

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 5, 2022

Nikki Fuentes  
MS Consultants  
333 E Federal St.  
Youngstown, OH 44503

**RE: Whataburger Albuquerque  
2121 Yale Blvd. SE  
Grading and Drainage Plan  
Engineer's Stamp Date: 11/28/2022  
Hydrology File: M15D021A**

Dear Ms. Fuentes:

Based upon the information provided in your submittal received 11/28/2022, the Grading & Drainage Plan is approved for Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 505-924-3695 or [tchen@cabq.gov](mailto:tchen@cabq.gov).

Sincerely,

Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

**Project Title:** Whataburger Albuquerque **Building Permit #:** M15-D021A **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** See attached  
**City Address:** 2121 Yale Blvd. SE

**Applicant:** Whataburger **Contact:** Abraham Vazquez  
**Address:** 300 Concord Plaza Dr., San Antonio, TX 78216  
**Phone#:** 216.476.6614 **Fax#:** \_\_\_\_\_ **E-mail:** avazquez@wbhq.com  
**Other Contact:** MS Consultants **Contact:** Nikki Fuentes  
**Address:** 333 E Federal St., Youngstown, OH 44503  
**Phone#:** 941.539.4240 **Fax#:** \_\_\_\_\_ **E-mail:** nfuentes@msconsultants.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE  
**IS THIS A RESUBMITTAL?** ☒ Yes \_\_\_\_\_ No  
**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 11/28/22 **By:** Nikki Fuentes

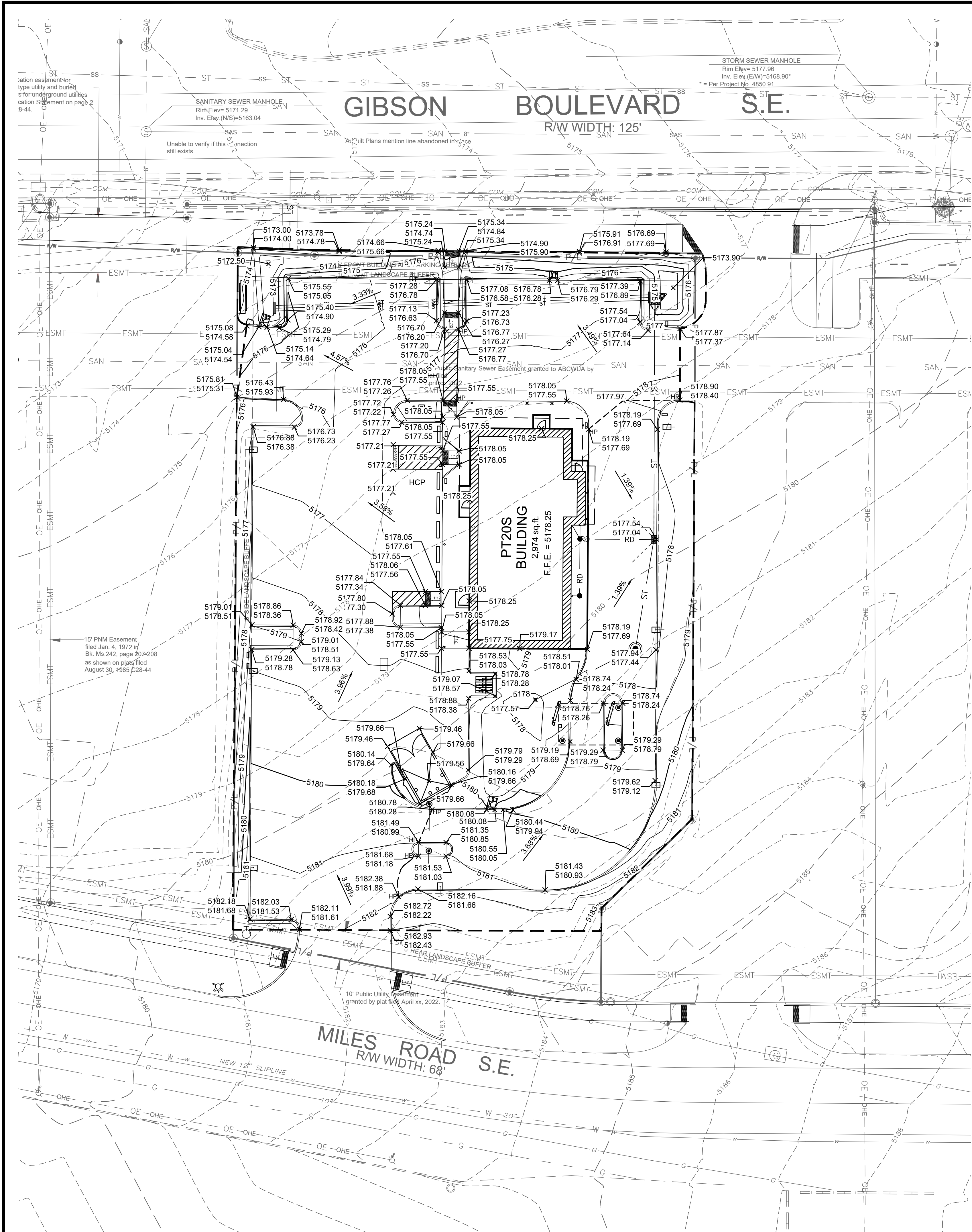
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



