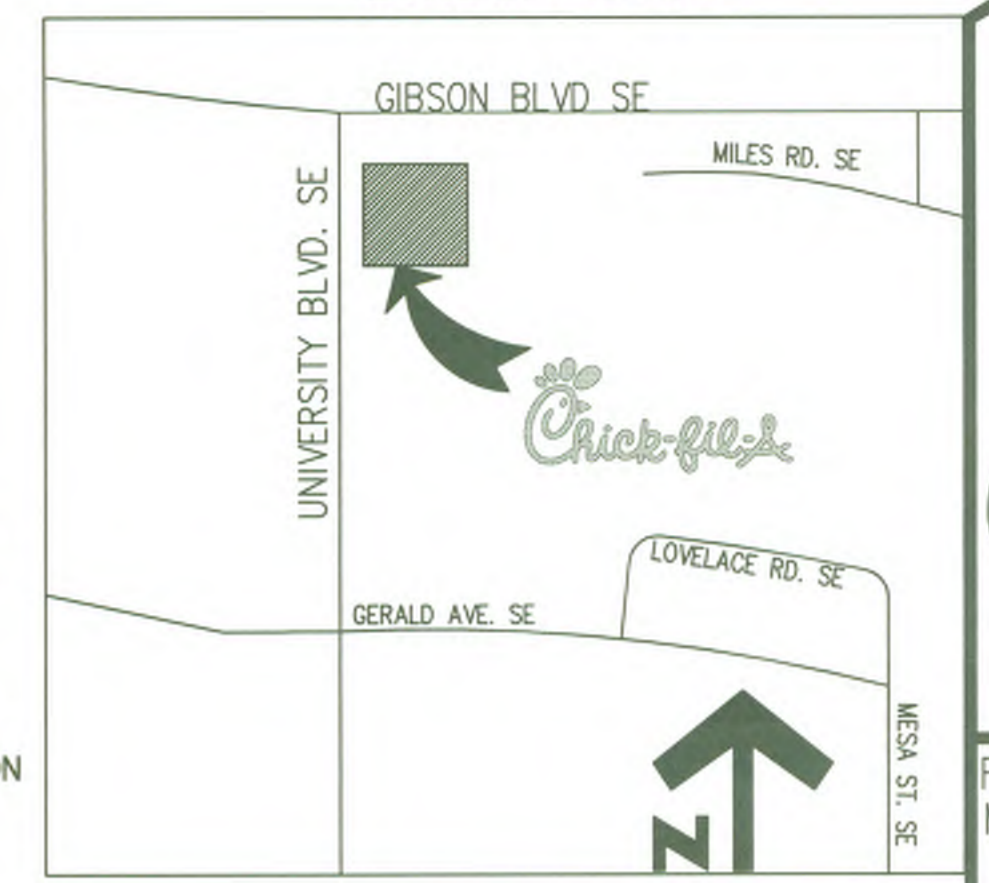
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

TROY D. KELTS #22102
DATE 12/2/15



GRAPHIC SCALE

ZONE MAP M-15-Z



1 VICINITY MAP

NOT TO SCALE

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
5	REV. 5 TRASH ENCLOSURE & ADA PARKING STALLS	

Seal

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC

1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE
GRADING PLAN

DWG EDITION

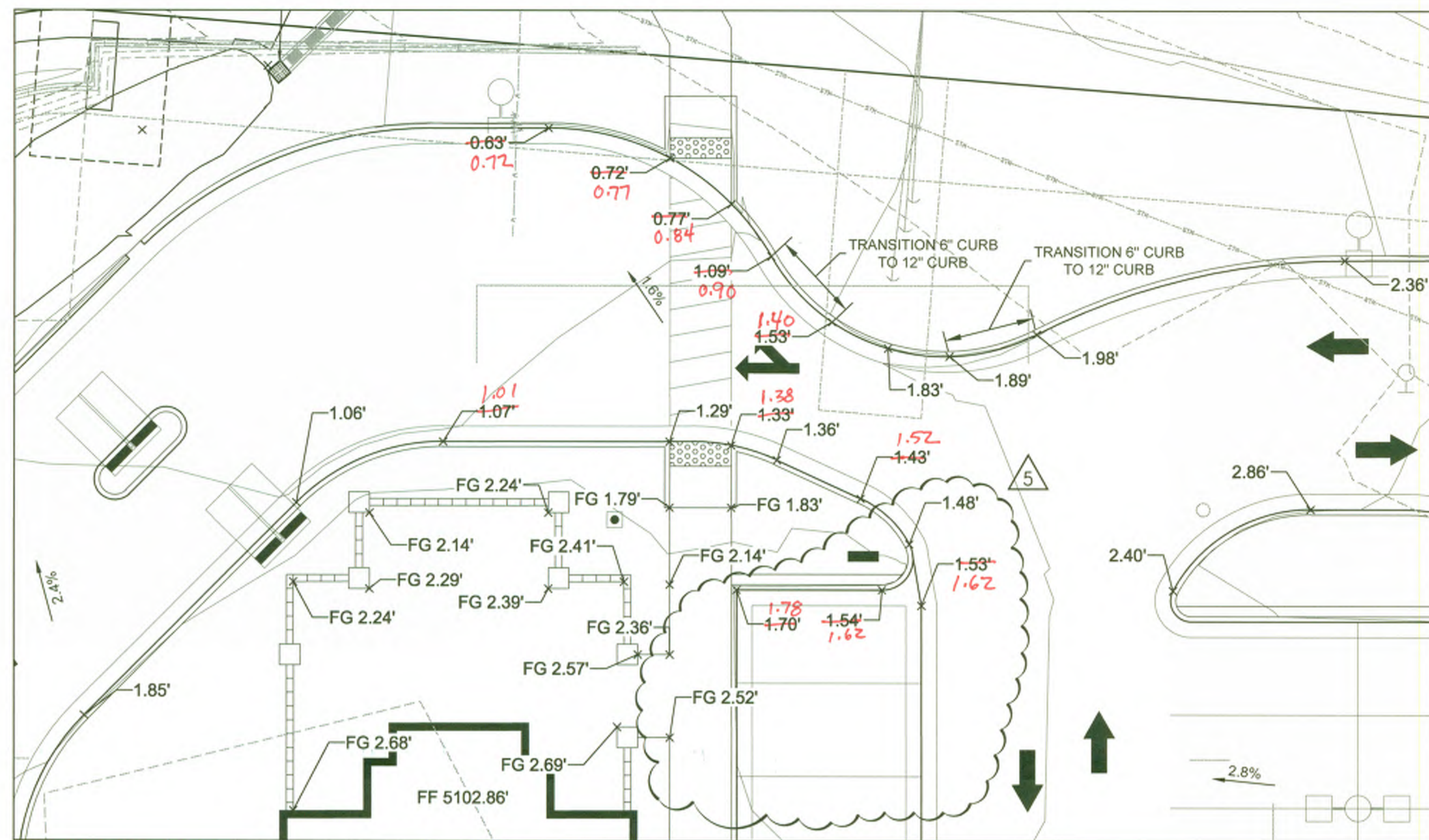
Job No. : 65118373
Store : 03486
Date : 03/31/15
Drawn By : TW
Checked By : TDK

