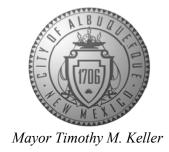
# CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



March 18, 2024

Ian Aultman, P.E. MS Consultants, Inc. 2221 Schrock Rd. Columbus, OH 43229-1547

RE: Whataburger Albuquerque 2121 Yale Blvd. SE Revised Grading and Drainage Plan Engineer's Stamp Date: 1/10/2024 Hydrology File: M15D021A

Dear Mr. Aultman:

Based upon the information provided in your submittal received 2/15/2024, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

#### PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

• Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

• Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25 made out to "Bernalillo County" for the rain garden detention ponds (1-3) per Article 6-15(C) of the DPM to Hydrology for review. Once the review is done, Hydrology will send back an email stating our approval / comments.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.

Principal Engineer, Hydrology

Planning Department, Development Review Services



# City of Albuquerque

### Planning Department

#### Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title:	Building Permit #:		Hydrology File #:	
DRB#:	EPC#:		Work Order#:	
Legal Description:				
City Address:				
Applicant:			Contact	
Address:Phone#:				
Other Contact:				
Address:				_
Phone#:				
TYPE OF DEVELOPMENT:	PLAT (# of lots)	RESIDENCE _	DRB SITE	ADMIN SITE
IS THIS A RESUBMITTAL? Y				
<b>DEPARTMENT:</b> TRAFFIC/TI		HYDROLOG	Y/DRAINAGE	
Check all that Apply:				PTANCE SOUGHT:
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PERMIT APPLIC ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?		BUILDING PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY  PRELIMINARY PLAT APPROVAL  SITE PLAN FOR SUB'D APPROVAL  SITE PLAN FOR BLDG. PERMIT APPROVA  FINAL PLAT APPROVAL  SIA/ RELEASE OF FINANCIAL GUARANTEI  FOUNDATION PERMIT APPROVAL  GRADING PERMIT APPROVAL  SO-19 APPROVAL  PAVING PERMIT APPROVAL  GRADING/ PAD CERTIFICATION  WORK ORDER APPROVAL  CLOMR/LOMR  FLOODPLAIN DEVELOPMENT PERMIT  OTHER (SPECIFY)		
DATE SUBMITTED:	By:			

FEE PAID:\_\_\_

## Rim Elev= 5177.96 Inv. Elev.(E/W)=5168.90\* \* = Per Project No. 4850.91 BOULEVARD SANITARY SEWER MANHOLE Rim Elev= 5171.29 Inv. Elev.(N/S)=5163.04 R/W WIDTH: 125' — — SAN — — — SAN — 8" — Asbuilt Plans mention line abandoned in place Unable to verify if this connection <sup>ፌ</sup> \*5174.79 EX.**┐** 5174.90 EX 5177.21 5175.07 5177.68 <177.55 5178.10 5175.38 **5177.60** 5177.18 5176.22 X 5178.40 5177.29 5178.59 5178.09 5178.05 2,843 sq.ft. F.F.E. = 5178.25 5178.28 5177.78 5178.25 5178.65 5177.75 ′′ 5178.00 5178.15 5178.52,5178.26 5178.24 5178.30 <sup>5</sup>5178.02 5177.76 5178.21 51/8.21 5177.80 5177.96 5177.96 5177.74 15' PNM Easement 5178.58 5178.33 1 1000 5177.49 5178.44 Bk. Ms.242, page 207-208 5178.86 5178.71 as shown on plats filed August 30, 1985 C28-44 5178.36 5178.21<sup>1</sup> 5179.75 5179.25 5178.29 <sup>⊙⊤</sup>5179.57 ∞5180.89ີ 5181.28 <sup>7</sup>5181.21 5180.96 5181.66 Development Review Services HYDROLOGY SECTION APPROVED 3/18/2024 HydroTrans # M15D021A APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE WO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

## **GENERAL NOTES:**

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO AND STATE OF NEW MEXICO, BY SURVEYOR: SURVTEK, INC., 3816 CARLISLE BLVD NE ,SUITE C, ALBUQUERQUE, NM, 87107, PHONE: (505)-300-4732.
- B. ALL CONSTRUCTION METHODS AND MATERIAL MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- C. ALL PROPOSED SPOT ELEVATIONS SHOWN ARE TOP OF CURB AND FINAL GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- E. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND. CONTRACTOR TO VERIFY ASSUMED FINISHED FLOOR ELEVATION PRIOR TO BEGINNING WORK.
- F. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER
- REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE.

  ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
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- CONTRACTOR SHALL INSTALL AND BACKFILL STRUCTURES AND TRENCHES PER DETAILS ON SHEET C-7.1.
- ALL EXISTING UTILITIES ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES
- L. ALL STORM CONDUITS ARE ADS N-12 SMOOTH INTERIOR HDPE PIPE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- M. ALL GRADING AND CONSTRUCTION BEYOND THE LIMITS OF THE WHATABURGER SITE TO BE DONE BY DEVELOPER.

## **KEYED NOTES:**

- (1) CONTRACTOR TO MAINTAIN 2.00% MAX CROSS SLOPE ON SIDEWALK.
- (2) CONTRACTOR TO MAINTAIN MAX 2.00% SLOPE IN ALL DIRECTIONS IN HANDICAP ACCESSIBLE AREA.



SITE DATA			
	SQ. FT.	ACRES	PERCENT
LIMITS OF DISTURBANCE	44,171	1.01	-
TOTAL SITE AREA	42,107	0.97	-
EXISTING PERVIOUS	0	0.00	0.0%
EXISTING IMPERVIOUS	42,107	0.97	100.0%
TOTAL PROPOSED PERVIOUS	8,494	0.20	20.2%
TOTAL PROPOSED IMPERVIOUS	33,613	0.77	79.8%

# **PARKING DATA**

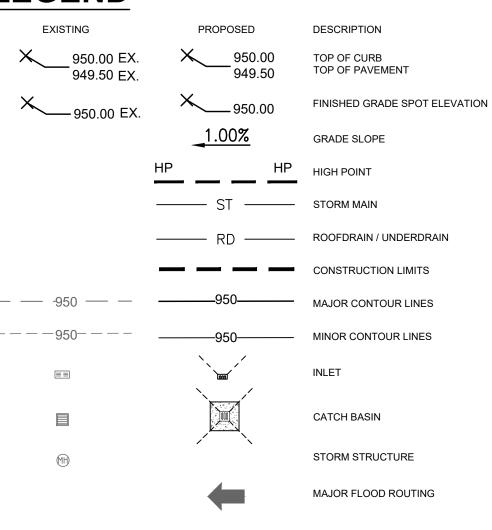
	REQUIRED	PROVIDED	
TANDARD	24	36	
DA	1	2	
OTAL	25	38	
CYCLE	3	3	
OTORCYCLE	1	2	ĺ

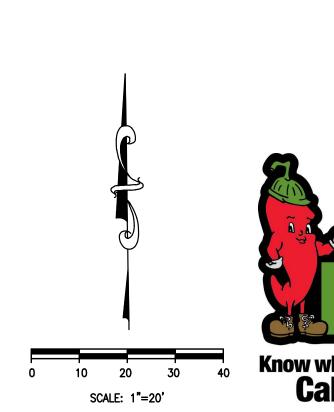
\*8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)

\*\*1 ADA SPACE PER 25 STANDARD SPACES
\*\*\*1 MOTORCYCLE SPACE PER 25 AUTOMOBILE

\*\*\*\*BICYCLE PARKING IS REQUIRED. THE GREATER
OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE

# **LEGEND**







REVISION/DATE/DESCRIPTION

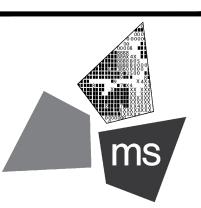
60% REVIEW SET	05/16/22
TCL SUBMISSION	06/09/22
90% REVIEW SET	07/01/22
PERMIT REVIEW SET	07/22/22
TCL REVISION 1	09/15/22
TCL / G&D RESPONSE	11/28/22
TCL RESPONSE #3	12/14/22
PT22S UPDATE	01/11/23
ISSUE FOR PERMIT	05/05/23
TCL RESPONSE #4	06/26/23
BUILDING COMMENT RESPONSE	08/16/23
BUILDING COMMENT RESPONSE	02/14/24

#### NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT.

NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.





ms consultants, inc. engineers, architects, planners 2221 Schrock Road Columbus, Ohio 43229-1547 phone 614.898.7100

