

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 18, 2024

Ian Aultman, P.E.
MS Consultants, Inc.
2221 Schrock Rd.
Columbus, OH 43229-1547

**RE: Whataburger Albuquerque
2121 Yale Blvd. SE
Revised Grading and Drainage Plan
Engineer's Stamp Date: 1/10/2024
Hydrology File: M15D021A**

Dear Mr. Aultman:

Based upon the information provided in your submittal received 2/15/2024, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

- Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
- Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25 made out to "Bernalillo County" for the rain garden detention ponds (1-3) per Article 6-15(C) of the DPM to Hydrology for review. Once the review is done, Hydrology will send back an email stating our approval / comments.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

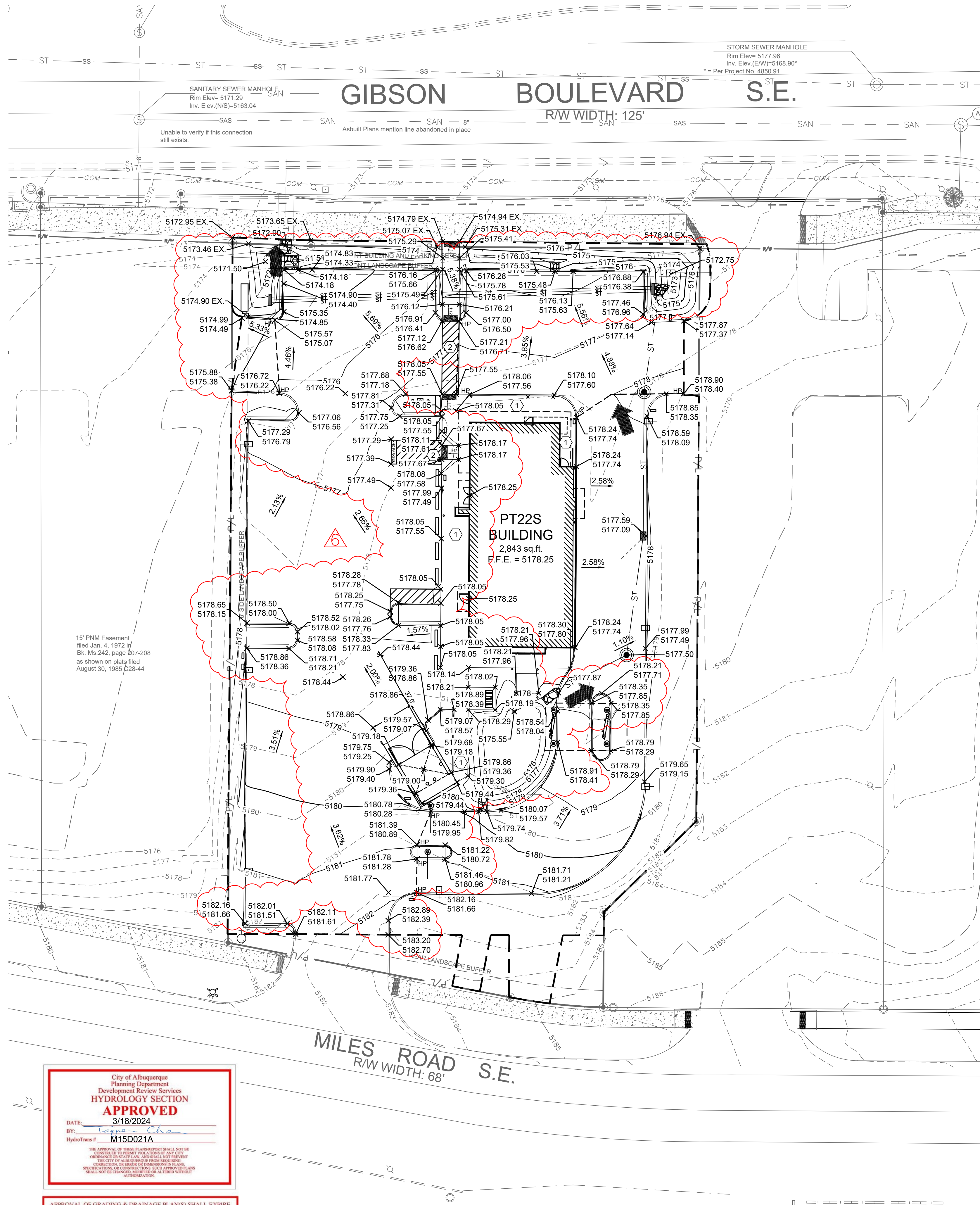
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

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GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO AND STATE OF NEW MEXICO, BY SURVEYOR: SURVTEK, INC., 3816 CARLISLE BLVD NE, SUITE C, ALBUQUERQUE, NM, 87107, PHONE: (505)-300-4732.
- ALL CONSTRUCTION METHODS AND MATERIAL MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL PROPOSED SPOT ELEVATIONS SHOWN ARE TOP OF CURB AND FINAL GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND. CONTRACTOR TO VERIFY ASSUMED FINISHED FLOOR ELEVATION PRIOR TO BEGINNING WORK.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
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- CONTRACTOR SHALL INSTALL AND BACKFILL STRUCTURES AND TRENCHES PER DETAILS ON SHEET C-7.1.
- ALL EXISTING UTILITIES ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
- ALL STORM CONDUITS ARE ADS N-12 SMOOTH INTERIOR HDPE PIPE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- ALL GRADING AND CONSTRUCTION BEYOND THE LIMITS OF THE WHATABURGER SITE TO BE DONE BY DEVELOPER.

