

From: [Wolfenbarger, Jeanne](#)
To: ["Jeff Wooten"](#); ["Kris Wiest"](#)
Cc: [Michel, Racquel M.](#)
Subject: SEC Gibson/University Cross Access Driveway/Chick-fil-A - TCL Resubmittals ((M15-D012C and M15-D012D)
Date: Friday, April 17, 2015 11:24:09 AM

Kris and Jeff, for the most part the TCLs look good with very minor comments this time. As you know, the TCLs cannot be approved until the access agreement is signed at DRB and the TIS is approved, and any changes that are recommended as part of the TIS are shown on the site plan. (I called Terry Brown, and he is supposed to get me the first draft copy of the TIS next week for review.)

Kris,

Some very minor comments are left for this:

- One comment is that Note 42 for the valley gutter is called out on the plan view, but the note itself is listed as Keyed Note 41. This discrepancy needs to be corrected.
- The shaded area for the 21B pavement should be shown in the legend for 21B pavement.
- In the description for the phasing, the Lot 9-A-1A for Chick-Fil-A is called out as "9-1-1A". Correct discrepancy.
- Although it does not affect our TCL approval, it would be helpful to call out 12" subgrade on the heavy duty pavement section and subgrade on the other pavement section since the Wooten planset does.

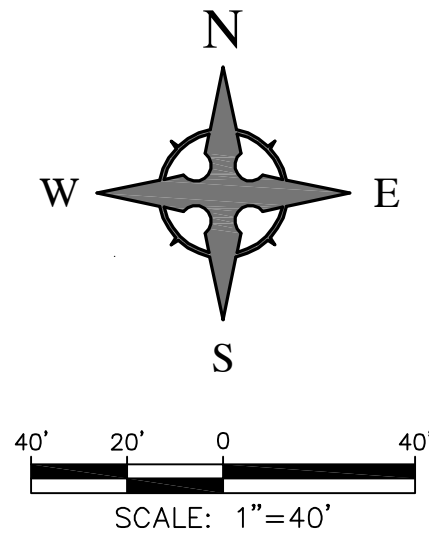
You do not need to resubmit the entire package for TCL approval in hard copy format. Just resubmit Sheet C-2.0 for me to give you a stamped copy, and make sure to give 2 copies of it. The next submittal would need to reflect any approved recommendations as part of the TIS.

Jeff,

- The pavement section that you show is not an exact match for what is shown on the Merrick planset. (Your plan set calls for 12" subgrade, while the other plan set doesn't. The Merrick set calls out for a 1.5" lift and a 2.5" lift while your detail on Sheet C7 does not contain actual details of lift thicknesses.) This does not affect TCL approval as much as I just wanted to point this out to make sure there is not any confusion during construction with regard to exactly what pavement section to build for your access. If there are different pavement sections being used from one planset to the other, this ought to be reflected on each of the different plan sets.

Again, the final TCL needs to reflect the approved TIS.