PROJECT

fax 614.898.7570

PROPOSED PT22S BUILDING

2141 GIBSON BLVD SE ALBUQUERQUE, NM 87106

SHEET TITLE

SITE GRADING PLAN



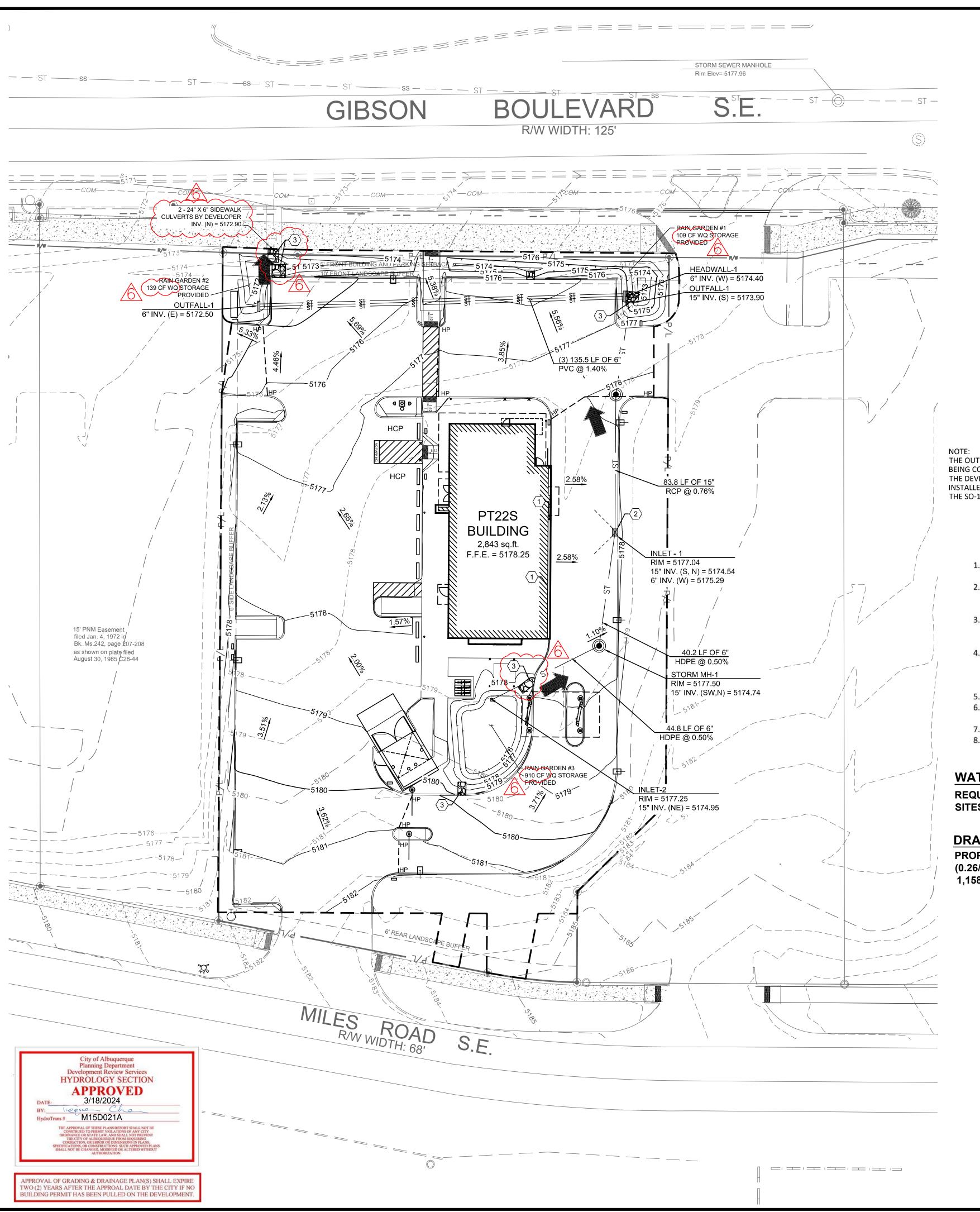
DRAWN BY: TDB

CHECKED BY: JCB

PROJECT NO: 40497-22

DRAWING

C-5.0



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- ALL GRADING AND CONSTRUCTION BEYOND THE LIMITS OF THE WHATABURGER SITE TO BE DONE BY DEVELOPER.
- DEVELOPER TO PERFORM ROUGH GRADING OF THE WHATABURGER SITE.
- SEE SHEET C-7.2 FOR STORM DETAILS.
- DEVELOPER TO PERFORM ROUGH GRADING OF THE WHATABURGER SITE.

## **KEYED NOTES:**

PROPOSED DOWNSPOUT COLLECTOR SYSTEM.

6" STORM LINE FROM ROOF DRAIN TO CONNECT TO PROPOSED STORM SYSTEM. CONTRACTOR TO MAINTAIN A MINIMUM SLOPE OF 1.00% ON ALL ROOF

CLASS B RIP RAP OVER GEOTEXTILE FABRIC.