Sheet
C-3.0

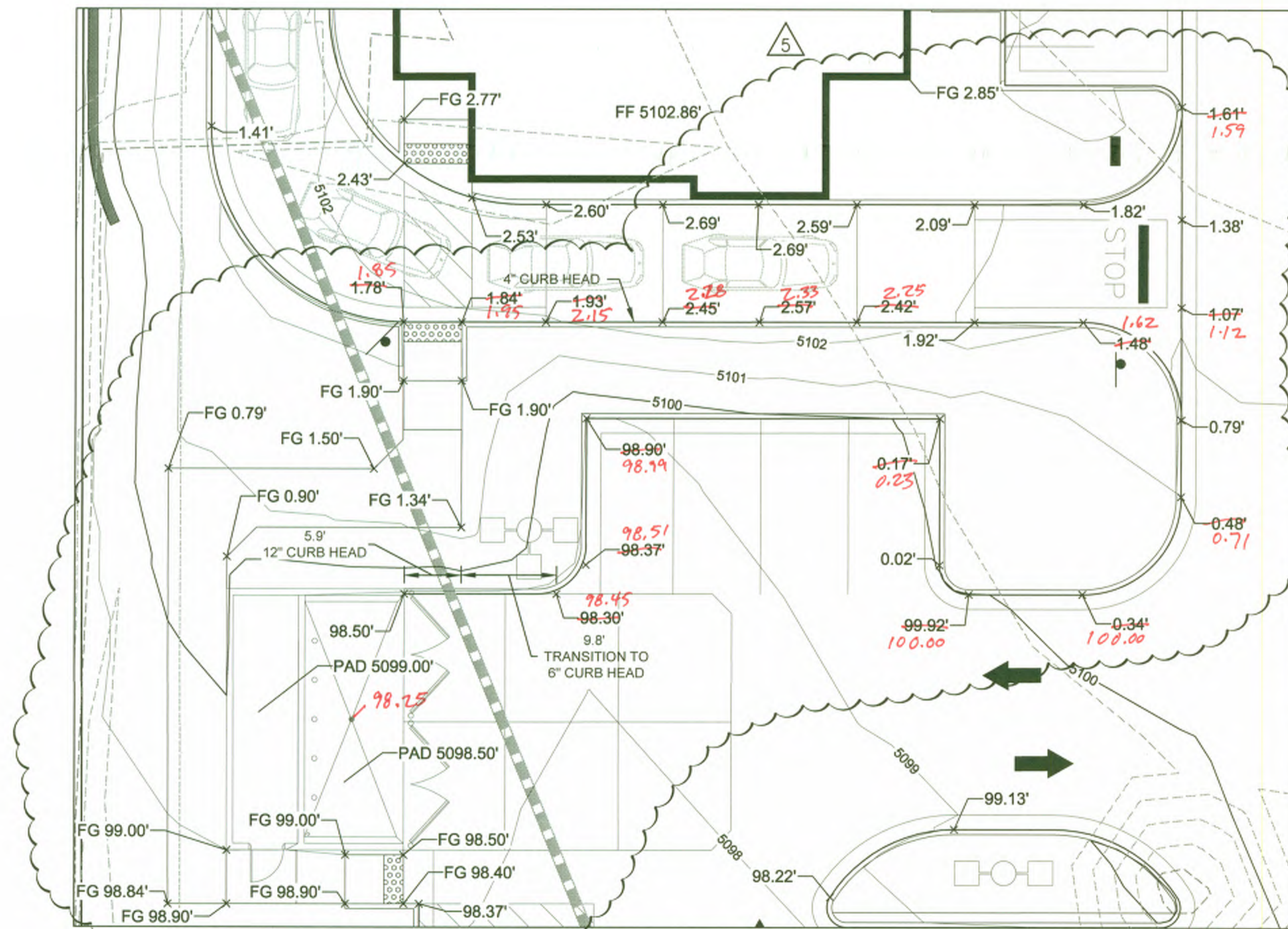
New Mexico One Call, Inc.

Professional Resources for Damage Prevention

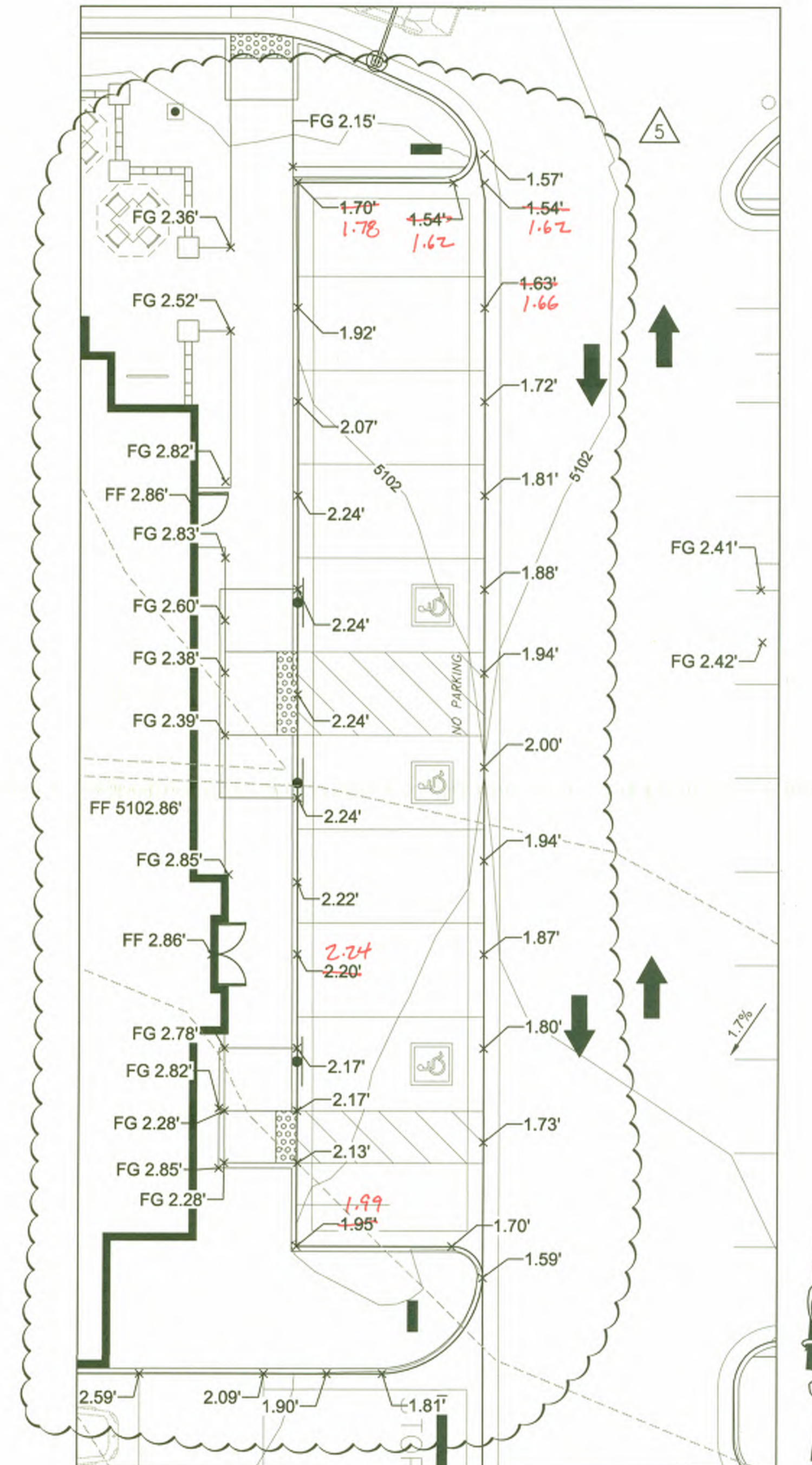
CALL NMOC
TWO WORKING DAYS
BEFORE YOU DIG
NM811
OR
1-888-NM-GAS-CO
NMONECALL.ORG



GRADING DETAIL "A"
SCALE 1" = 10'



GRADING DETAIL "B"
SCALE 1" = 10'



GRADING DETAIL "C"
SCALE 1" = 10'

LEGEND:	
---	PROPERTY LINE
---	LIMITS OF GRADING
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
69.41' x	FLOWLINE SPOT ELEVATION
FF 70.50' x	FINISHED FLOOR SPOT ELEVATION
FG 70.39' x	FINISHED GRADE SPOT ELEVATION
TC 70.50' x	TOP OF CURB SPOT ELEVATION
EG 69.57' x	EXISTING GRADE SPOT ELEVATION
EX FL 70.18' x	EXISTING FLOWLINE SPOT ELEVATION
1.1%	PROPOSED SLOPE ARROWS
EX 0.5%	EXISTING SLOPE ARROWS
(S)	PROPOSED STORM MANHOLE
(I)	PROPOSED STORM INLET
---	PROPOSED STORM LINE
---	EMERGENCY OVERFLOW PATHWAY

- NOTES
- ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
 - ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 - ELEVATIONS ARE 50XX OR 51XX



Chick-fil-A

5200 Buffington Rd.
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Revisions:
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Seal