Jeanne



CAUTION – NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

CONSTRUCTION PHASING

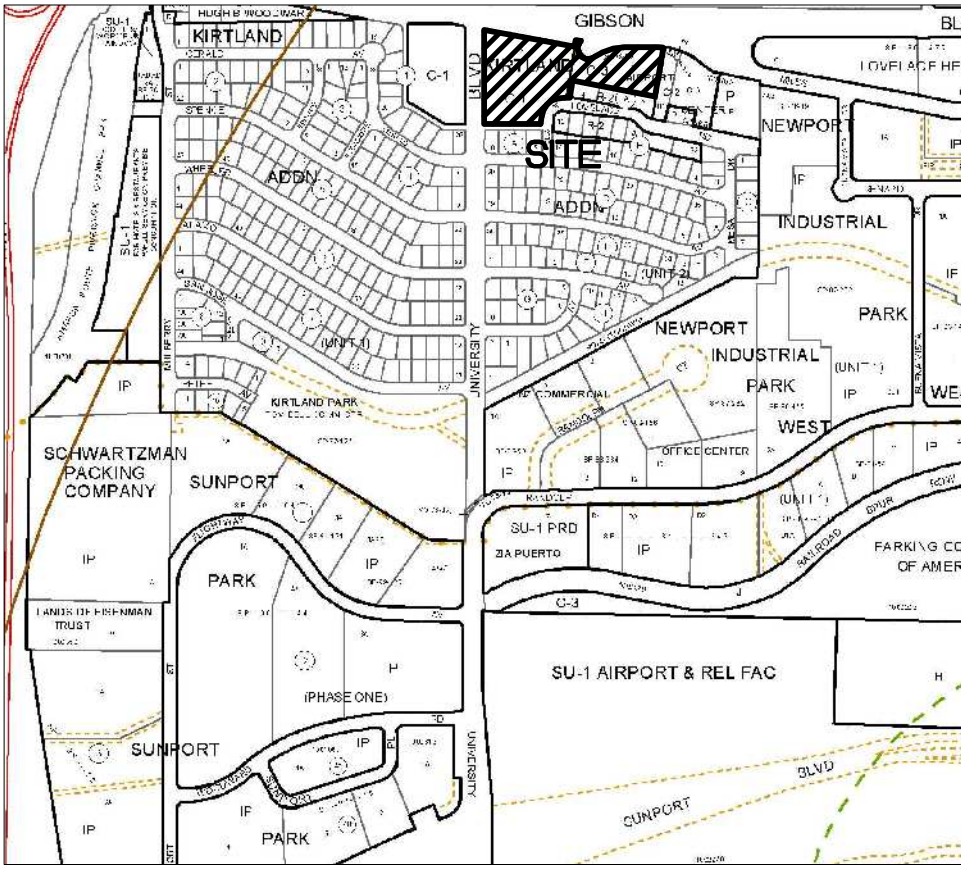
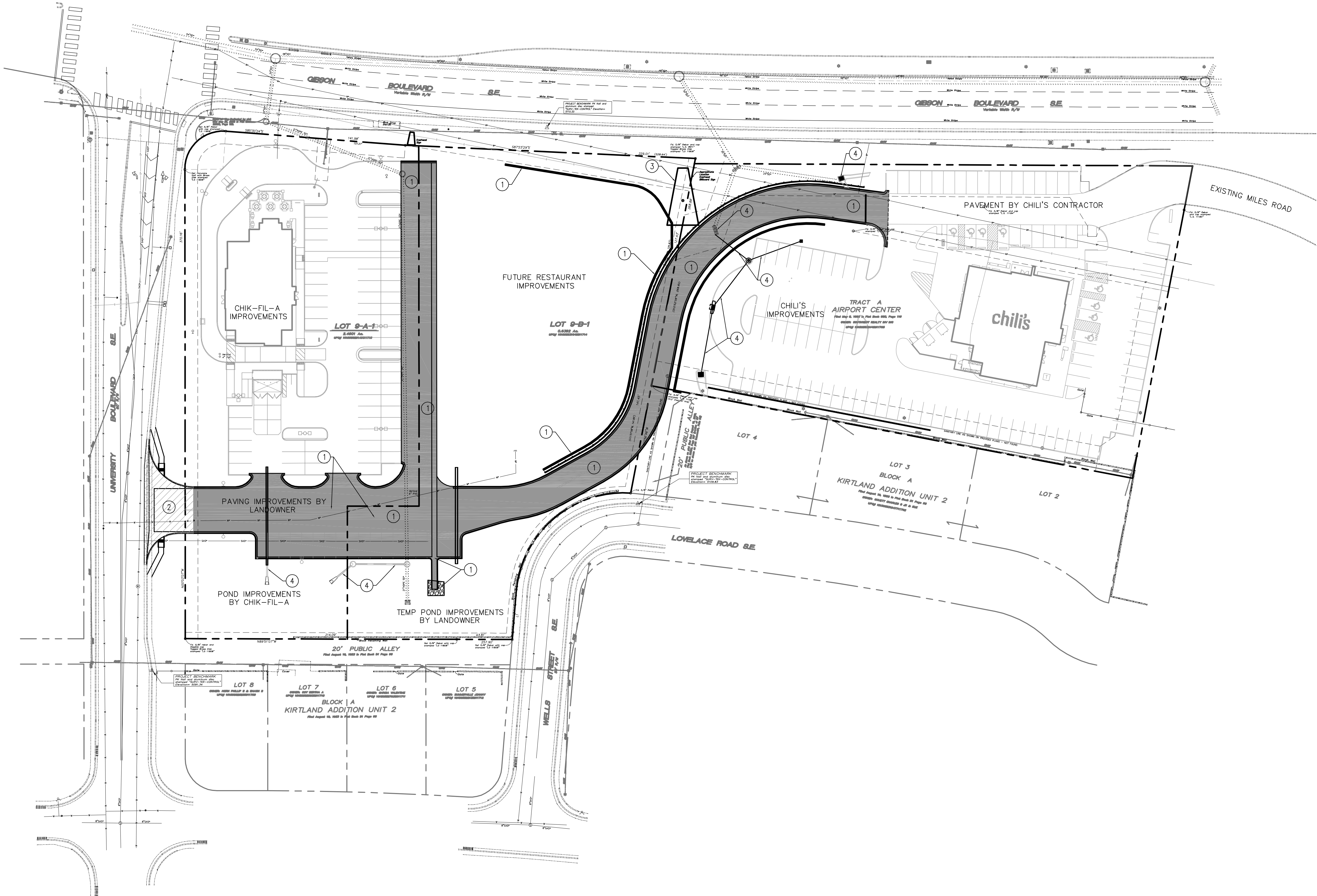
THE INTENT OF THE SUBJECT PLANS IS TO IDENTIFY IMPROVEMENTS TO BE BUILT BY THE LANDOWNER IN ORDER TO PROVIDE AN ACCESS DRIVEWAY BETWEEN UNIVERSITY BLVD SE AND THE PROPOSED CHILI'S RESTAURANT.