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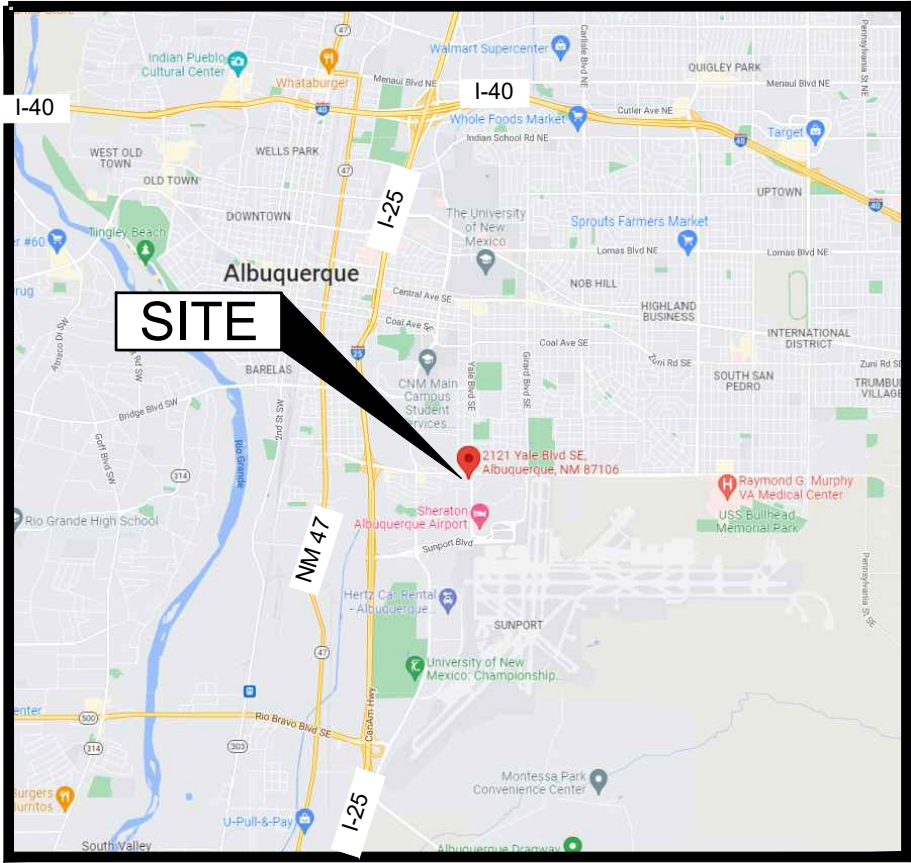


GENERAL NOTES:

- A. ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO AND STATE OF NEW MEXICO, BY SURVEYOR: SURVTEK, INC., 3816 CARLISLE BLVD NE, SUITE C, ALBUQUERQUE, NM, 87107, PHONE: (505)-300-4732 .
- B. ALL CONSTRUCTION METHODS AND MATERIAL MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- C. ALL PROPOSED SPOT ELEVATIONS SHOWN ARE TOP OF CURB AND FINAL GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- D. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- E. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND CONTACT ENGINEER PRIOR TO BEGINNING WORK IF DISCREPANCY IS FOUND. CONTRACTOR TO VERIFY ASSUMED FINISHED FLOOR ELEVATION PRIOR TO BEGINNING WORK.
- F. THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- G. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START. TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- H. ALL WORK SHALL BE PERFORMED FROM PRIVATE PROPERTY. ALL TRAFFIC LANES MUST REMAIN OPEN AT ALL TIMES.
- I. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITIES DURING CONSTRUCTION AND ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- J. CONTRACTOR SHALL INSTALL AND BACKFILL STRUCTURES AND TRENCHES PER DETAILS ON SHEET C-7.1.
- K. ALL EXISTING UTILITIES ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
- L. ALL STORM CONDUITS ARE ADS N-12 SMOOTH INTERIOR HDPE PIPE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- M. ALL GRADING AND CONSTRUCTION BEYOND THE LIMITS OF THE WHATABURGER SITE TO BE DONE BY DEVELOPER.

