



**Planning Department
Transportation Development Services**

May 19, 2015

Jeff Wooten, P.E.
3708 Saint Andrews SE
Rio Rancho, NM 87124

Re: SEC Cross Access Driveway, 1600 Gibson Blvd. SE
Traffic Circulation Layout
Engineer's Plan Stamp Dated 5-14-15 (M15-D012D)

Dear Mr. Wooten,

The TCL submittal received 5-15-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

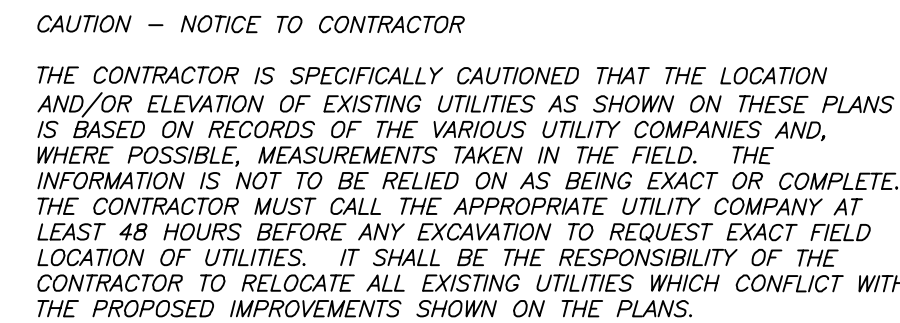
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

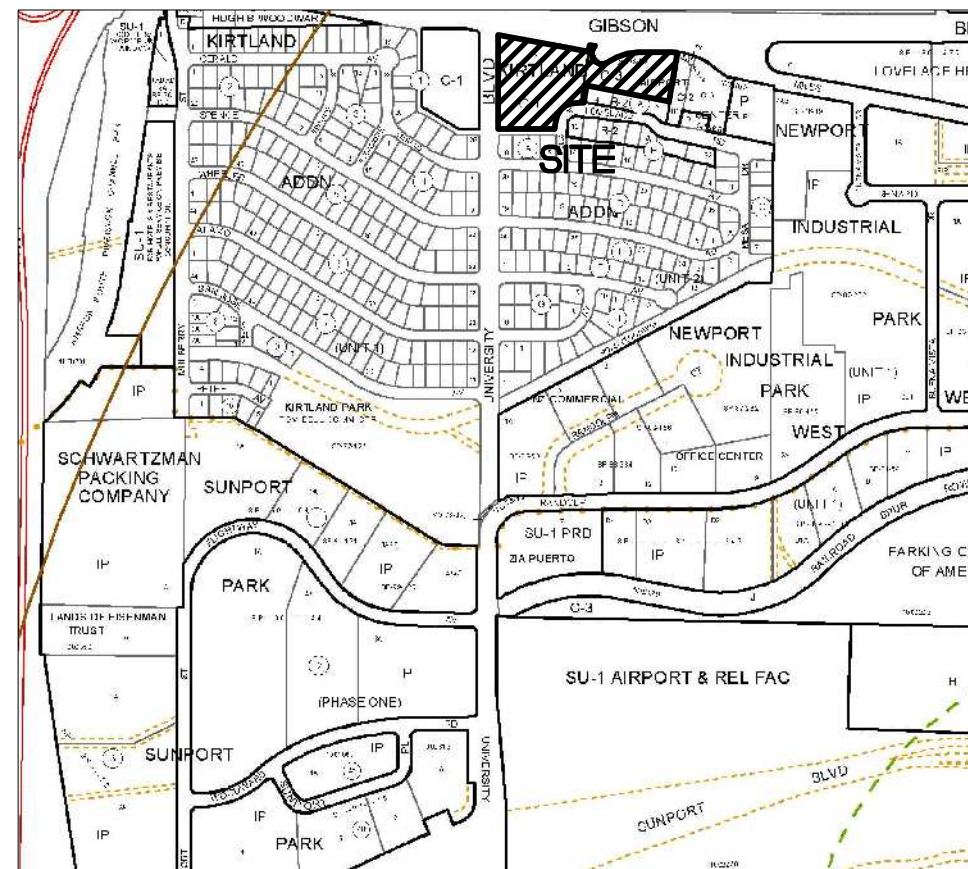
DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