PLANS FOR THE PROPOSED CHIK-FIL-A ARE BEING PREPARED BY MERRICK & COMPANY. PLANS FOR THE CHILI'S RESTAURANT ARE BEING PREPARED BY TIERRA WEST, LLC.

THE DRIVEPAD AT UNIVERSITY BLVD SE IS BEING PERMITTED BY CHIK-FIL-A (MERRICK & COMPANY); HOWEVER IT WILL BE CONSTRUCTED BY THE LANDOWNER AS PART OF THE IMPROVEMENTS HEREIN.

ADDITIONAL IMPROVEMENTS TO BE CONSTRUCTED WITH THESE PLANS INCLUDE THE REQUIRED RETAINING WALLS, THE NORTH-SOUTH DRIVE SEPARATING THE CHIK-FIL-A AND THE FUTURE PAD SITE, AND UTILITIES AS REQUIRED TO MINIMIZE FUTURE IMPACTS TO THE ACCESS DRIVE DURING CONSTRUCTION OF THE CHIK-FIL-A AND THE FUTURE PAD SITE.

UPON COMPLETION OF THE SUBJECT IMPROVEMENTS, THE CONTRACTOR FOR THE CHIK-FIL-A RESTAURANT WILL CONSTRUCT IMPROVEMENTS ON THEIR SITE AND TIE IN TO THE SHOWN IMPROVEMENTS AS REQUIRED WITH MINIMAL IMPACT TO THE ACCESS DRIVE.



VICINITY MAP - Zone Map M-15-Z

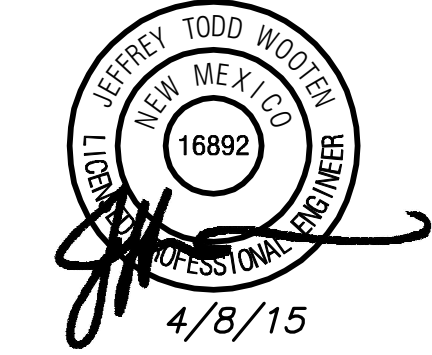
Legal Description: Lots 9-A-1 & 9-B-1, Kirtland Addition Block A; Tract A, Airport Center

KEYED NOTES

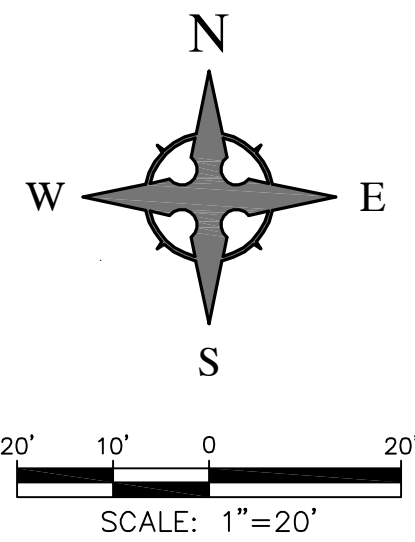
1. REF. SHEET C4, SITE PLAN, FOR IMPROVEMENTS BY LANDOWNER.
2. DRIVEPAD, W/C RAMPS, AND SIDEWALKS TO BE PERMITTED BY CHIK-FIL-A. TO BE CONSTRUCTED BY LANDLORD.
3. EXISTING BILLBOARD TO REMAIN.
4. PROPOSED DRAINAGE IMPROVEMENTS BY OTHERS.