KEYED NOTES:

- ① CONTRACTOR TO MAINTAIN 2.00% MAX CROSS SLOPE ON SIDEWALK.
- ② CONTRACTOR TO MAINTAIN MAX 2.00% SLOPE IN ALL DIRECTIONS IN HANDICAP ACCESSIBLE AREA.



SITE DATA			
	SQ. FT.	ACRES	PERCENT
LIMITS OF DISTURBANCE	44,171	1.01	-
TOTAL SITE AREA	42,107	0.97	-
EXISTING PERVIOUS	0	0.00	0.0%
EXISTING IMPERVIOUS	42,107	0.97	100.0%
TOTAL PROPOSED PERVIOUS	8,494	0.20	20.2%
TOTAL PROPOSED IMPERVIOUS	33,613	0.77	79.8%

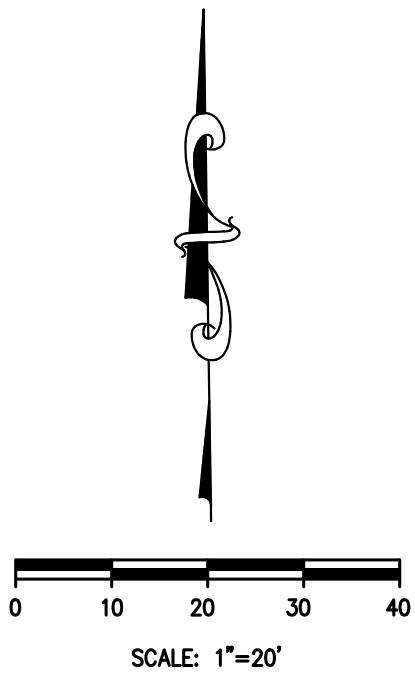
PARKING DATA

STANDARD	REQUIRED	PROVIDED
ADA	24	36
TOTAL	1	2
BICYCLE	25	38
MOTORCYCLE	3	3
	1	2
*8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)		
**1 ADA SPACE PER 25 STANDARD SPACES		
***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES		
****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES		



LEGEND

- EXISTING
- 950.00 EX.
- 949.50 EX.
- 950.00 EX.
- PROPOSED
- 950.00
- 949.50
- 950.00
- 1.00%
- HP
- ST
- RD
- 950
- 950
- INLET
- CATCH BASIN
- STORM STRUCTURE
- MAJOR FLOOD ROUTING
- DESCRIPTION
- TOP OF CURB
- TOP OF PAVEMENT
- FINISHED GRADE SPOT ELEVATION
- GRADE SLOPE
- HIGH POINT
- STORM MAIN
- ROOF DRAIN / UNDER DRAIN
- CONSTRUCTION LIMITS
- MAJOR CONTOUR LINES
- MINOR CONTOUR LINES

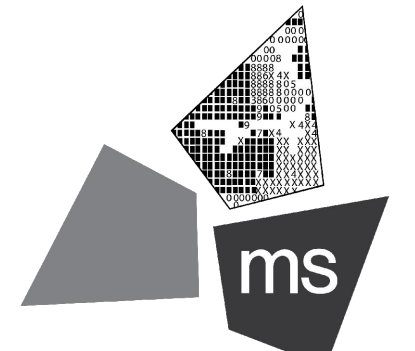


REVISION/DATE/DESCRIPTION

60% REVIEW SET	05/16/22
TCL SUBMISSION	06/09/22
90% REVIEW SET	07/01/22
PERMIT REVIEW SET	07/22/22
TCL REVISION 1	09/15/22
TCL / G&D RESPONSE	11/28/22

NOTICE

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ms consultants, inc.  
engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229-1547  
phone 614.898.7100  
fax 614.898.7570