THE OUTFALL SIDEWALK CULVERTS ARE A PART OF THE WORK ORDER PACKAGE 643186 BEING COMPLETED BY THE DEVELOPER AND HAVE BEEN FINANCIALLY GUARANTEED BY THE DEVELOPER WITH THE CITY. IN THE EVENT THE SIDEWALK CHASES ARE NOT INSTALLED BY THE DEVELOPER, AN SO-19 PERMIT WOULD BE REQUIRED. PLEASE SEE THE SO-19 NOTES BELOW:

### Private Drainage Facilities within City Right-of-Way

Notice to Contractor (Special Order 19 ~ "SO-19")

- 1. An excavation permit will be required before beginning any work within City Right-Of-Way.
- 2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- 3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
- 4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- 5. Backfill compaction shall be according to traffic/street use.
- 6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
- 7. Work on arterial streets may be required on a 24-hour basis. 8. Contractor must contact Augie Armijo at (505) 857-8607 and
- Construction Coordination at 924-3416 to schedule an

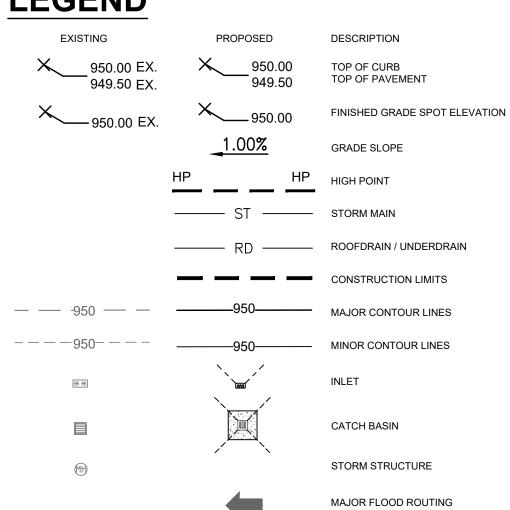
### WATER QUALITY REQUIREMENTS

REQUIRED STORMWATER QUALITY VOLUME FOR REDEVELOPED SITES EQUALS 0.26 INCHES PER SQ.-FT. OF IMPERVIOUS SURFACE.

### **DRAINAGE CALCULATIONS**

PROPOSED IMPERVIOUS AREA = 33,613 SQ.-FT. (0.26/12) X 33,613 = 728.3 CU.-FT. WATER QUALITY VOLUME REQUIRED 1,158 CU-FT. WATER QUALITY VOLUME PROVIDED, THEREFORE, THIS REQUIREMENT IS MET.

## **LEGEND**





SITE DATA			
	SQ. FT.	ACRES	PERCENT
LIMITS OF DISTURBANCE	44,171	1.01	-
TOTAL SITE AREA	42,107	0.97	-
EXISTING PERVIOUS	0	0.00	0.0%
EXISTING IMPERVIOUS	42,107	0.97	100.0%
TOTAL PROPOSED PERVIOUS	8,494	0.20	20.2%
TOTAL PROPOSED IMPERVIOUS	33,613	0.77	79.8%

**PARKING DATA** 

REQUIRED PROVIDED  STANDARD 24 36  ADA 1 2  TOTAL 25 38  BICYCLE 3 3 3  MOTORCYCLE 1 1 2  *8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES  ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  ***BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ***BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES				
ADA 1 2 TOTAL 25 38 BICYCLE 3 3 3 MOTORCYCLE 1 2 *8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  SPACES  ****KING SPACE PER 25 STANDARD SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES			REQUIRED	PROVIDED
TOTAL 25 38 BICYCLE 3 3 3 MOTORCYCLE 1 2 *8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  SPACES  ***BICYCLE PARKING OF REQUIRED AUTOMOBILE SPACES  ***BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES		STANDARD	24	36
BICYCLE 3 3 3 MOTORCYCLE 1 2  *8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES  ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  ***BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES		ADA	1	2
MOTORCYCLE  *8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES  ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  SPACES  ***OF A SPACE PER 25 STANDARD SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES		TOTAL	25	38
**8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES  ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  ***BACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED AUTOMOBILE SPACES		BICYCLE	3	3
GFA (2,974 SF OF GFA)  **1 ADA SPACE PER 25 STANDARD SPACES  ***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  Know what's below.		MOTORCYCLE	1	2
**** MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES  *****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  ***********************************		GFA (2,974 SF OF GFA)		
SPACES ****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  Know what's below.				
OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES  Know what's below.			ACE PER 25 AUT	OMOBILE
SPACES  Know what's below.	1	****BICYCLE PARKING		
Know what's below.			OF REQUIRED A	UTOMOBILE
SCALE: 1"=20' Call before you dig.		Know what's		BIII dig.