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STORE
FSU 508H-A-WC

1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE

GRADING PLAN

DWG EDITION ---

Job No. :65118373

Store : 03486

Date :03/31/15

Drawn By : TW

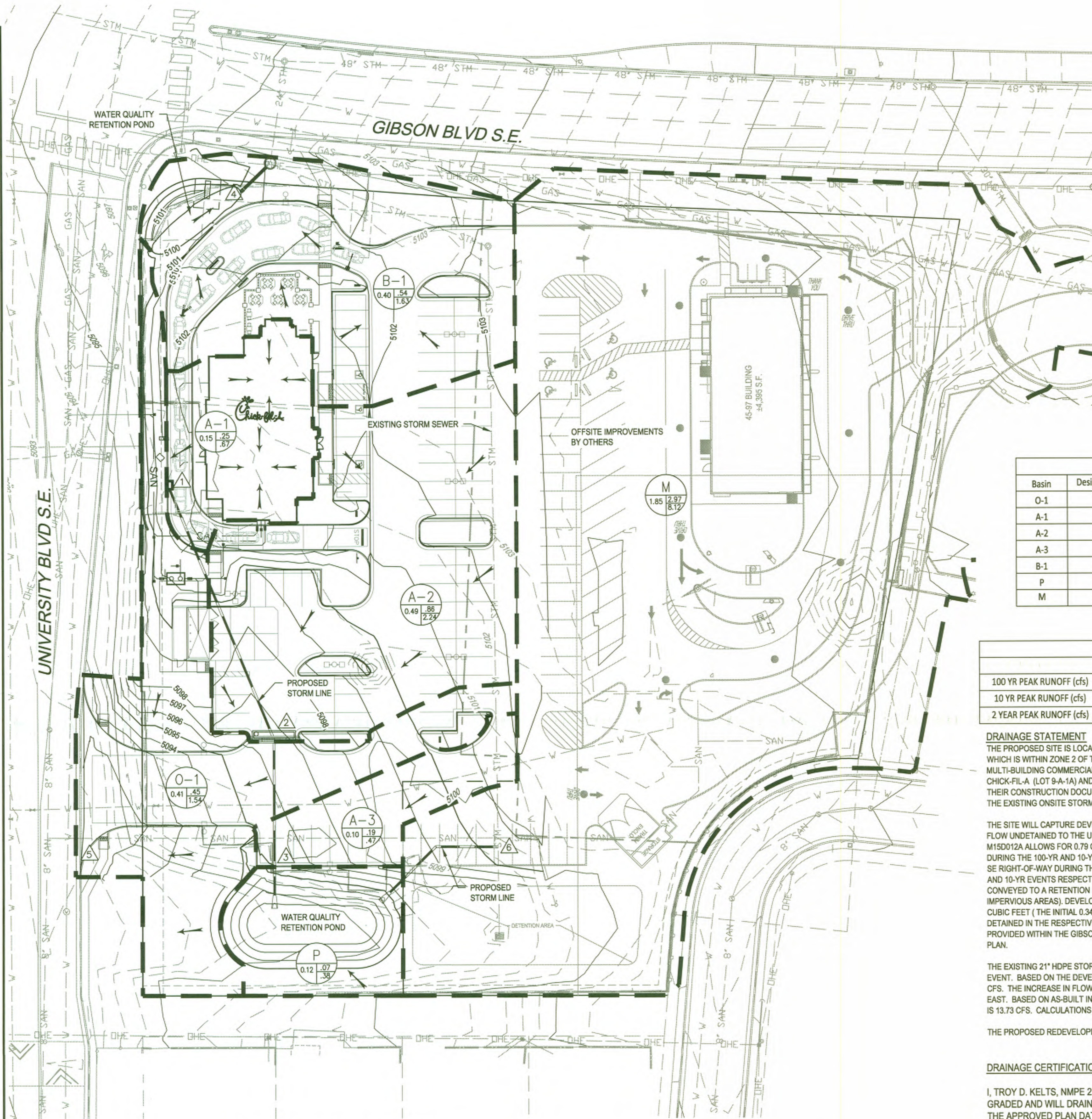
Checked By: TDK

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C-3.1



RECORD DOCUMENTS



LEGEND:

- PROPERTY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED FLOW ARROW
- EXISTING FLOW ARROW
- DRAINAGE BASIN BOUNDARY LINE
- DESIGN POINT
- PROPOSED STORM LINE
- PROPOSED STORM INLET
- PROPOSED ROOF DRAIN
- EXISTING TREE
- EXISTING STORM INLET
- EXISTING STORM
- EXISTING FENCE

- BASIN IDENTIFICATION
- 2-YEAR PEAK RUNOFF
- 100 YEAR PEAK RUNOFF
- BASIN AREA (ACRES)

Land Treatment (ac)					
Basin	Design Point	A	B	C	D
O-1	5	0	0	0.25	0.16
A-1	1	0	0	0.02	0.13
A-2	2	0	0	0.04	0.45
A-3	3	0	0	0	0.1
B-1	4	0	0	0.16	0.24
P	6	0	0	0.12	0
M	6	0	0	0.37	1.48

	BASIN						
	O-1	A-1	A-2	A-3	B-1	P	M
100 YR PEAK RUNOFF (cfs)	1.54	0.67	2.24	0.47	1.63	0.38	8.12
10 YR PEAK RUNOFF (cfs)	0.93	0.44	1.48	0.31	1.03	0.21	5.28
2 YEAR PEAK RUNOFF (cfs)	0.45	0.25	0.86	0.19	0.54	0.07	2.97

DRAINAGE STATEMENT
THE PROPOSED SITE IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF GIBSON BLVD SE AND UNIVERSITY BLVD SE, WHICH IS WITHIN ZONE 2 OF THE CITY OF ALBUQUERQUE'S PRECIPITATION ZONES. THE SITE WAS PREVIOUSLY DEVELOPED AS A MULTI-BUILDING COMMERCIAL CENTER (CITY DRAINAGE FILE M150012A). THE PROPOSED DEVELOPMENT WILL CONSIST OF A CHICK-FIL-A (LOT 9-A-1A) AND A FUTURE COMMERCIAL SITE (LOT 9-B-1A). LOT 9-B-1A WILL ADDRESS DEVELOPED RUNOFF AS PART OF THEIR CONSTRUCTION DOCUMENTS. DEVELOPED RUNOFF ESTIMATED FOR LOT 9-B-1A IS SOLELY FOR THE PURPOSE OF ANALYZING THE EXISTING ONSITE STORM SEWER.

THE SITE WILL CAPTURE DEVELOPED RUNOFF ON SITE LESS BASIN O-1 WHEN POSSIBLE. DEVELOPED RUNOFF FROM BASIN O-1 WILL FLOW UNDETAINED TO THE UNIVERSITY BLVD SE RIGHT-OF-WAY. THE GRADING AND DRAINAGE PLAN FROM THE CITY DRAINAGE FILE M150012A ALLOWS FOR 0.79 CFS AND 0.63 CFS TO ENTER THE UNIVERSITY BLVD SE RIGHT OF WAY FROM THE SITE UNDETAINED DURING THE 100-YR AND 10-YR EVENTS RESPECTIVELY. BASIN O-1 WILL DISCHARGE 1.53 CFS AND 0.93 CFS TO THE UNIVERSITY BLVD SE RIGHT-OF-WAY DURING THE 100-YR AND 10-YR EVENTS RESPECTIVELY. HOWEVER, ONLY 0.55 CFS AND 0.37 CFS DURING THE 100-YR AND 10-YR EVENTS RESPECTIVELY IS FROM IMPERVIOUS SURFACES. DEVELOPED RUNOFF FROM BASINS A-1, A-2, AND A-3 WILL BE CONVEYED TO A RETENTION POND THAT HAS BEEN SIZED TO RETAIN 1330 CUBIC FEET (THE INITIAL 0.34' OF RUNOFF FROM ALL IMPERVIOUS AREAS). DEVELOPED RUNOFF FROM BASIN B-1 WILL FLOW TO A RETENTION POND THAT HAS BEEN SIZED TO RETAIN 300 CUBIC FEET (THE INITIAL 0.34' OF RUNOFF FROM ALL IMPERVIOUS AREAS). DEVELOPED RUNOFF IN EXCESS OF THE INITIAL 0.34' WILL BE DETAINED IN THE RESPECTIVE POND AND CONVEYED BY PRIVATE STORM SEWER NORTH TO AN EXISTING STORM SEWER STUB PROVIDED WITHIN THE GIBSON BLVD SE RIGHT-OF-WAY. THIS IS IN GENERAL CONFORMANCE WITH THE PRIOR GRADING AND DRAINAGE PLAN.