SEC Gibson at University
Cross Access Driveway
Albuquerque, New Mexico

Wooten Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505.980.3560
TX Firm No. F-16140



Project Number 2014055
Drawn By JW
Checked JW
Issue Date March 17, 2015
Overall Site Plan



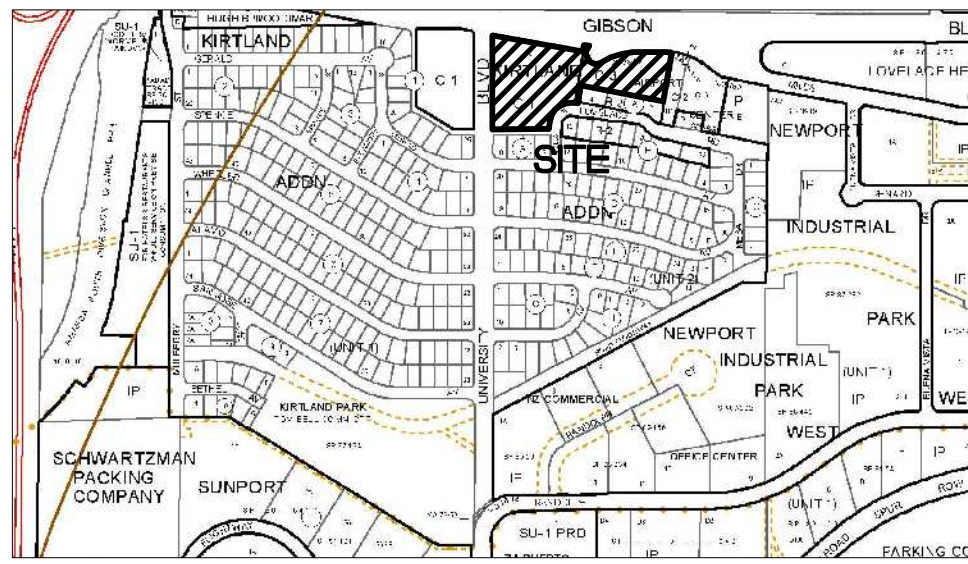
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1. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
2. ASPHALT PAVEMENT. SEE PAVING DETAILS ON DETAIL SHEET.
3. INSTALL GUIDE RAIL PER DETAIL SHEET.
4. PROPOSED IMPROVEMENTS BY OTHERS.
5. INSTALL TWO COATS OF DOUBLE 4" WIDE PAINT STRIPES (YELLOW).
6. RETAINING WALL WITH RAILING PER DETAIL SHEET. STEP RAILING AS NEEDED. REF. RETAINING WALL PLANS FOR WALL DETAILS.
7. EXISTING BILLBOARD TO REMAIN.
8. REF DETAIL SHEET FOR SECTION A-A.
9. EXISTING INLET TO BE CONVERTED TO JUNCTION BOX WITH MANHOLE COVER BY OTHERS. CONTRACTOR TO ADJUST RIM TO FINAL PAVEMENT GRADE AND SLOPE WITH PAVEMENT AS NEEDED.