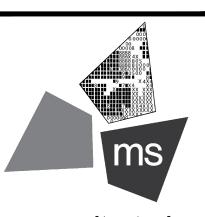
#### REVISION/DATE/DESCRIPTION

	60% REVIEW SET	05/16/22
	TCL SUBMISSION	06/09/22
	90% REVIEW SET	07/01/22
	PERMIT REVIEW SET	07/22/22
	TCL REVISION 1	09/15/22
	TCL / G&D RESPONSE	11/28/22
	TCL RESPONSE #3	12/14/22
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	BUILDING COMMENT RESPONSE	08/16/23
<u>2</u>	BUILDING COMMENT RESPONSE	02/14/24

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ms consultants, inc. engineers, architects, planners 2221 Schrock Road Columbus, Ohio 43229-1547 phone 614.898.7100 fax 614.898.7570

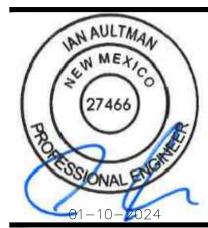
### PROJECT

PROPOSED PT22S BUILDING

2141 GIBSON BLVD SE ALBUQUERQUE, NM 87106

SHEET TITLE

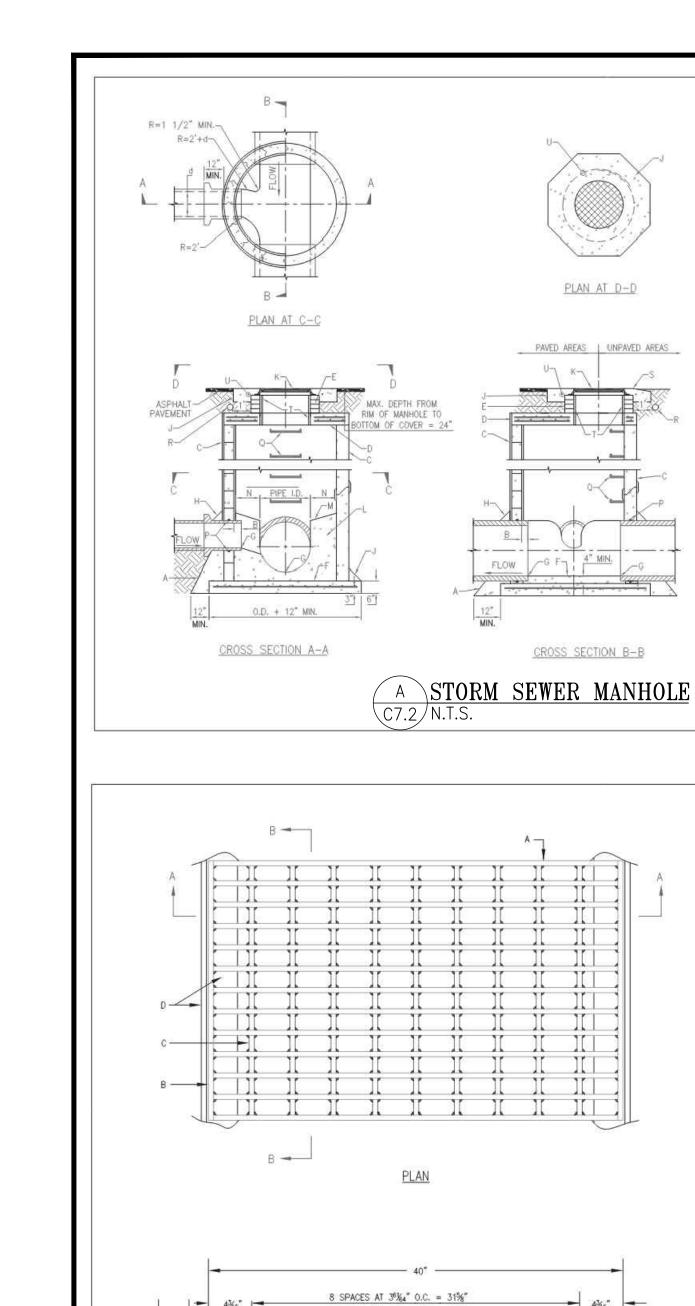
SITE DRAINAGE PLAN



CHECKED BY: 40497-22 PROJECT NO:

DRAWING

C-5.1



1. USE TYPE "C" MANHOLE FOR DEPTHS OF 5. COMPACT ALL BACKFILL AROUND MANHOLE LESS THAN 6' MEASURED FROM INVERT TO TO 95% (ASTM).