KEYED NOTES:

- CONTRACTOR TO MAINTAIN 2.00% MAX CROSS SLOPE ON SIDEWALK.
- CONTRACTOR TO MAINTAIN MAX 2.00% SLOPE IN ALL DIRECTIONS IN HANDICAP ACCESSIBLE AREA.

SITE DATA

	SQ. FT.	ACRES	PERCENT
LIMITS OF DISTURBANCE	44,171	1.01	-
TOTAL SITE AREA	42,107	0.97	-
EXISTING PERVIOUS	0	0.00	0.0%
EXISTING IMPERVIOUS	42,107	0.97	100.0%
TOTAL PROPOSED PERVIOUS	8,494	0.20	20.2%
TOTAL PROPOSED IMPERVIOUS	33,613	0.77	79.8%

PARKING DATA

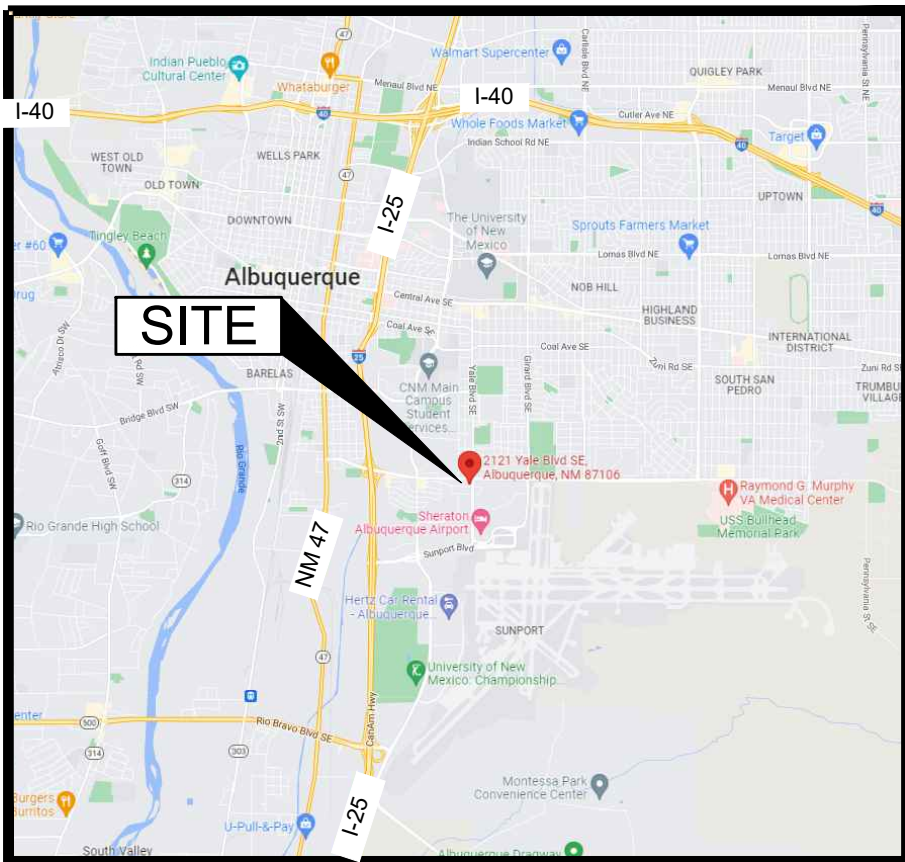
STANDARD	REQUIRED	PROVIDED
ADA	1	2
TOTAL	25	38
BICYCLE	3	3
MOTORCYCLE	1	2

*8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)

***1 ADA SPACE PER 25 STANDARD SPACES

***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES

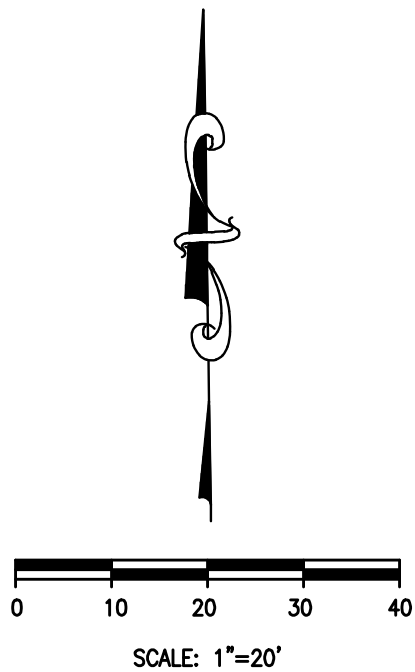
***BICYCLE PARKING IS REQUIRED, THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES



VICINITY MAP
N.T.S.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
X 950.00 EX.	X 950.00	TOP OF CURB
X 949.50 EX.	X 949.50	TOP OF PAVEMENT
X 950.00 EX.	X 950.00	FINISHED GRADE SPOT ELEVATION
	1.00%	GRADE SLOPE
HP	HP	HIGH POINT
ST	ST	STORM MAIN
RD	RD	ROOFDRAIN / UNDERDRAIN
		CONSTRUCTION LIMITS
950	950	MAJOR CONTOUR LINES
950	950	MINOR CONTOUR LINES
		INLET
		CATCH BASIN
		STORM STRUCTURE
		MAJOR FLOOD ROUTING

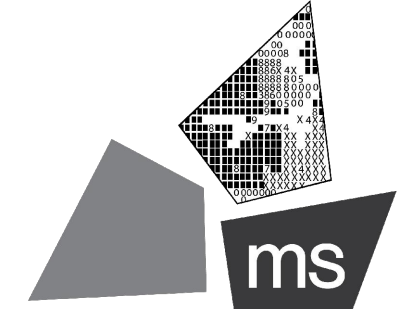


REVISION/DATE/DESCRIPTION

60% REVIEW SET	05/16/22
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2221 Schrock Road
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phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT22S BUILDING

2141 GIBSON BLVD SE
ALBUQUERQUE, NM
87106

SHEET TITLE

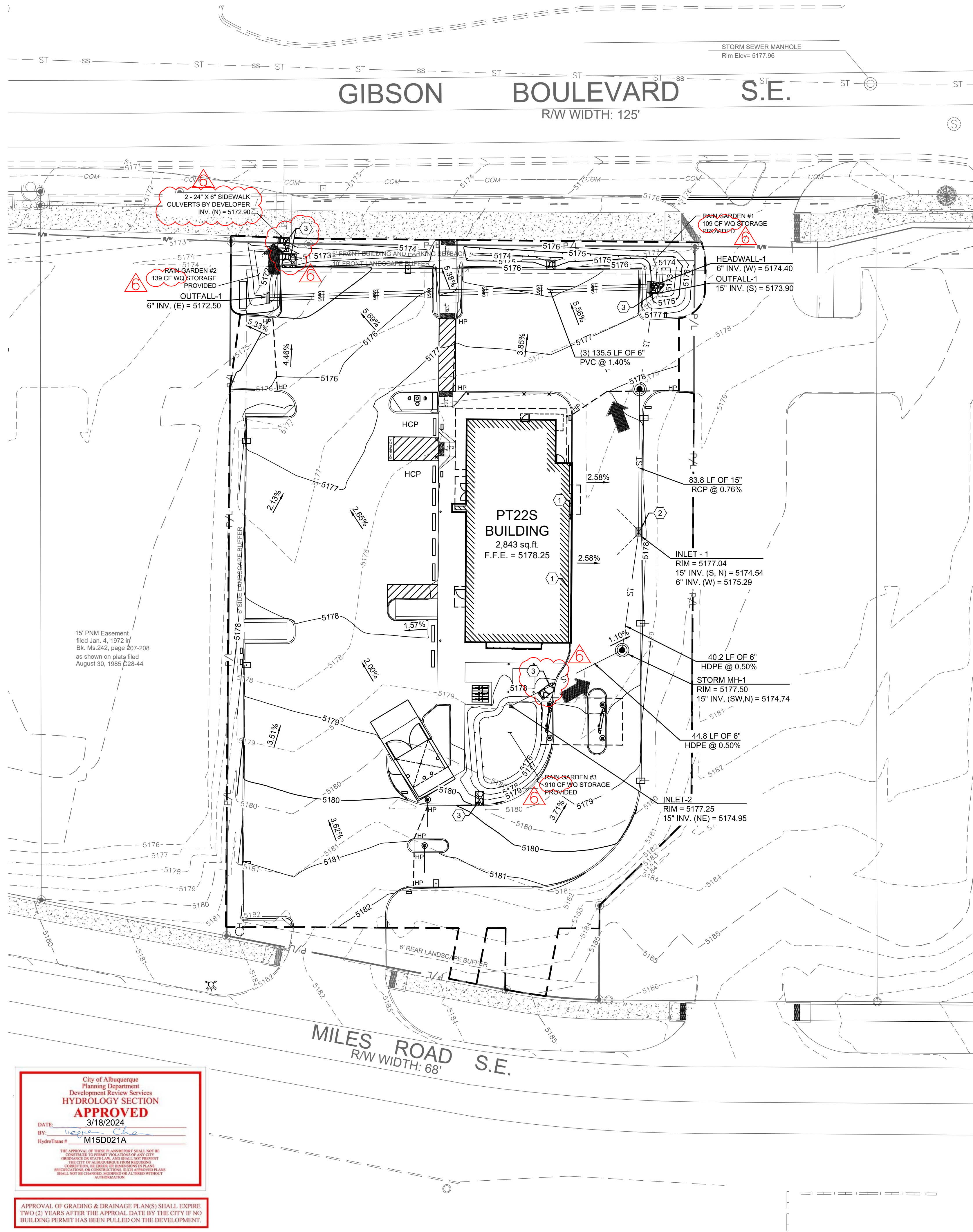
SITE GRADING PLAN



DRAWN BY:	TDB
CHECKED BY:	JCB
PROJECT NO:	40497-22
DRAWING	

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APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