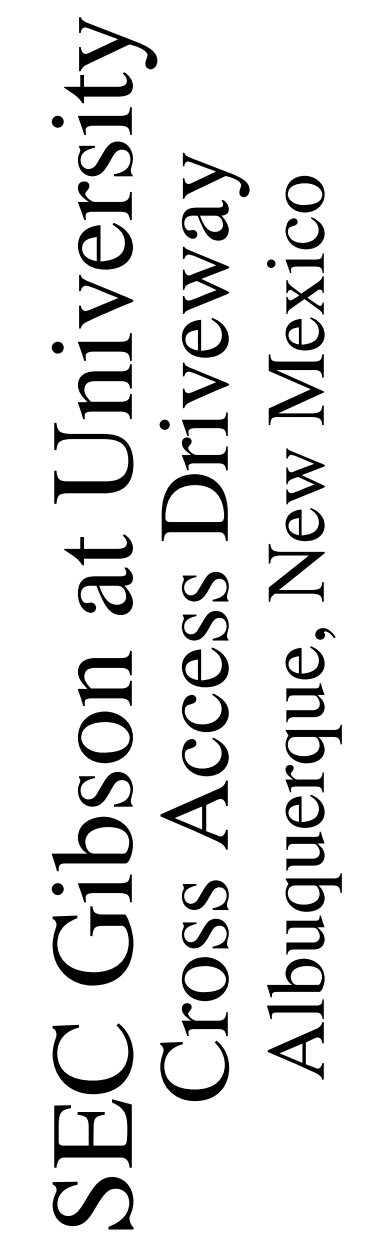


UPON COMPLETION OF THE SUBJECT IMPROVEMENTS, THE CONTRACTOR FOR THE CHIK-FIL-A RESTAURANT WILL CONSTRUCT IMPROVEMENTS ON THEIR SITE AND TIE IN TO THE SHOWN IMPROVEMENTS AS REQUIRED WITH MINIMAL IMPACT TO THE ACCESS DRIVE.



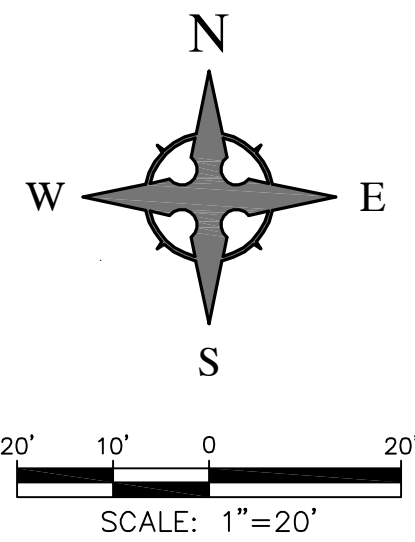
Legal Description: Lots 9-A-1 & 9-B-1, Kirtland
Addition Block A; Tract A, Airport Center

1. REF. SHEET C4, SITE PLAN, FOR IMPROVEMENTS BY LANDOWNER.
2. DRIVEPAD, W/C RAMPS, AND SIDEWALKS TO BE PERMITTED BY CHIK-FIL-A. TO BE CONSTRUCTED BY LANDLORD.
3. EXISTING BILLBOARD TO REMAIN.
4. PROPOSED DRAINAGE IMPROVEMENTS BY OTHERS.