THE EXISTING 21" HDPE STORM SEWER LOCATED ON SITE WAS ORIGINALLY DESIGNED TO CONVEY 12.73 CFS DURING THE 100 YR EVENT. BASED ON THE DEVELOPED RUNOFF FROM BASINS A-1 THRU A-3, B-1, P, AND M, THE 21" HDPE STORM WILL NOW CONVEY 13.51 CFS. THE INCREASE IN FLOW IS DUE TO THE ADDITIONAL WATER ENTERING THE SITE FROM THE ADJACENT DEVELOPMENT TO THE EAST. BASED ON AS-BUILT INFORMATION ON THE EXISTING 21" HDPE STORM SEWER, THE FULL FLOW CAPACITY OF THE STORM SEWER IS 13.73 CFS. CALCULATIONS FOR THE EXISTING STORM SEWER CAN BE FOUND ON THIS PLAN.

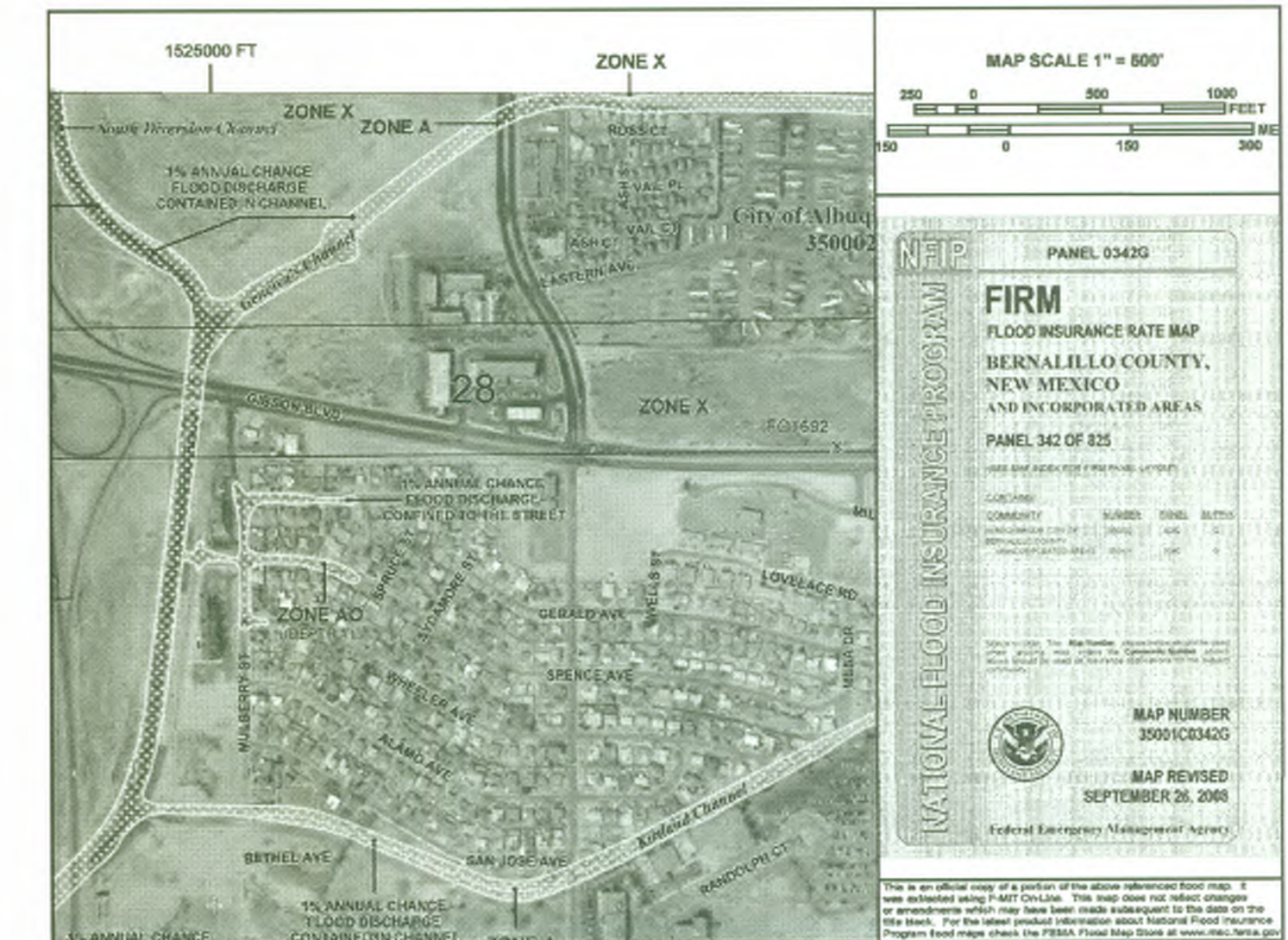
THE PROPOSED REDEVELOPMENT WILL REDUCE THE PERCENT IMPERVIOUSNESS TO 66.7%.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

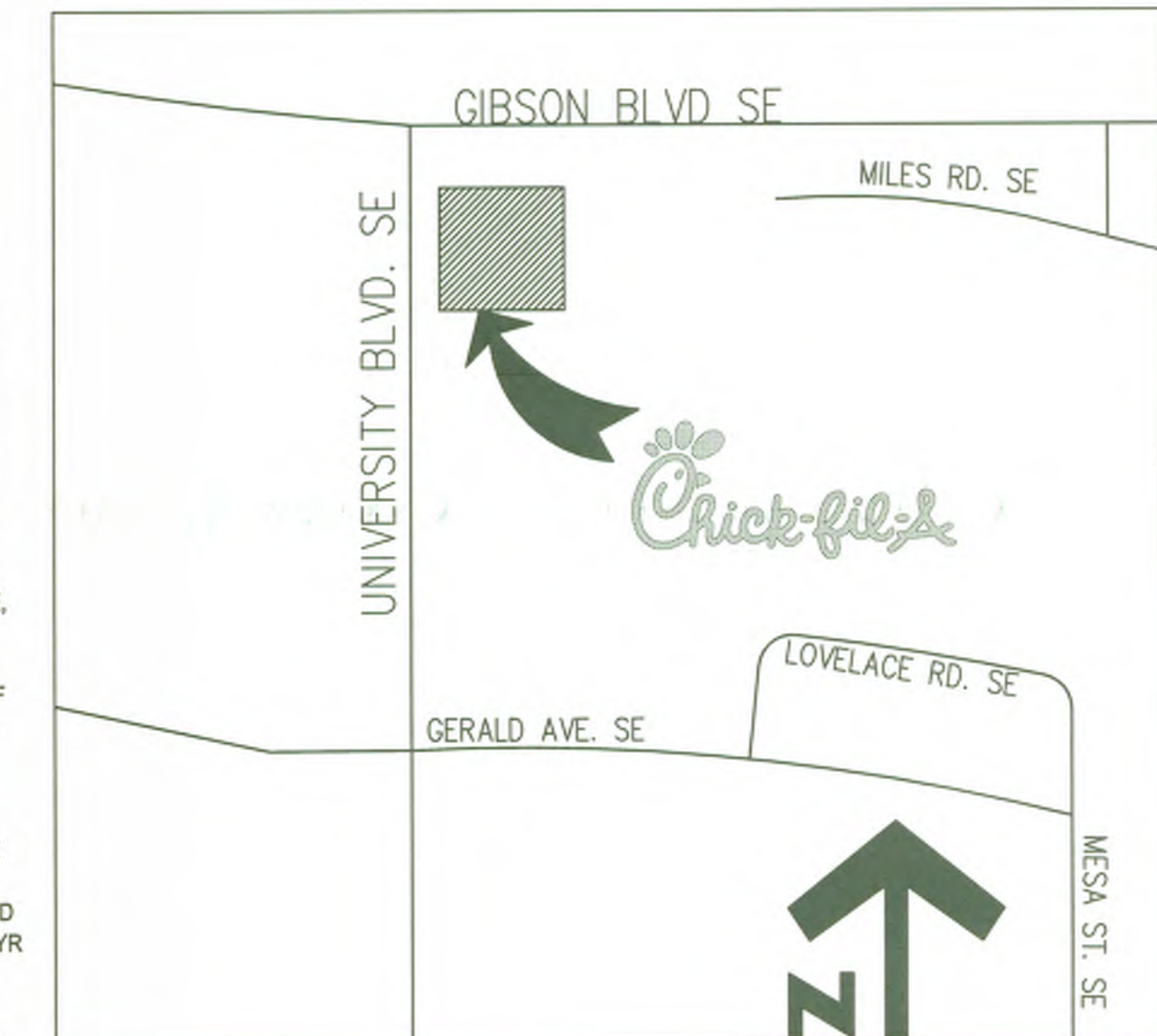
I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATE JULY 29TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW S. MEDINA, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 1ST, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