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- DEVELOPER TO PERFORM ROUGH GRADING OF THE WHATABURGER SITE.
- SEE SHEET C-7.2 FOR STORM DETAILS.
- DEVELOPER TO PERFORM ROUGH GRADING OF THE WHATABURGER SITE.

KEYED NOTES:

- PROPOSED DOWNSPOUT COLLECTOR SYSTEM.
- 6" STORM LINE FROM ROOF DRAIN TO CONNECT TO PROPOSED STORM SYSTEM. CONTRACTOR TO MAINTAIN A MINIMUM SLOPE OF 1.00% ON ALL ROOF DRAIN PIPES.
- CLASS B RIP RAP OVER GEOTEXTILE FABRIC.

NOTE:
THE OUTFALL SIDEWALK CULVERTS ARE A PART OF THE WORK ORDER PACKAGE 643186 BEING COMPLETED BY THE DEVELOPER AND HAVE BEEN FINANCIALLY GUARANTEED BY THE DEVELOPER WITH THE CITY. IN THE EVENT THE SIDEWALK CHASES ARE NOT INSTALLED BY THE DEVELOPER, AN SO-19 PERMIT WOULD BE REQUIRED. PLEASE SEE THE SO-19 NOTES BELOW:

Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "SO-19")

- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

WATER QUALITY REQUIREMENTS

REQUIRED STORMWATER QUALITY VOLUME FOR REDEVELOPED SITES EQUALS 0.26 INCHES PER SQ.-FT. OF IMPERVIOUS SURFACE.

DRAINAGE CALCULATIONS

PROPOSED IMPERVIOUS AREA = 33,613 SQ.-FT.
(0.26/12) X 33,613 = 728.3 CU.-FT. WATER QUALITY VOLUME REQUIRED
1,158 CU.-FT. WATER QUALITY VOLUME PROVIDED, THEREFORE, THIS REQUIREMENT IS MET.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
X 950.00 EX. 949.50 EX.	X 950.00 949.50	TOP OF CURB TOP OF PAVEMENT
X 950.00 EX.	X 950.00	FINISHED GRADE SPOT ELEVATION
	1.00%	GRADE SLOPE
HP	HP	HIGH POINT
ST	ST	STORM MAIN
RD	RD	ROOF DRAIN / UNDER DRAIN
		CONSTRUCTION LIMITS
950	950	MAJOR CONTOUR LINES
950	950	MINOR CONTOUR LINES
		INLET
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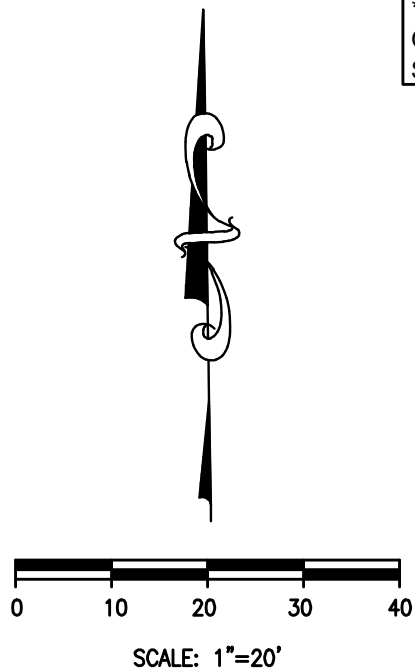
	REQUIRED	PROVIDED
STANDARD	24	36
ADA	1	2
TOTAL	25	38
BICYCLE	3	3
MOTORCYCLE	1	2

*8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)

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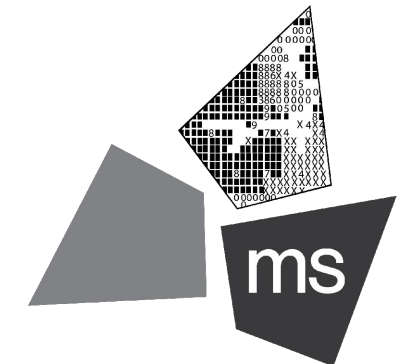