Project Number	2014055
Drawn By	JW
Checked	JW
Issue Date	May 14, 2015

Overall Site Plan

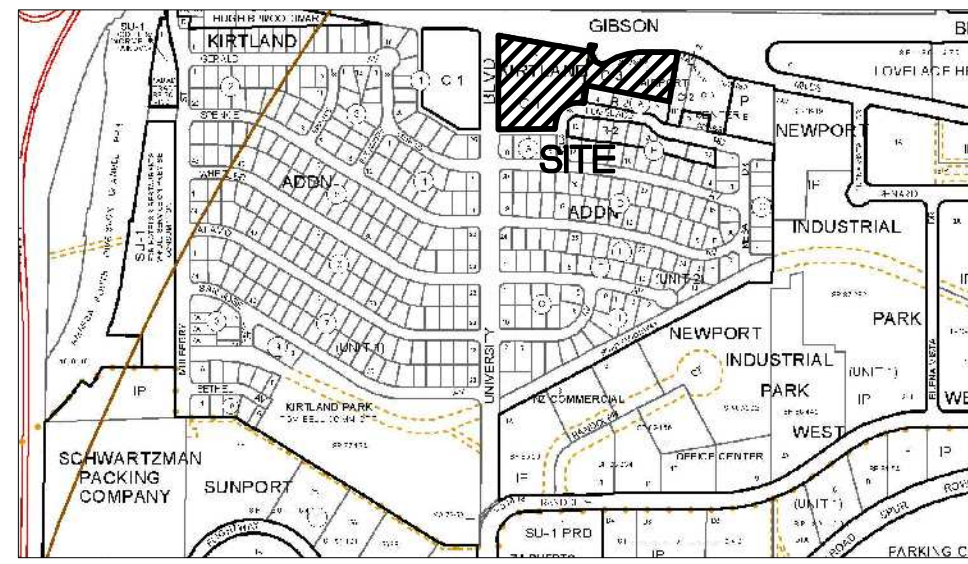


CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

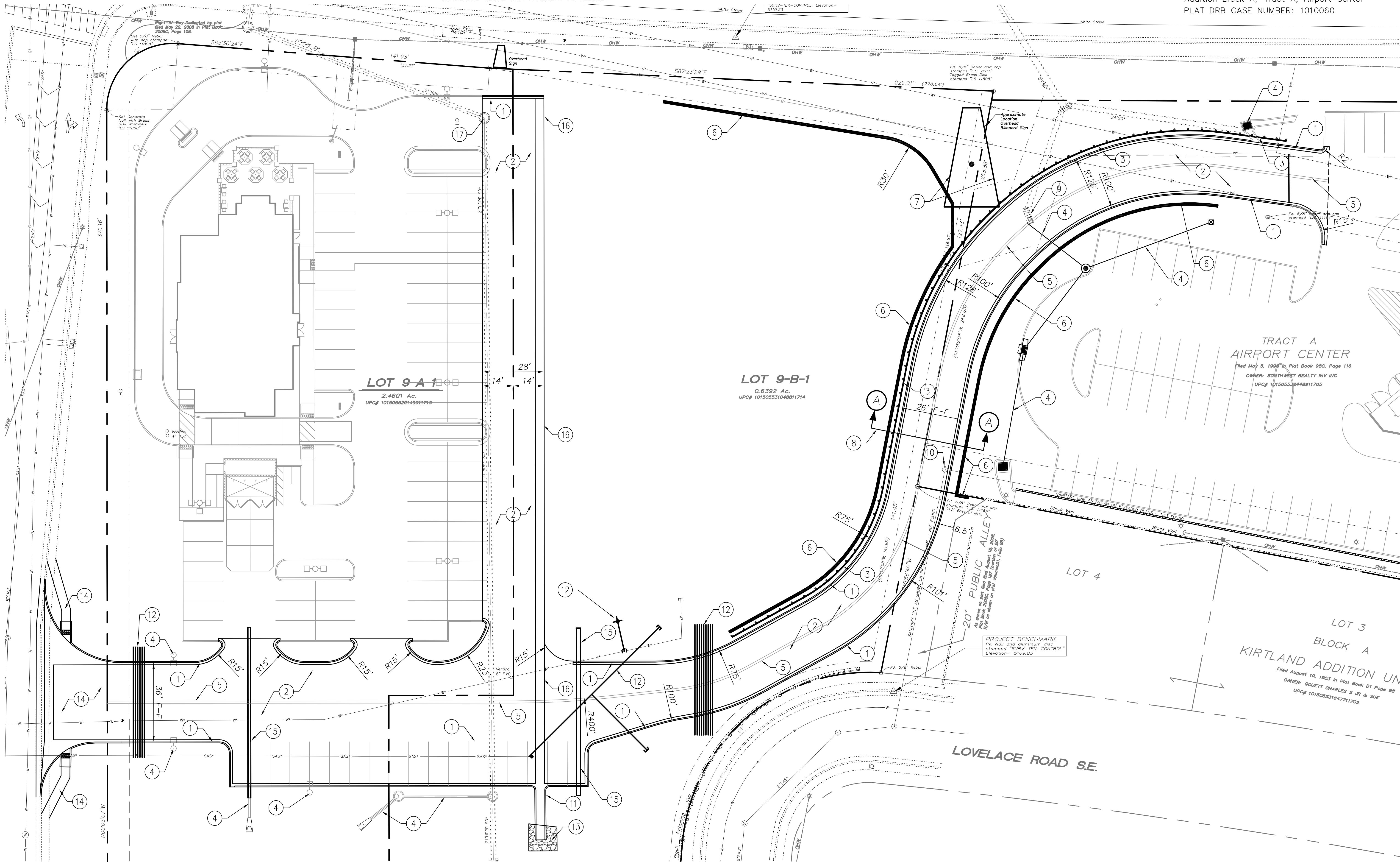
1. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
2. ASPHALT PAVEMENT. SEE PAVING DETAILS ON DETAIL SHEET.
3. INSTALL GUIDE RAIL PER DETAIL SHEET.
4. PROPOSED IMPROVEMENTS BY OTHERS.
5. INSTALL TWO COATS OF DOUBLE 4" WIDE PAINT STRIPES (YELLOW).
6. RETAINING WALL WITH RAILING PER DETAIL SHEET. STEP RAILING AS NEEDED. REF. RETAINING WALL PLANS FOR WALL DETAILS.
7. EXISTING BILLBOARD TO REMAIN.
8. REF DETAIL SHEET FOR SECTION A-A.
9. EXISTING INLET TO BE CONVERTED TO JUNCTION BOX WITH MANHOLE COVER BY OTHERS. CONTRACTOR TO ADJUST RIM TO FINAL PAVEMENT GRADE AND SLOPE WITH PAVEMENT AS NEEDED.