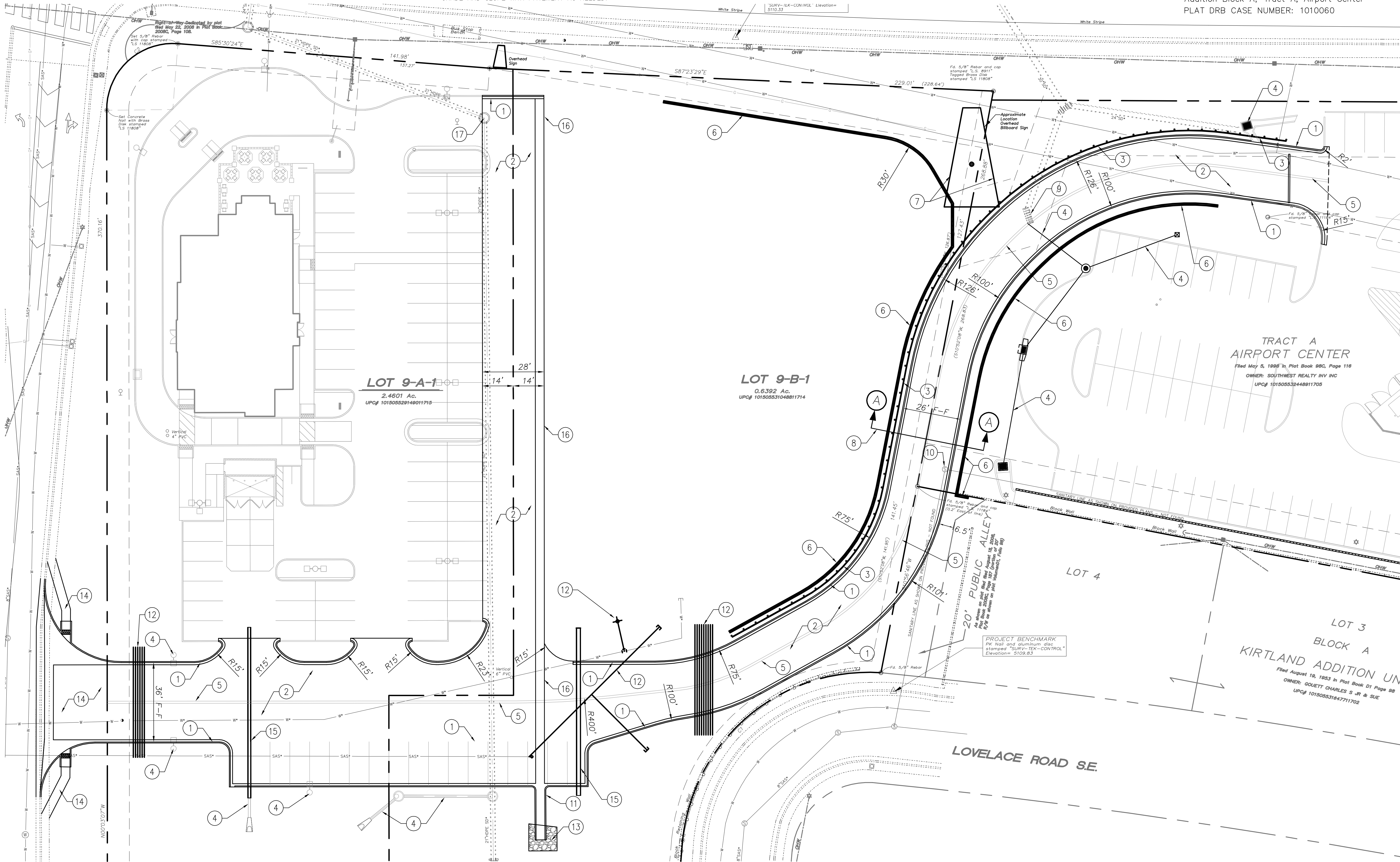
AND ADJUST RIM TO FINAL PAVEMENT GRADE AND SLOPE WITH PAVEMENT AS NEEDED.

11. INSTALL 4' WIDE CONCRETE RUNDOWN PER DETAIL ON DETAIL SHEET.
12. NEW UTILITIES BY LANDLORD. REF UTILITY PLAN.
13. INSTALL 3 SY 3"-6" ROCK RIP-RAP OVER LANDSCAPE FABRIC.
14. DRIVEPAD, W/C RAMPS, AND SIDEWALK TO BE PERMITTED BY CHIK-FIL-A. TO BE CONSTRUCTED BY LANDLORD.
15. PROPOSED STORM DRAIN BY LANDLORD. REF UTILITY PLAN.
16. INSTALL 4' WIDE VALLEY GUTTER PER COA STD DWG 2421, SEC A-A.
17. ADJUST MH RIM TO GRADE. REF GRADING AND UTILITY PLAN.

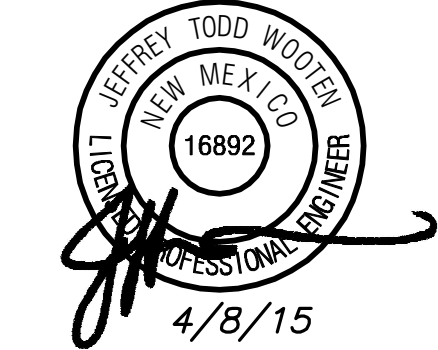


VICINITY MAP - Zone Map M-15-Z

Legal Description: Lots 9-A-1 & 9-B-1, Kirtland Addition Block A; Tract A, Airport Center
PLAT DRB CASE NUMBER: 1010060



Wooten Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
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SEC Gibson at University
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Traffic Circulation
Layout