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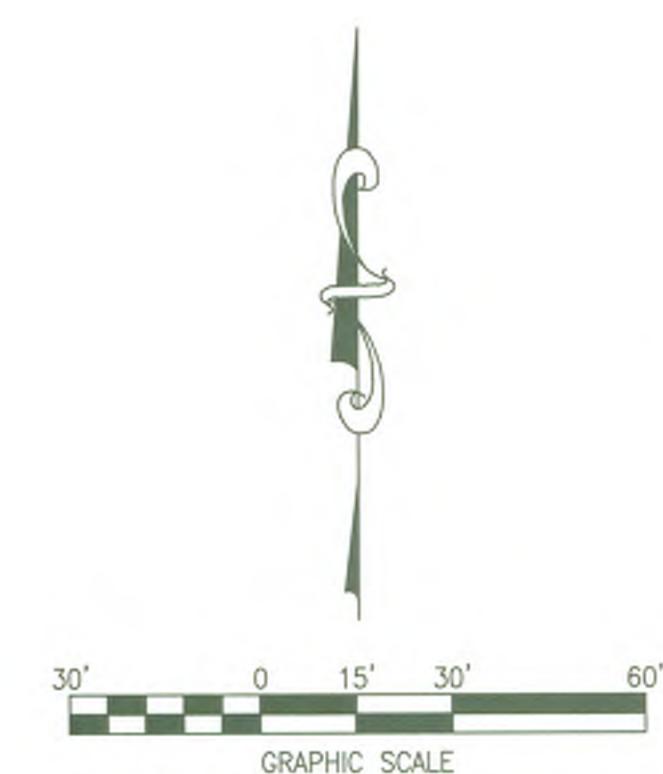
TROY D. KELTS #22102
12/2/15
DATE



1 FIRMETTE MAP



2 VICINITY MAP
NOT TO SCALE



EXISTING 21" HDPE CAPACITY CALCULATIONS

MANNING'S FORMULA (CALCULATED WITH BENTLEY FLOW MASTER V8)

INPUT DATA
MANNING'S ROUGHNESS COEFFICIENT: 0.012
PIPE SLOPE: 0.0064 FT/FT
NORMAL DEPTH: 1.75 FT
DIAMETER: 1.75 FT
DISCHARGE: 13.73 FT³/S

RESULTS
DISCHARGE: 13.73 FT³/S
NORMAL DEPTH: 1.75 FT
FLOW AREA: 2.41 FT²
WETTED PERIMETER: 5.50 FT
HYDRAULIC RADIUS: 0.44 FT
CRITICAL DEPTH: 1.38 FT
PERCENT FULL: 100%
CRITICAL SLOPE: 0.00691 FT/FT
VELOCITY: 5.71 FT/S
VELOCITY HEAD: 0.51 FT
SPECIFIC ENERGY: 2.26 FT

SHEET REFERENCES

- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION PLAN.
- REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
- REFER TO SHEET C-3.3 FOR STORM SEWER LOCATION AND CONNECTION PLAN.
- REFER TO SHEET C-3.4 FOR EROSION CONTROL PLAN.

BENCHMARK

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK 7-1.15', ELEVATION = 5164.135. (NAVD 1988)

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BERNALILLO, STATE OF NEW MEXICO AND IS DESCRIBED AS FOLLOWS:

LOTS NUMBERED NINE-A-1 (9-A-1) AND NINE-B-1 (9-B-1) IN BLOCK LETTERED A OF KIRTLAND ADDITION, UNIT 2, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 9-A-1 & 9-B-1 - BLOCK A, KIRTLAND ADDITION, UNIT 2, WITHIN SECTION 33, T. 10 N., R. 3 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO". FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 18, 2008, IN PLAT BOOK 2008C, PAGE 187.



RECORD DOCUMENTS



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark Date By
△ REV. 5 TRASH ENCLOSURE & ADA PARKING STALLS
Mark Date By
△