GENERAL NOTES

CONSTRUCTION NOTES

SPRINGLINE OF PIPE.

FLUSH TO 2" MAX., MEASURED AT

THE TYPE OF GASKET USED. D. PRECAST CONCRETE TOP SLAB, SEE

STANDARD DRAWING 2212.

- USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PIPE PENETRATIONS.
- 7. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE. 8. MANHOLES GREATER THAN 20' IN DEPTH
- 2, CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" MANHOLE IN LIEU OF TYPE "E" WILL REQUIRE A SEPARATE STRUCTURAL
- MANHOLE FOR DEPTHS OF 6' OR MORE. 3. MANHOLES GREATER THAN 18' IN DEPTH SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS ONLY, 4. DESIGN APPLIES TO 4" TO 6" I.D. MANHOLES.
- A. CONCRETE PIPE SUPPORTS SHALL EXTEND G. INVERT ELEVATION AS SHOWN ON PLANS. OUTSIDE OF MANHOLE TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING PROVIDE 0.10' (MINIMUM) OF FALL BETWEEN INVERT(S)-IN AND INVERT-OUT. LINE. NOT APPLICABLE FOR FLEXIBLE PIPE. H. 6" GROUT FILLET ON UPPER HALF OF PIPE B. PIPE PENETRATION INTO MANHOLE SHALL BE
- J. OCTAGONAL CONCRETE PAD, SEE STANDARD DWG. 2461 FOR REFERENCE. C. MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF BLOCK K. MANHOLE FRAME AND COVER, SEE DRAWING
- IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF L. CONCRETE, SEE SPECIFICATION SECTION 101. MANHOLE. IF PRECAST CONCRETE IS USED, M. SLOPE 1" PER FT. FROM PIPE CROWN. USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND N. SHELF TO BE 9" WIDE MIN.
- P. APPROVED WATERSTOP TO BE COMPATIBLE INTERIOR OF EXPANSION JOINTS OR USE WATERTIGHT RUBBER GASKETS, IF RUBBER WITH TYPE OF PIPE. Q. STEPS TO BE INSTALLED PER STANDARD SPECIFICATION SECTION 920 AND DRAWING SECTIONS DO NOT NEED TO BE GROUTED BUT THE MANUFACTURER MUST STAMP THE INTERIOR OF EACH PRECAST SECTION WITH
  - STANDARD SPECIFICATION SECTION 170. S. CONCRETE COLLAR IN UNPAVED AREAS, SEE STANDARD DRAWING 2461. . APPLY 1/2" THICK MORTAR COATING TO
- E. USE MAX. 4 COURSES GRADE MS BRICK ON UNPAVED STREET FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE. INTERIOR OF OPENING. F. CONCRETE BASE TO BE POURED IN PLACE U. #4 REBAR PER STANDARD DRAWING 2461. USING NO. 4 BARS AT 6" O.C. EACH WAY FOR MANHOLE DEPTHS OF 16' OR GREATER. V. TOP OF CONCRETE COLLAR SHALL BE NO. 4 BARS AT 12" O.C. EACH WAY FOR STAMPED WITH LINE SIZE AND FLOW DIRECTION ARROWS, MINIMUM LETTER SIZE MANHOLE DEPTH OF LESS THAN 16'. SHALL BE 3" IN HEIGHT. REVISIONS CITY OF ALBUQUERQUE

OF GRATE.

STORM SEWER

MANHOLE TYPE "C"