PROJECT

PROPOSED PT20S BUILDING

2141 GIBSON BLVD SE  
ALBUQUERQUE, NM  
87106

SHEET TITLE

SITE GRADING  
PLAN



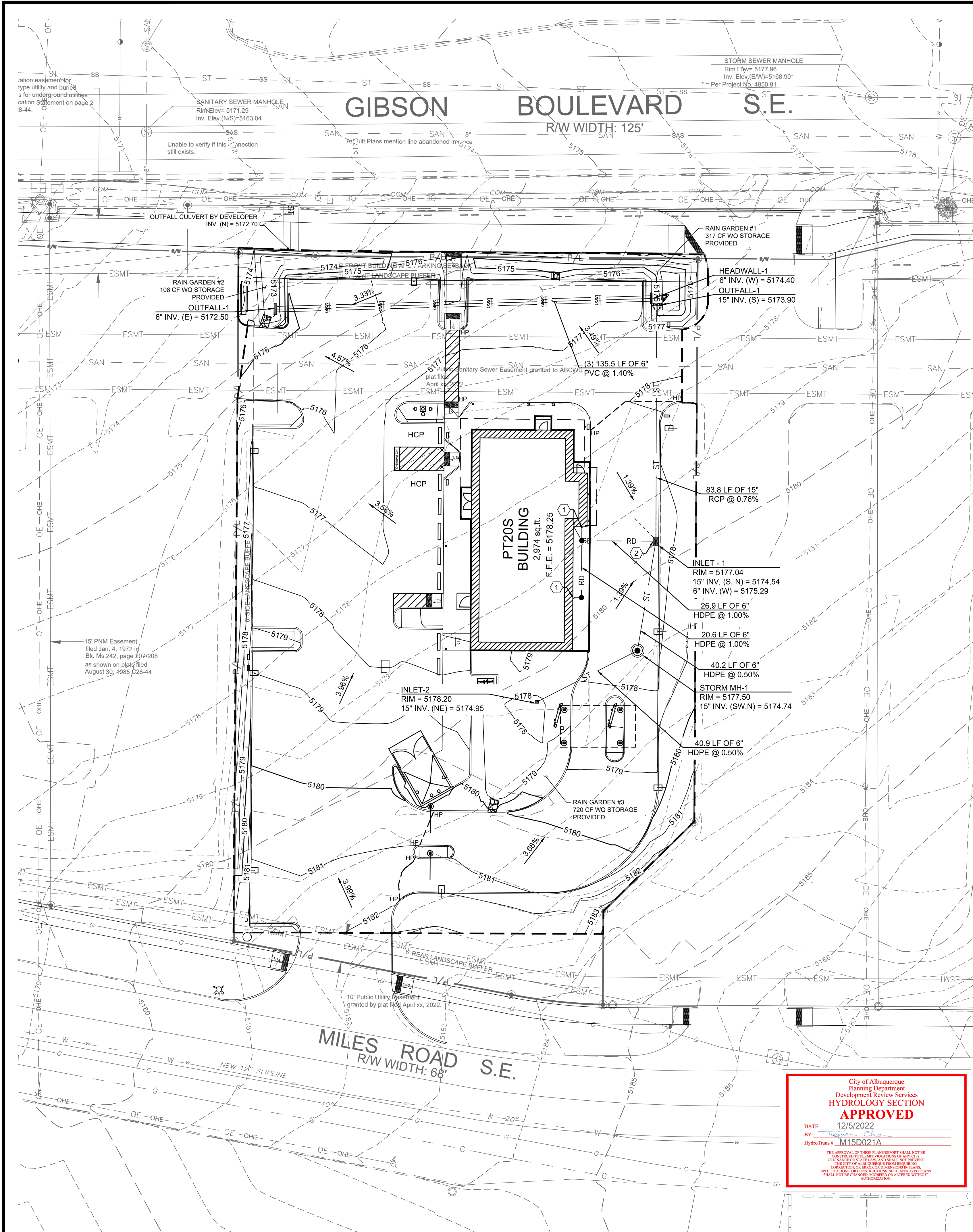
DRAWN BY:	TDB
CHECKED BY:	JCB
PROJECT NO:	40497-22

DRAWING

C-5.0



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- ALL STORM CONDUITS ARE ADS N-12 SMOOTH INTERIOR HDPE PIPE OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- ALL GRADING AND CONSTRUCTION BEYOND THE LIMITS OF THE WHATABURGER SITE TO BE DONE BY DEVELOPER.
- DEVELOPER TO PERFORM ROUGH GRADING OF THE WHATABURGER SITE.
- SEE SHEET C-7.2 FOR STORM DETAILS.
- DEVELOPER TO PERFORM ROUGH GRADING OF THE WHATABURGER SITE.