Mark Date By
△

Seal



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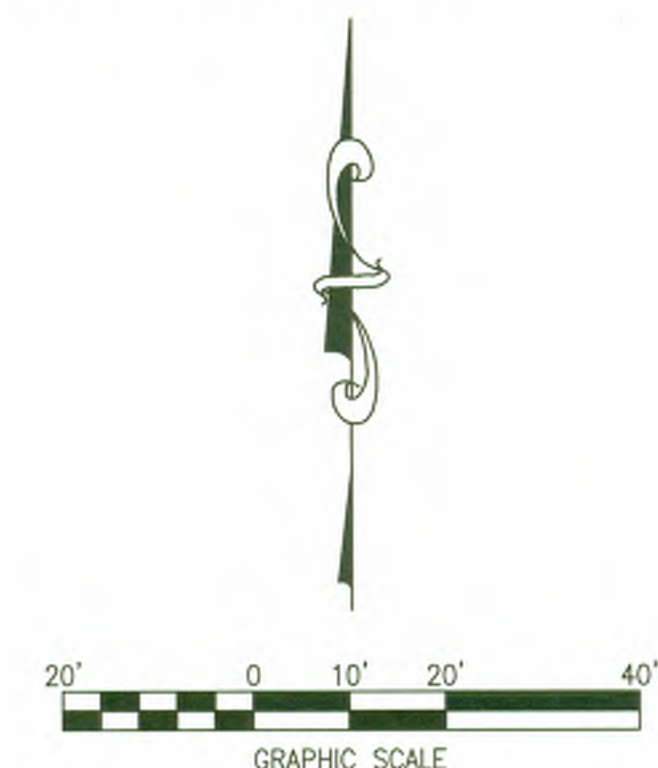
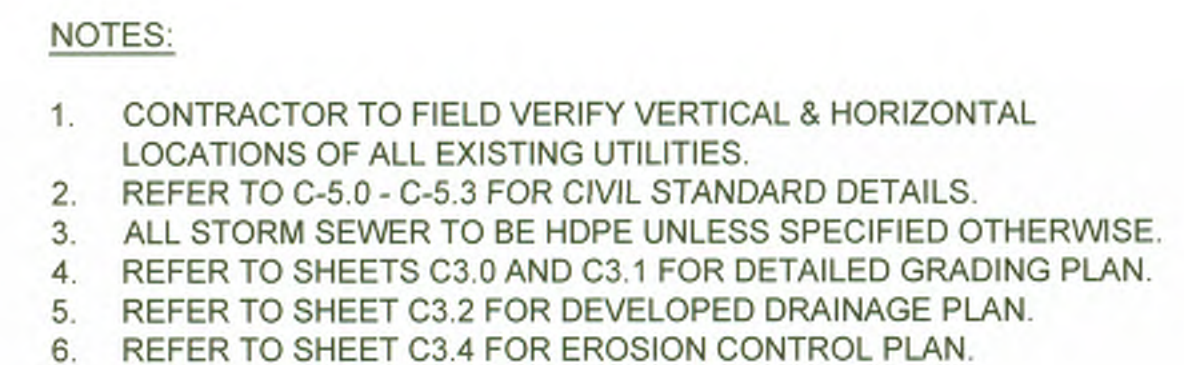
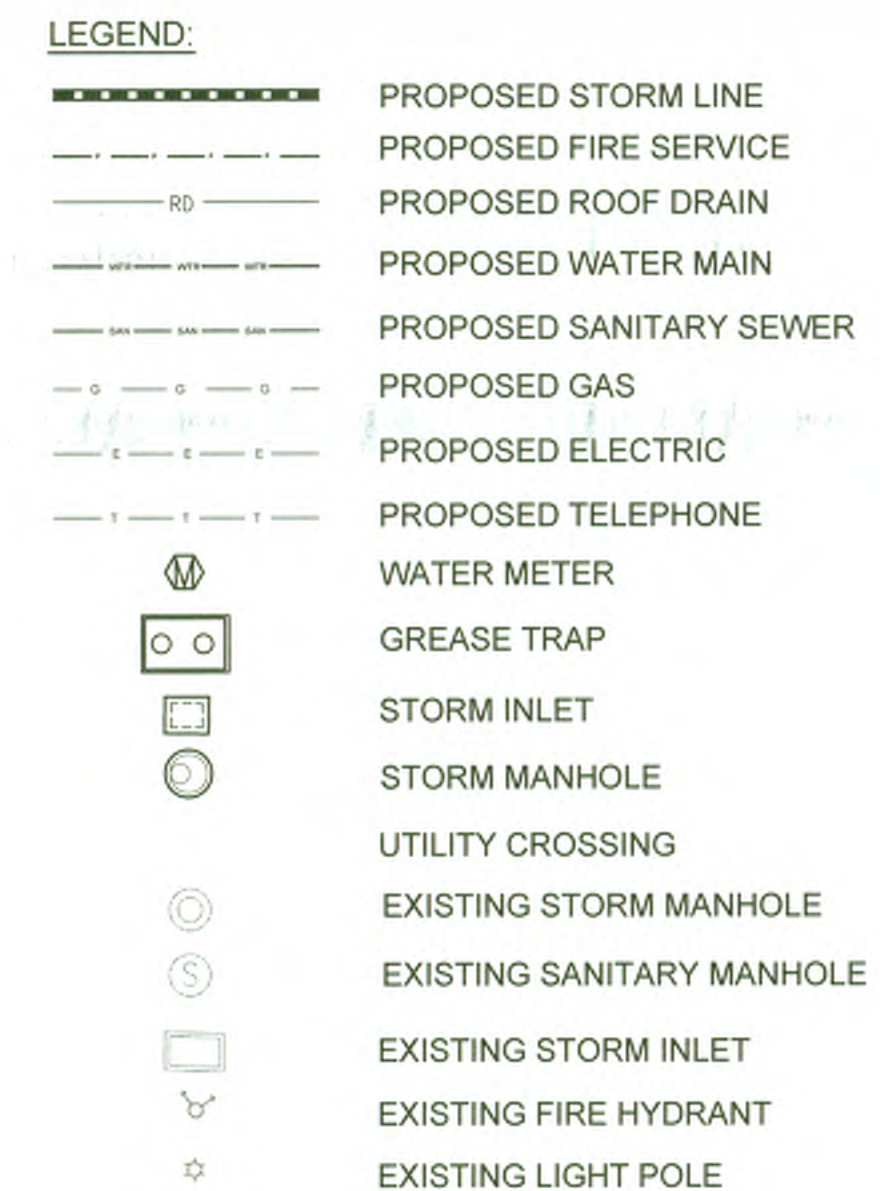
DEVELOPED
DRAINAGE PLAN

DWG EDITION ---

Job No. : 65118373
Store : 03486
Date : 03/31/15
Drawn By : TW
Checked By : TDK



Sheet


C-3.2



RECORD DOCUMENTS



Revisions:		
Mark	Date	By
	REV. 5 TRASH	
	ENCLOSURE &	
ADA PARKING STALLS		
Mark	Date	By
		

Mark Date By
 _____

Seal

**MERRICK®
& COMPANY**
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC

1600 GIBSON BLVD.
SE
ALBUQUERQUE, NM

SHEET TITLE

GRADING PLAN



DWG EDITION ---

Job No. : 65118373
Store : 03486
Date : 07/01/15
Drawn By : TW
Checked By: TDK

Sheet

C-3.0

1 VICINITY MAP
NOT TO SCALE

5470
 5469
 69.41' ×
 FF 70.50' ×
 FG 70.39' ×
 TG 70.50' ×
 EG 69.57' ×
 EX FL 70.18' ×
 1.1%
 EX 0.5%



1. ELEVATIONS SHOWN ARE FLOWLINE
UNLESS SPECIFIED OTHERWISE
2. ADA PARKING STALLS SHALL HAVE A
MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
3. ELEVATIONS ARE 50XX OR 51XX

SURVEYOR'S CERTIFICATE
I, Andrew S Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as-built" information shown on these drawings was added by me or under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design, concepts, calculations, engineering, or intent of the record drawings.

and that this
of my
f the de
recorde
deposi

ANDREW S. MEDINA
NEW MEXICO
12649
REGISTERED PROFESSIONAL SURVEYOR

Andrew S. Medino, NMPS 12649
 Date: 11-25-2015

SANDIA LAND SURVEYING LLC
15 CASA TERRENOS
PLACITAS, NM. 87043
505-259-8130

UNIVERSITY BLVD S.E.

GIBSON BLVD S.E.

[illegible]

TOP OF WALL (TW)

SLOPE VARIES 3:1 MAX

FINISHED GRADE AT FACE OF WALL (FG)

SLOPE VARIES 3:1 MAX

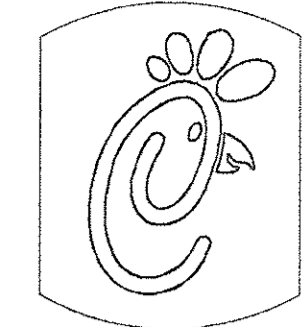
COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

Technical drawing of a retaining wall cross-section. The wall face is stepped, with six rectangular blocks stacked vertically. Behind the wall, horizontal layers of geotextile reinforcement are shown, each extending into the soil mass. The soil is represented by a pattern of horizontal and vertical lines. Labels with leader lines point to various features: 'TOP OF WALL (TW)' points to the top right corner of the wall; 'SLOPE VARIES 3:1 MAX' appears twice, once at the top right and once at the bottom left, indicating the maximum slope ratio; 'FINISHED GRADE AT FACE OF WALL (FG)' points to the horizontal line at the base of the wall face; and 'COMPACTED SUBGRADE PER GEOTECHNICAL REPORT' points to the bottom left corner of the wall base. A decorative vertical line with a scroll-like ornament is on the right side of the drawing.

20' 0 10' 20' 40'

GRAPHIC SCALE

New Mexico One Call, Inc.
NMOC
 Professional Resources for Damage Prevention
 CALL NMOC
 TWO WORKING DAYS
BEFORE YOU DIG
 NM811
 OR
1-888-NM-GAS-CO
 NMOCNOCALL.ORG



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:	Mark	Date	By
5	REV. 5 TRASH ENCLOSURE & ADA PARKING STALLS		
6	REVISED CURB & GUTTER TO AVOID GUY WIRE		

Seal
7/28/15

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
FSU S08H-A-WC
1600 GIBSON BLVD.
SE ALBUQUERQUE, NM