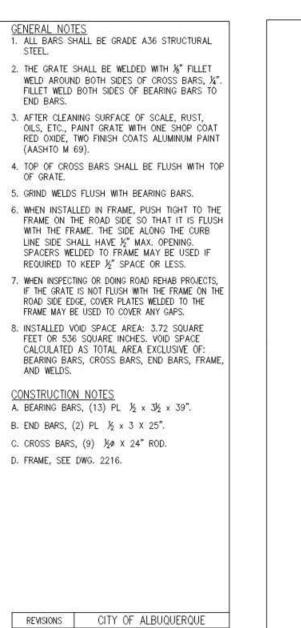
GENERAL NOTES

1. FOR SINGLE GRATE TYPE STORM INLET DELETE CENTER SUPPORT AND MOVE ONE END WALL TO FORM NEW 2. FOR STORM INLET GUTTER TRANSITION, SEE DWG. 2207. 3. OUTLET PIPE SIZE, PER DESIGN REQUIREMENT. (MAXIMUM 4. MAXIMUM INLET DEPTH = 10', FOR DEPTHS EXCEEDING 10', A SEPARATE STRUCTURAL DESIGN WILL BE 5. FOR FRAME & GRATING, SEE DWG. 2216, 2220, AND 6. FOR CENTER SUPPORT ASSEMBLY, SEE DWG. 2215. 7. FOR USE WHERE A TYPE-A INLET EXISTS LESS THAN 150' UPSTREAM. "DRAINS TO RIVER" ALUMINUM MEDALLION SHALL BE INSTALLED ON EACH NEW STORM INLET, THE MEDALLION IS TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS IN THE CENTER OF THE INLET, WITH THE BOLT HOLE 6 INCHES FROM THE FRONT OF THE INLET. CONSTRUCTION NOTES