## KEYED NOTES:

- PROPOSED DOWNSPOUT COLLECTOR SYSTEM.
- 6" STORM LINE FROM ROOF DRAIN TO CONNECT TO PROPOSED STORM SYSTEM. CONTRACTOR TO MAINTAIN A MINIMUM SLOPE OF 1.00% ON ALL ROOF DRAIN PIPES.

NOTE:  
THE OUTFALL SIDEWALK CULVERTS ARE A PART OF THE WORK ORDER PACKAGE 643186 BEING COMPLETED BY THE DEVELOPER AND HAVE BEEN FINANCIALLY GUARANTEED BY THE DEVELOPER WITH THE CITY. IN THE EVENT THE SIDEWALK CHASES ARE NOT INSTALLED BY THE DEVELOPER, AN SO-19 PERMIT WOULD BE REQUIRED. PLEASE SEE THE SO-19 NOTES BELOW:

### Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "SO-19")

- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

### WATER QUALITY REQUIREMENTS

REQUIRED STORMWATER QUALITY VOLUME FOR REDEVELOPED SITES EQUALS 0.26 INCHES PER SQ.-FT. OF IMPERVIOUS SURFACE.

### DRAINAGE CALCULATIONS

PROPOSED IMPERVIOUS AREA = 33,613 SQ.-FT.  
(0.26/12) X 33,613 = 728.3 CU.-FT. WATER QUALITY VOLUME REQUIRED  
1,145 CU.-FT. WATER QUALITY VOLUME PROVIDED, THEREFORE, THIS REQUIREMENT IS MET.

## LEGEND

EXISTING	PROPOSED	DESCRIPTION
950.00 EX. 949.50 EX.	950.00 949.50	TOP OF CURB TOP OF PAVEMENT
950.00 EX.	950.00	FINISHED GRADE SPOT ELEVATION
1.00%	1.00%	GRADE SLOPE
HP	HP	HIGH POINT
ST	ST	STORM MAIN
RD	RD	ROOFDRAIN / UNDERDRAIN
---	---	CONSTRUCTION LIMITS
950	950	MAJOR CONTOUR LINES
950	950	MINOR CONTOUR LINES
INLET	INLET	CATCH BASIN
STORM STRUCTURE	STORM STRUCTURE	STORM STRUCTURE
MAJOR FLOOD ROUTING	MAJOR FLOOD ROUTING	MAJOR FLOOD ROUTING



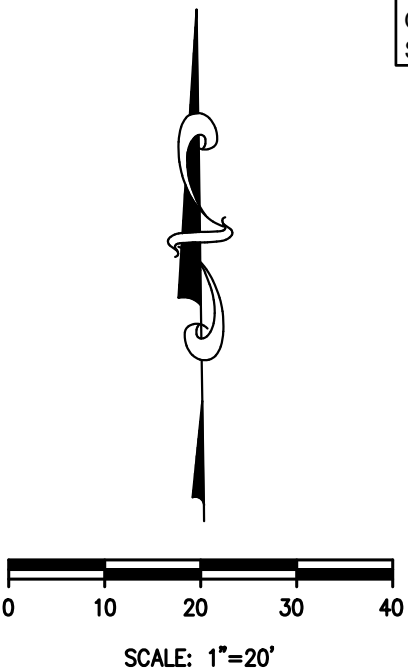
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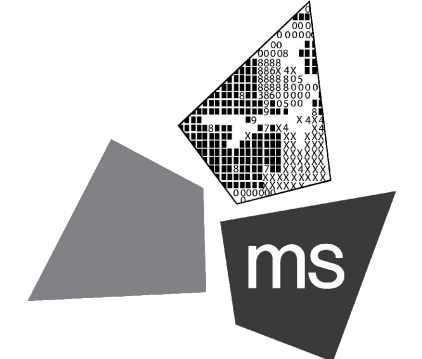


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fax 614.898.7570

### PROJECT

### PROPOSED PT20S BUILDING

2141 GIBSON BLVD SE  
ALBUQUERQUE, NM  
87106

### SHEET TITLE

### SITE DRAINAGE PLAN



DRAWN BY: TDB

CHECKED BY: JCB

PROJECT NO: 40497-22

### DRAWING

C-5.1