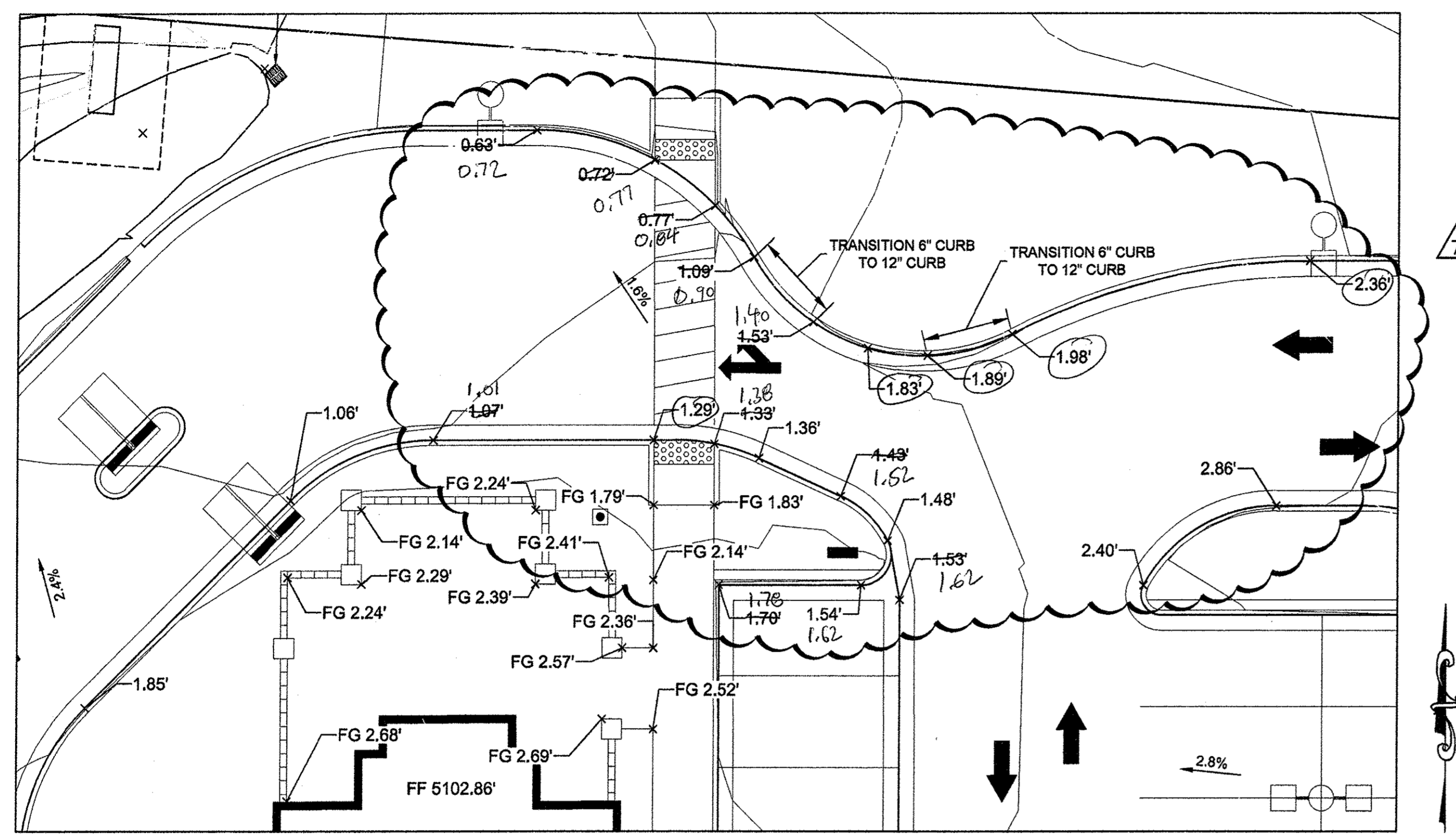
SHEET TITLE
GRADING PLAN

DWG EDITION

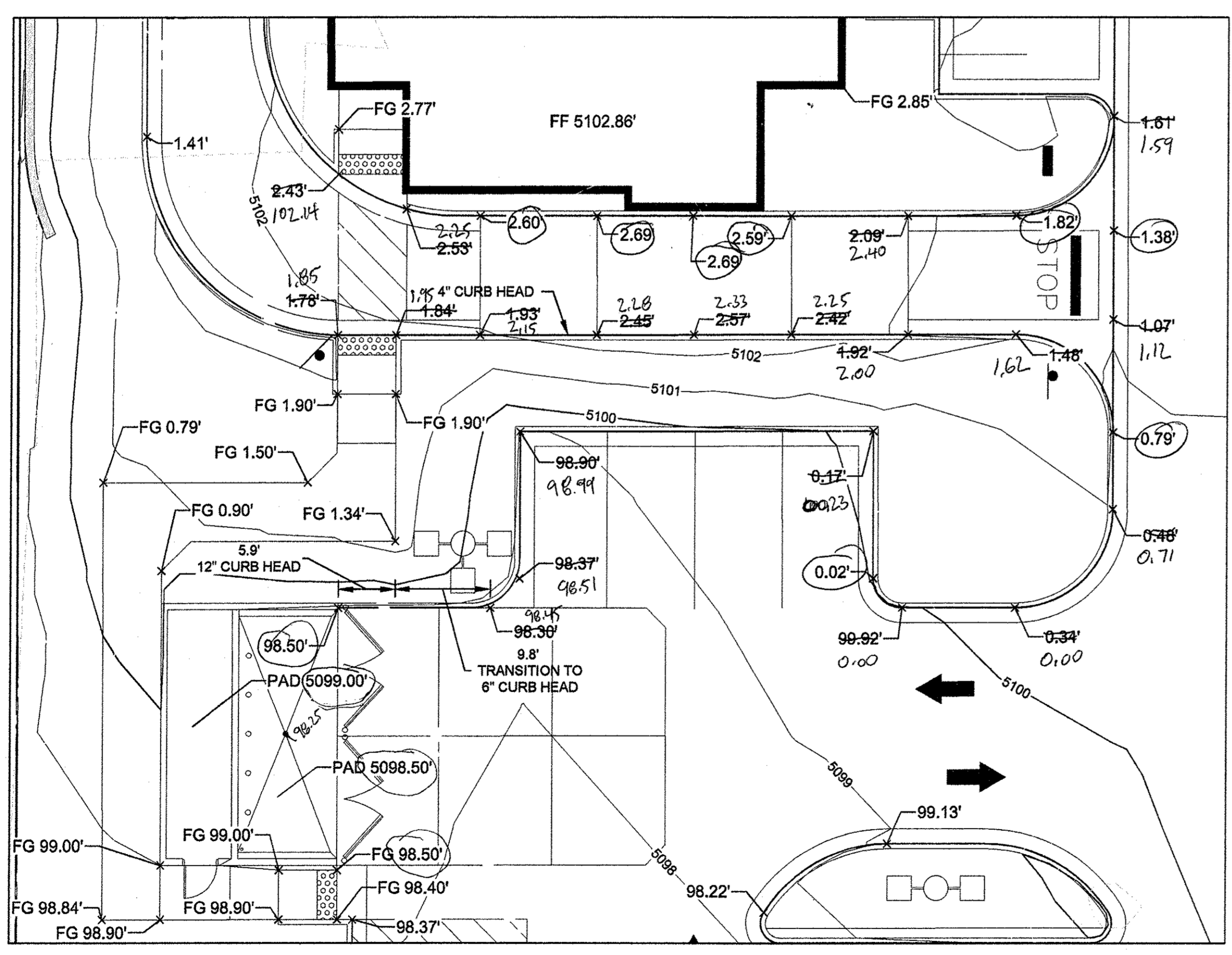
Job No. : 65118373
Store : 03486
Date : 07/01/15
Drawn By : TW
Checked By: IDK