A. GUTTER TRANSITION. B. TOP OF CURB.

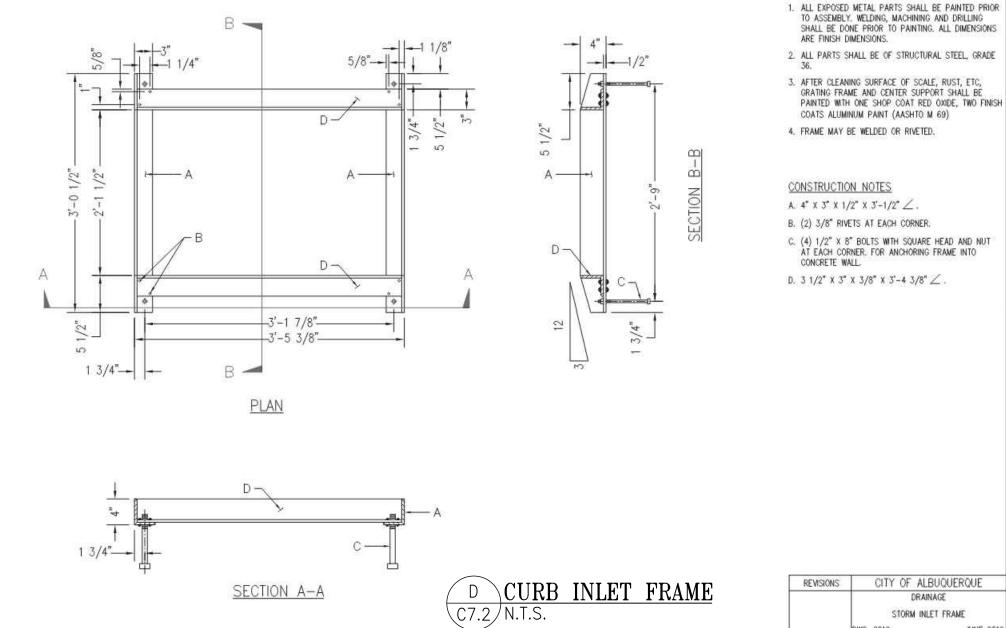
GENERAL NOTES

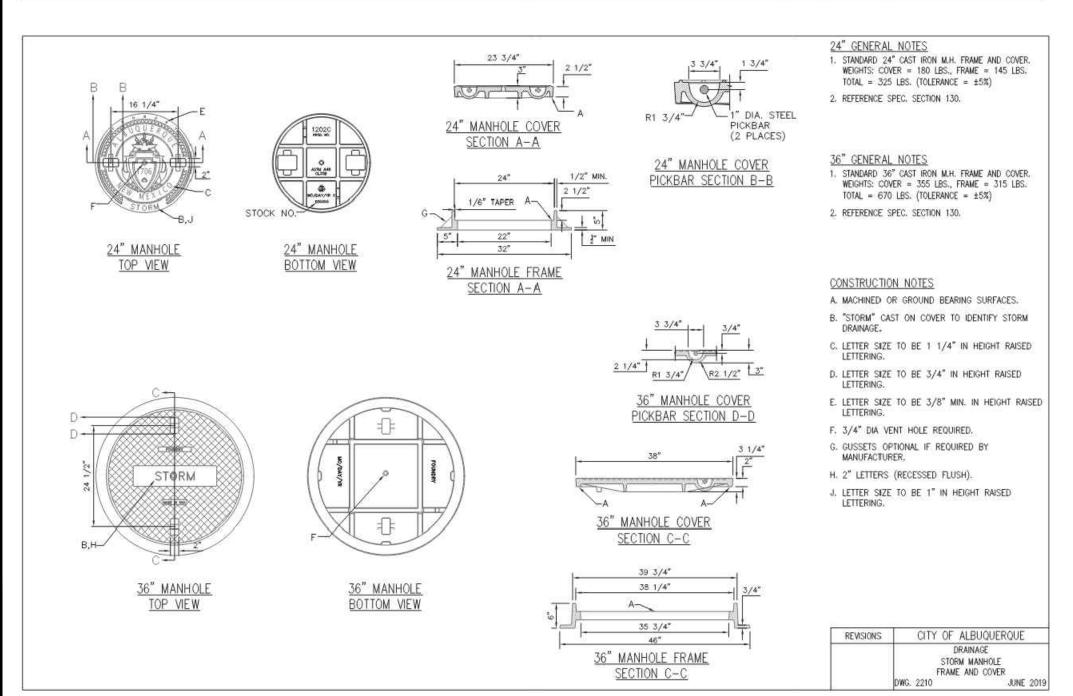
JUNE 2019



STORM INLET

ALBUQUERQUE GRATE





C STORM INLET GRATE

⊢ A — ⊢

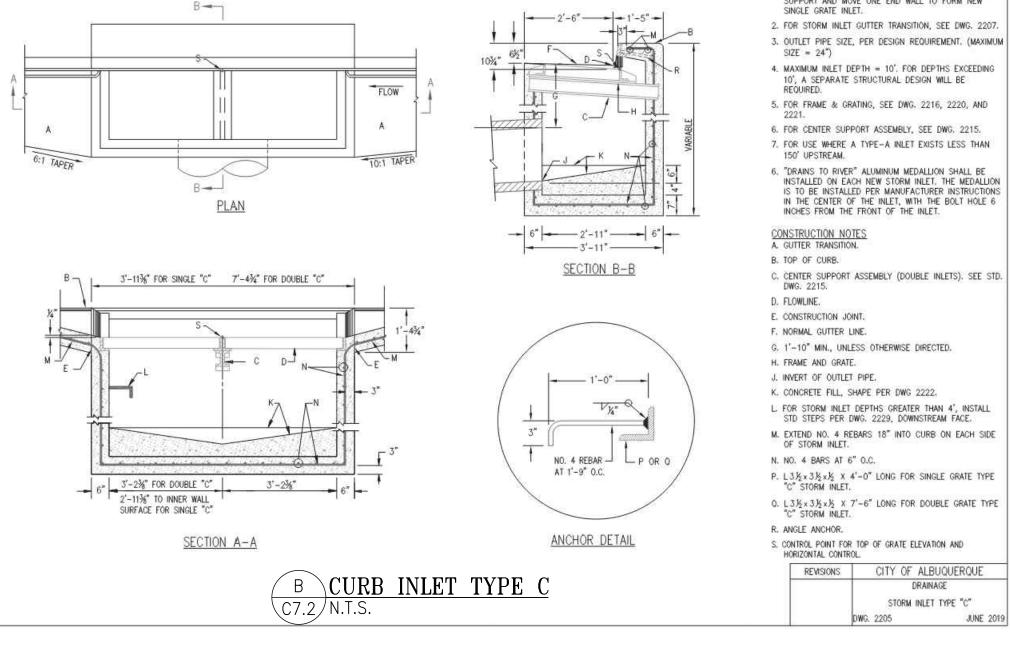
SECTION A-A

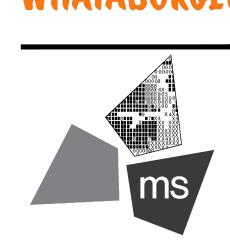
E STORM MH FRAME AND COVER

DRAWN BY: JCB CHECKED BY: 40497-22 PROJECT NO:

DRAWING

C-7.2





REVISION/DATE/DESCRIPTION

TCL / G&D RESPONSE 11/28/22

05/16/22

06/09/22

07/01/22

07/22/22

09/15/22

12/14/22

01/11/23

05/05/23

06/26/23

08/16/23

02/14/24

60% REVIEW SET

TCL SUBMISSION

90% REVIEW SET

TCL REVISION 1

PT22S UPDATE

PERMIT REVIEW SET

TCL RESPONSE #3

**ISSUE FOR PERMIT** 

TCL RESPONSE #4

**BUILDING COMMENT** 

**BUILDING COMMENT** 

THIS ARCHITECTURAL AND ENGI-

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RESPONSE

NOTICE

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PROJECT

PROPOSED PT22S BUILDING

2141 GIBSON BLVD SE ALBUQUERQUE, NM 87106

SHEET TITLE

SITE DETAILS