11. INSTALL 4' WIDE CONCRETE RUNDOWN PER DETAIL ON DETAIL SHEET.
12. NEW UTILITIES BY LANDLORD. REF UTILITY PLAN.
13. INSTALL 3 SY 3"-6" ROCK RIP-RAP OVER LANDSCAPE FABRIC.
14. DRIVEPAD, W/C RAMPS, AND SIDEWALK TO BE PERMITTED BY CHIK-FIL-A. TO BE CONSTRUCTED BY LANDLORD.
15. PROPOSED STORM DRAIN BY LANDLORD. REF UTILITY PLAN.
16. INSTALL 4' WIDE VALLEY GUTTER PER 'COA STD DWG 2421, SEC A-A'.
17. ADJUST MH RIM TO GRADE. REF GRADING AND UTILITY PLAN.

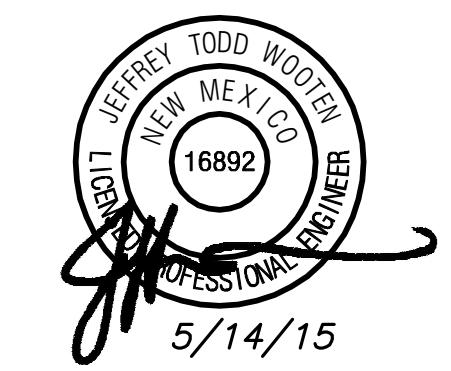


VICINITY MAP - Zone Map M-15-Z

Legal Description: Lots 9-A-1 & 9-B-1, Kirtland Addition Block A; Tract A, Airport Center
PLAT DRB CASE NUMBER: 1010060



Wooten Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505.980.3560
TX Firm No. F-16140



SEC Gibson at University
Cross Access Driveway
Albuquerque, New Mexico

Project Number	2014055
Drawn By	JW
Checked	JW
Issue Date	May 14, 2015
Traffic Circulation Layout	