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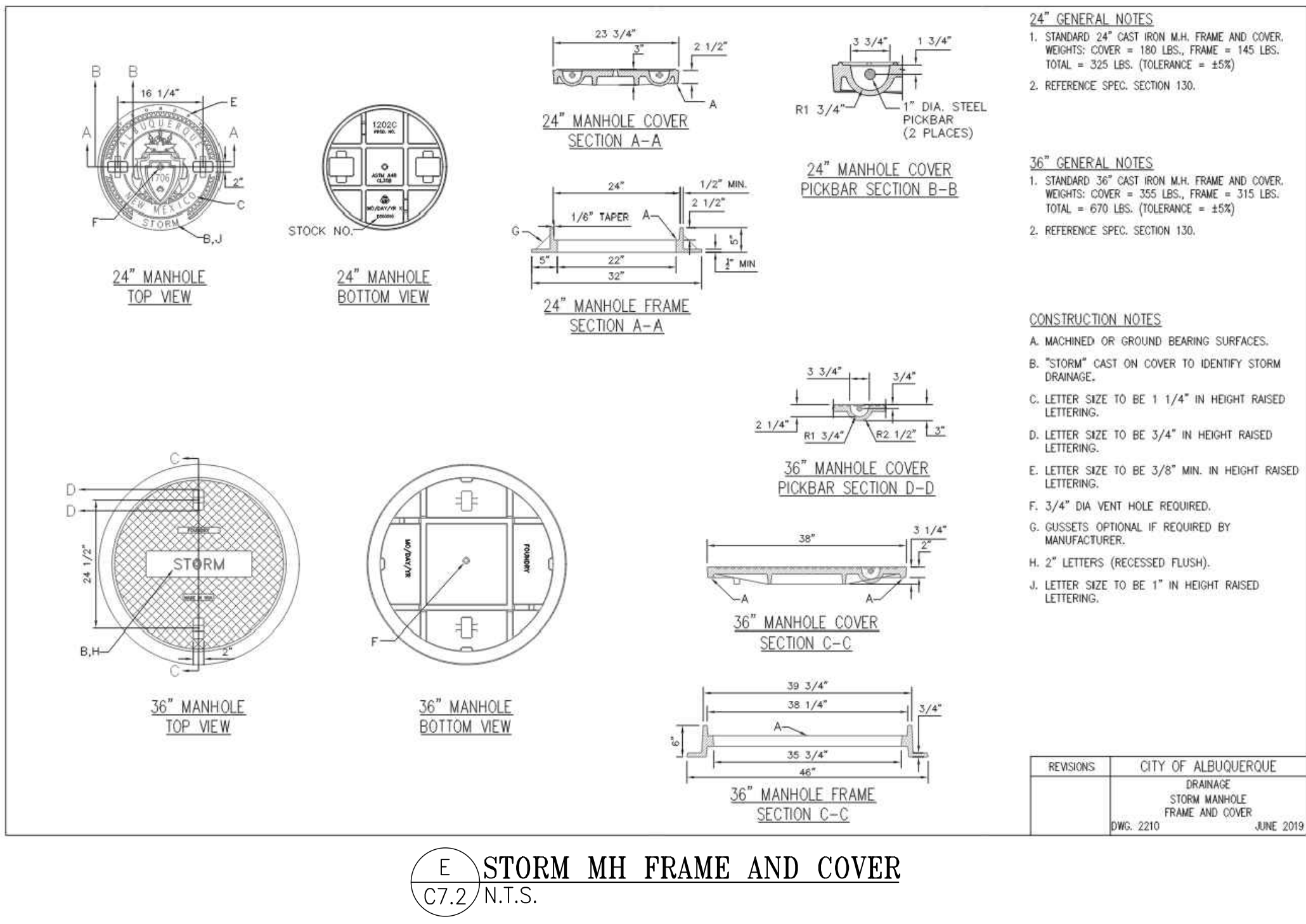
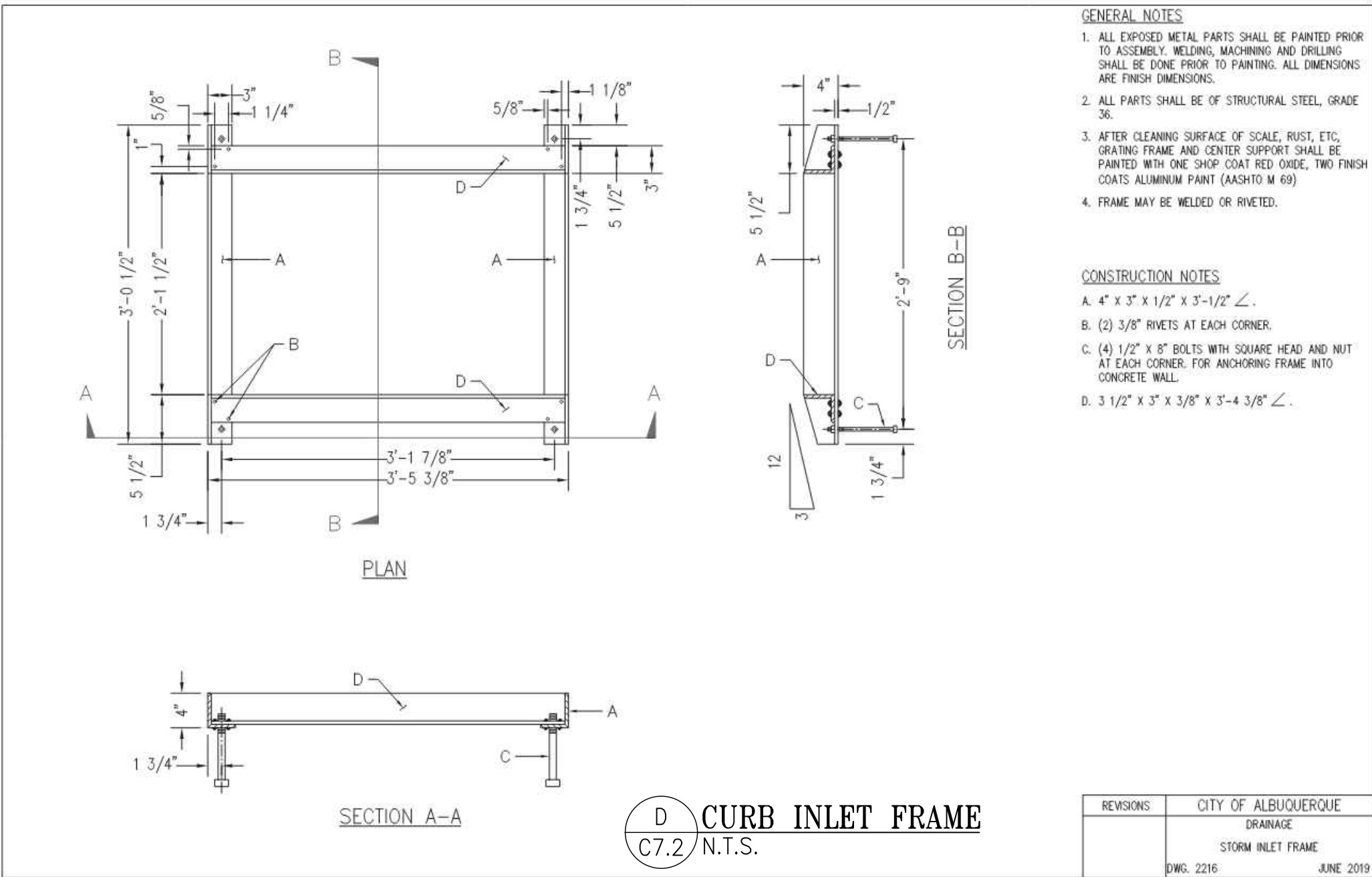
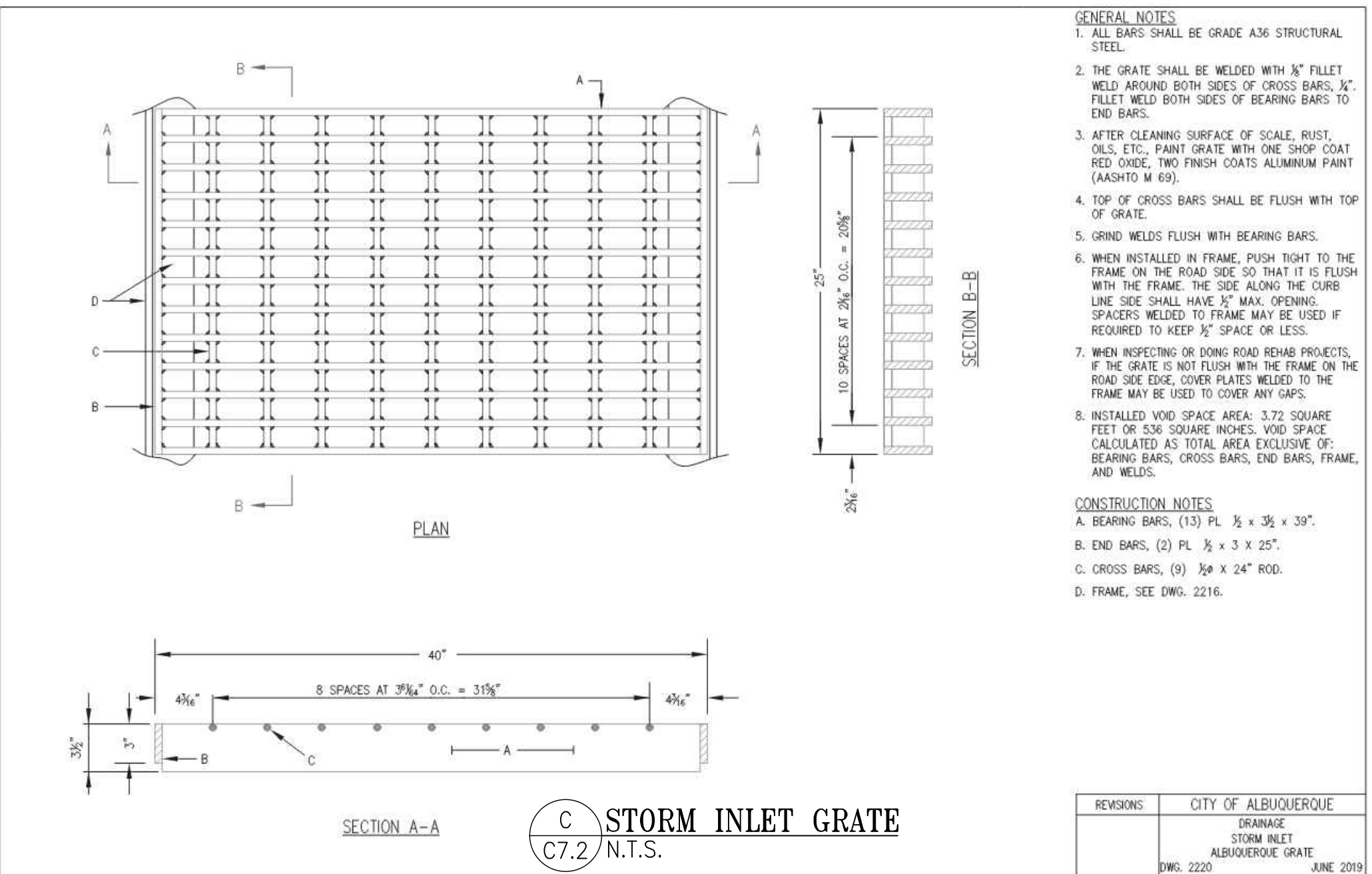