Sheet

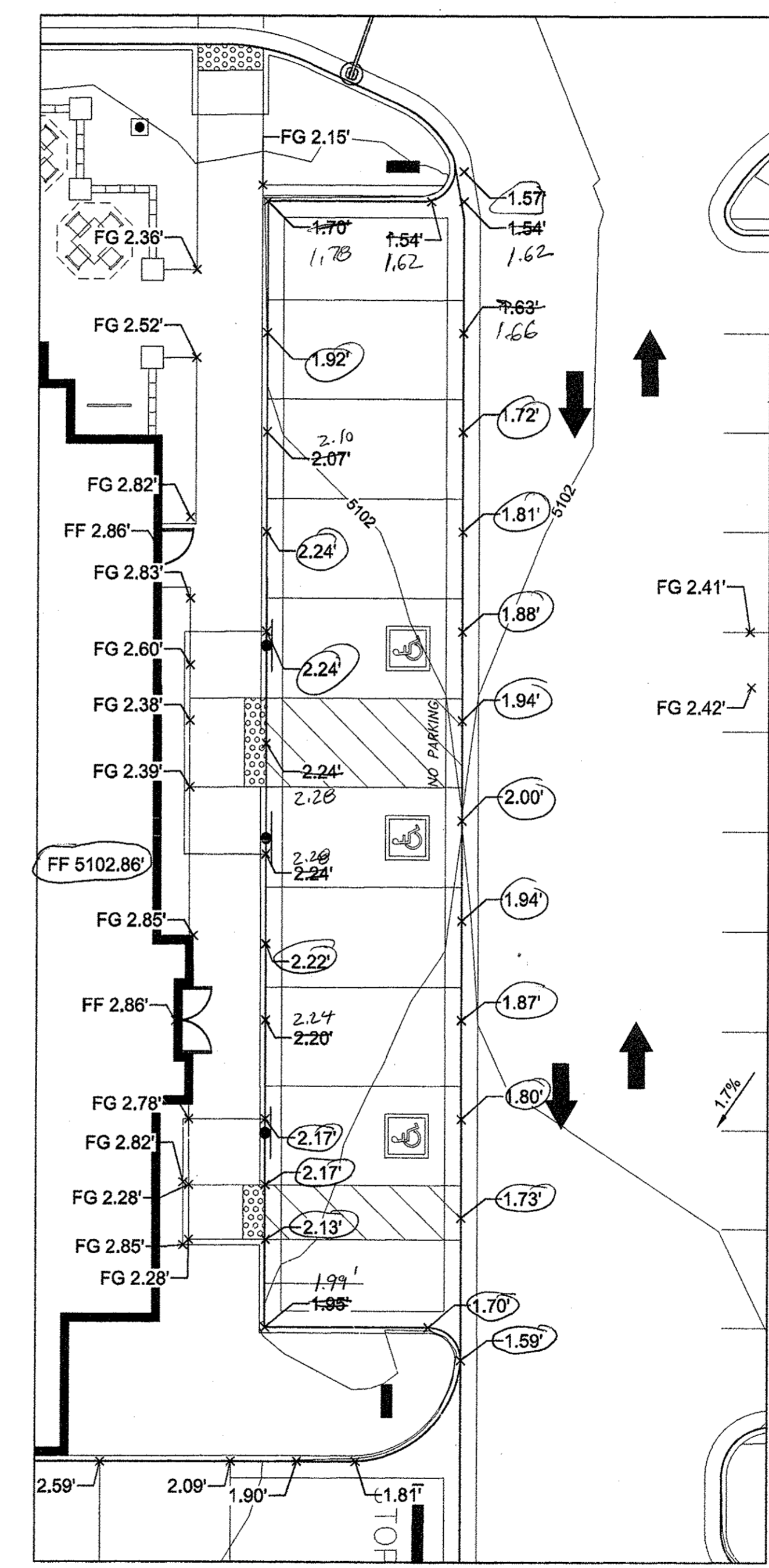
C-3.1



GRADING DETAIL "A"
SCALE 1" = 10'



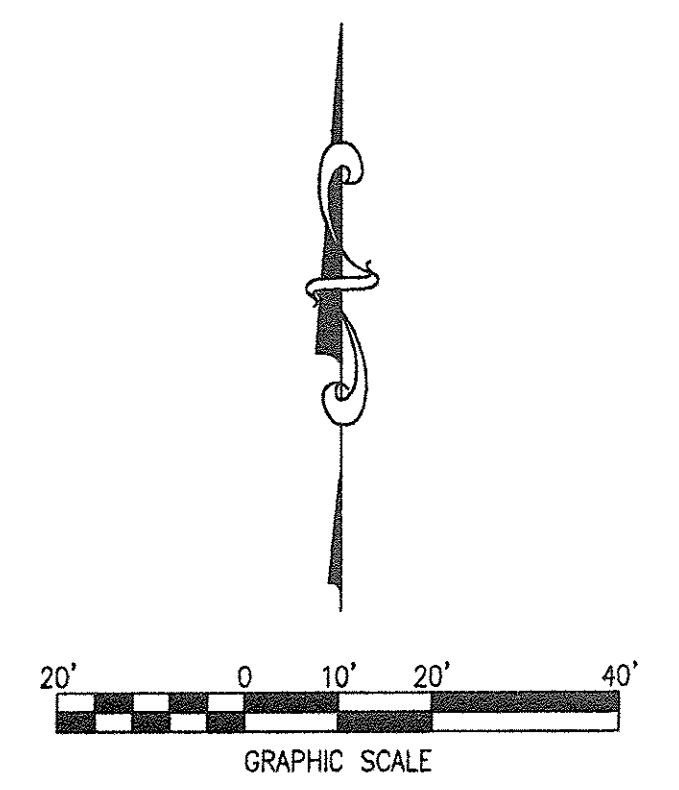
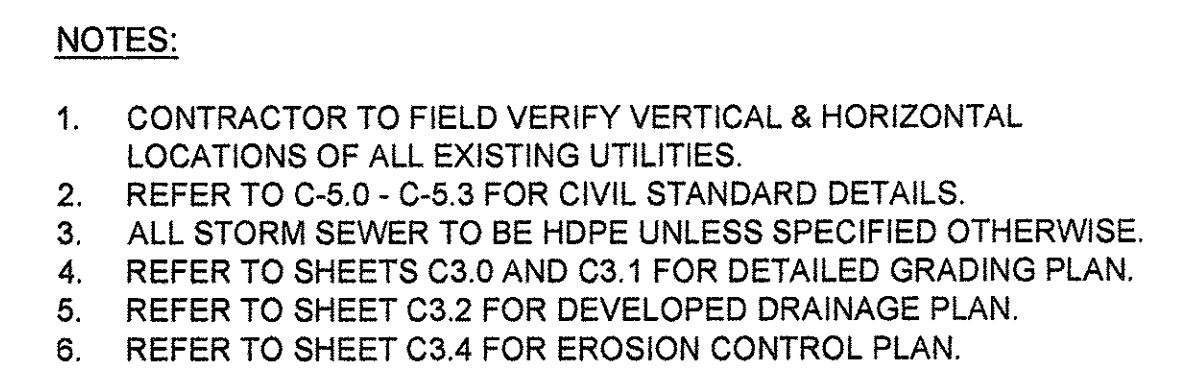
GRADING DETAIL "B"
SCALE 1" = 10'






GRADING DETAIL "C"
SCALE 1" = 10'

LEGEND:	
---	PROPERTY LINE
---	LIMITS OF GRADING
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	FLOWLINE SPOT ELEVATION
---	FINISHED FLOOR SPOT ELEVATION
---	FINISHED GRADE SPOT ELEVATION
---	TOP OF CURB SPOT ELEVATION
---	EXISTING GRADE SPOT ELEVATION
---	EXISTING FLOWLINE SPOT ELEVATION
---	PROPOSED SLOPE ARROWS
---	EXISTING SLOPE ARROWS
---	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM LINE
---	EMERGENCY OVERFLOW PATHWAY

- NOTES
- ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
 - ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 - ELEVATIONS ARE 50XX OR 51XX



 5200 Buffington Rd. Atlanta, Georgia 30349-2998		
Revisions: Mark Date By		
△		
Mark Date By		
△		
Mark Date By		
△		
Seal		
 <small>04/27/15</small>		
<div style="display: flex; flex-direction: column; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: 2em;">MERRICK® & COMPANY</div> <div style="display: flex; gap: 10px;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-size: 0.8em;">5970 GREENWOOD PLAZA BLVD GREENWOOD VILLAGE, CO 80111 303-751-0741</div> <div style="display: flex; flex-direction: column; align-items: center;">  </div> </div> </div>		
STORE FSU S08H-A-WC		
1600 GIBSON BLVD. SE ALBUQUERQUE, NM		
SHEET TITLE <div style="text-align: center; font-weight: bold; font-size: 1.2em; margin-top: 10px;">STORM PLAN & PROFILE</div>		
DWG EDITION ---		
Job No. : 65118373 Store : 03486 Date : 03/31/15 Drawn By : <u> TW </u> Checked By: <u> TDK </u>		
Sheet		
<div style="font-size: 3em; font-weight: bold;">C-3.3</div>		