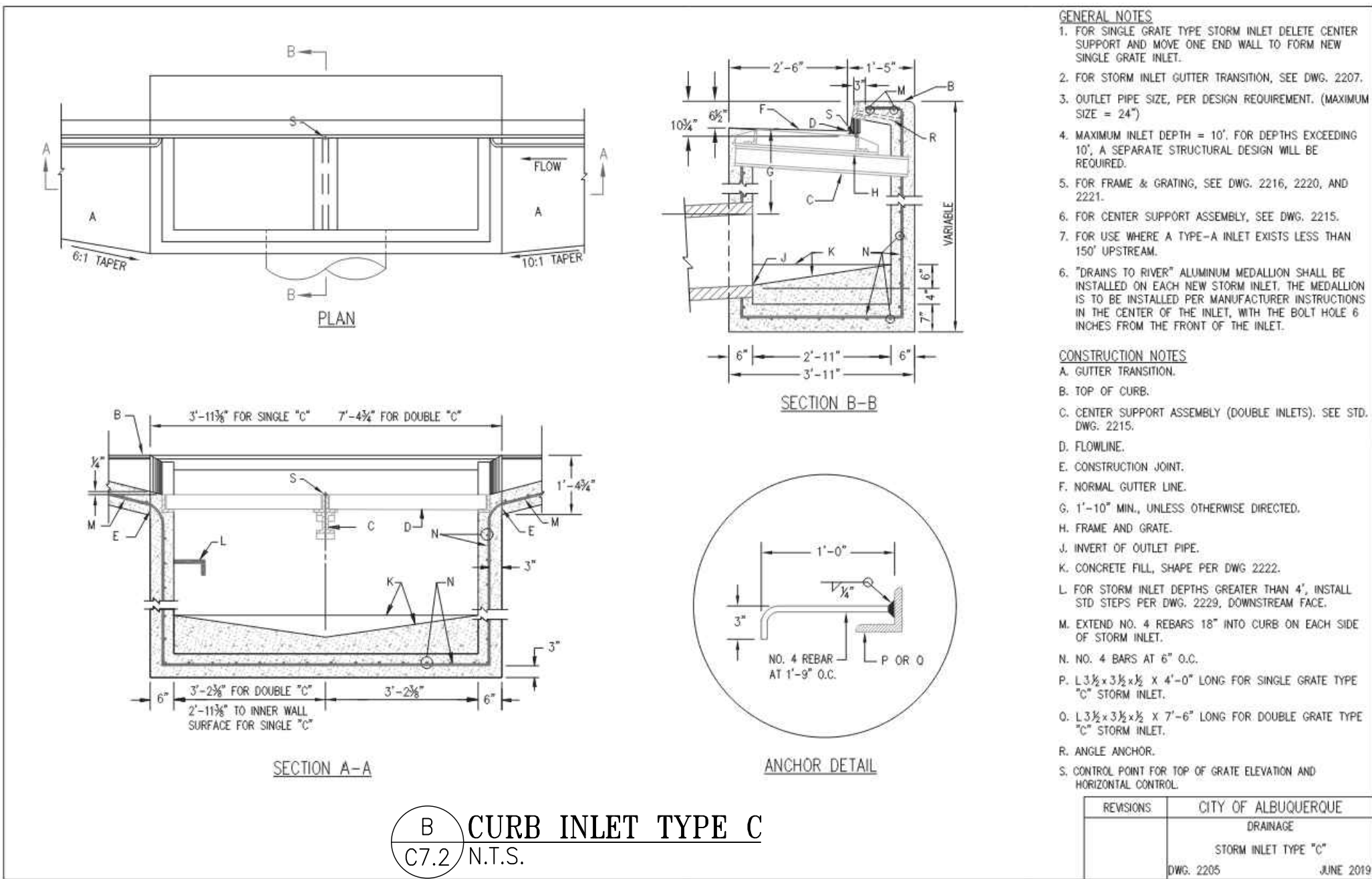
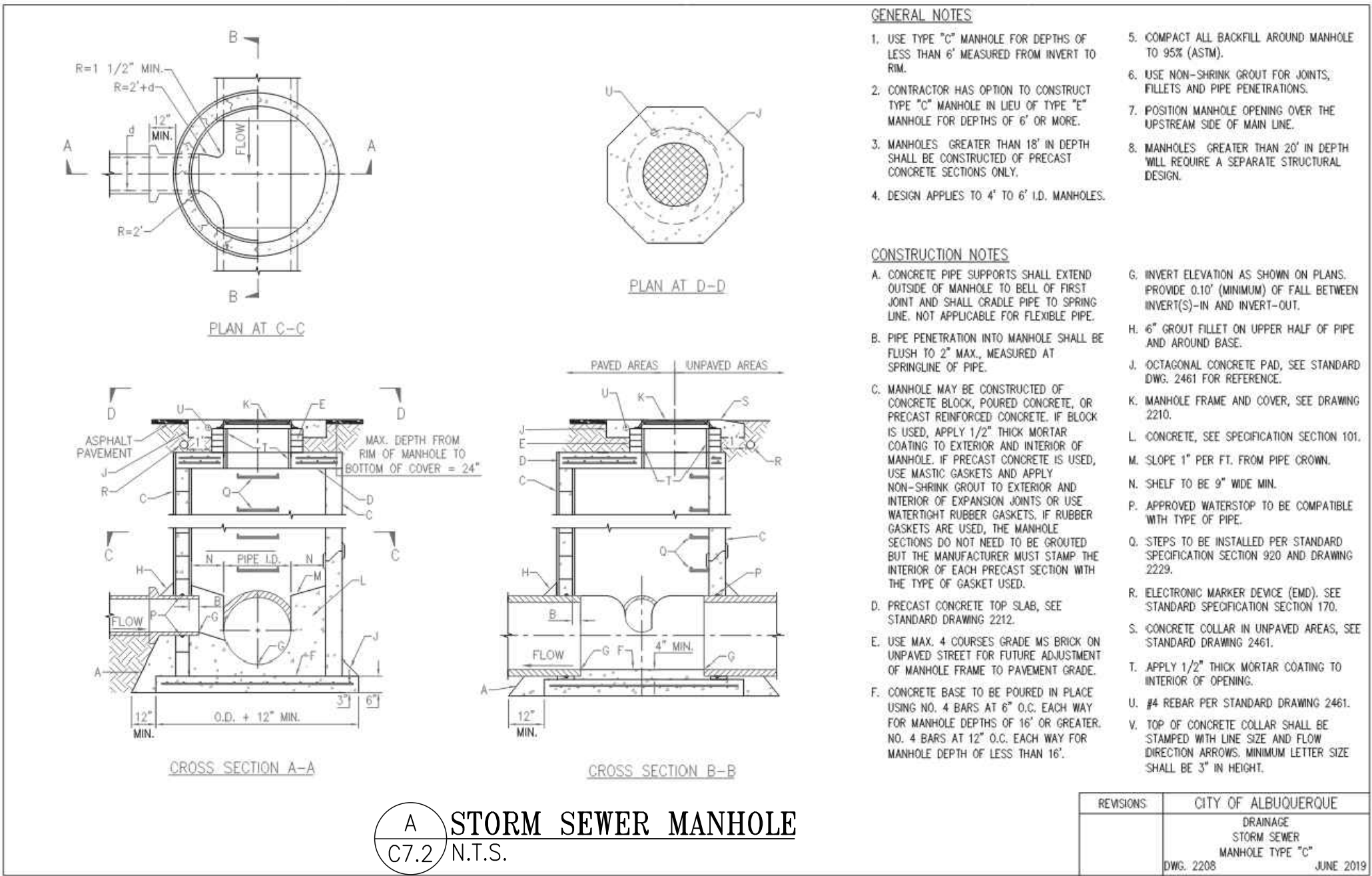
SITE DRAINAGE PLAN



DRAWN BY: TDB
CHECKED BY: JCB
PROJECT NO: 40497-22
DRAWING

C-5.1

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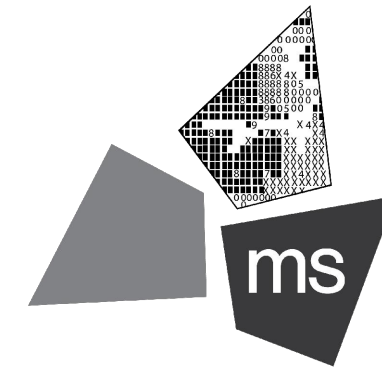


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SHEET TITLE

SITE DETAILS



DRAWN BY: TDB

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PROJECT NO: 40497-22

DRAWING

C-7.2