

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 27, 2023

Ian Aultman, P. E.
MS Consultants, Inc
2221 Schrock Rd.
Columbus, OH 43229

Re: Whataburger
2141 Gibson Blvd. SE
Traffic Circulation Layout
Engineer's Stamp 06-26-23 (M15-D021A)

Dear Mr. Aultman,

The TCL submittal received 06-01-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation. **AN APPROVED/ACCEPTED WORK ORDER IS A CONDITION OF THE RELEASE FINAL CO.**

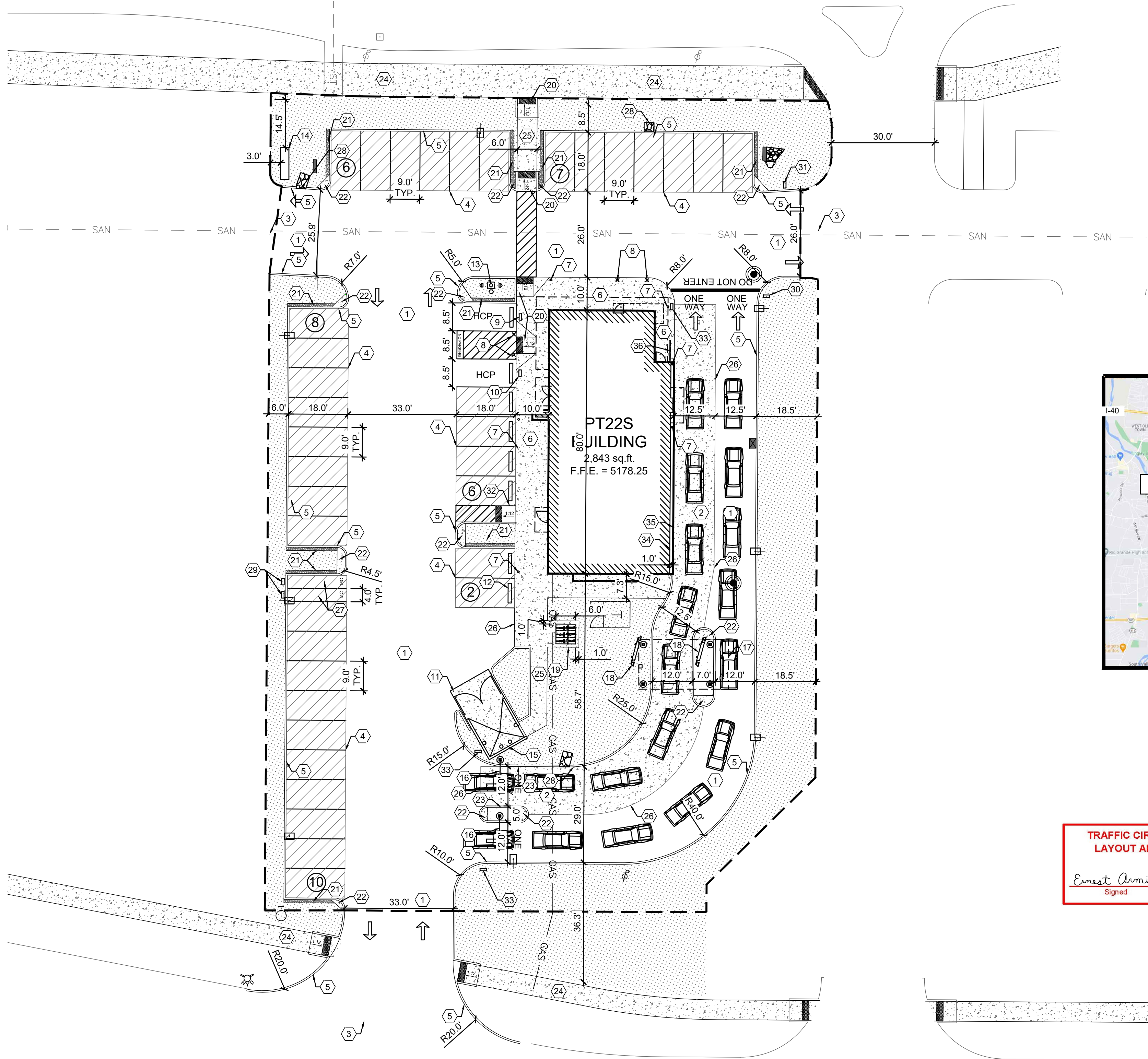
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

N:\03\624049719-Albuquerque, NM\Docs\CAD\CIVIL\DWG set\C-3.0 Site Dimension Plan.dwg, 6/26/2023 2:43 PM, bole, jason



SITE DATA

	SQ. FT.	ACRES	PERCENT
LIMITS OF DISTURBANCE	44,171	1.01	-
TOTAL SITE AREA	42,107	0.97	-
EXISTING PERVIOUS	0	0.00	0.0%
EXISTING IMPERVIOUS	42,107	0.97	100.0%
TOTAL PROPOSED PERVIOUS	8,494	0.20	20.2%
TOTAL PROPOSED IMPERVIOUS	33,613	0.77	79.8%

PARKING DATA

	REQUIRED	PROVIDED
STANDARD	24	36
ADA	1	2
TOTAL	25	38
BICYCLE	3	3
MOTORCYCLE	1	2

*8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)

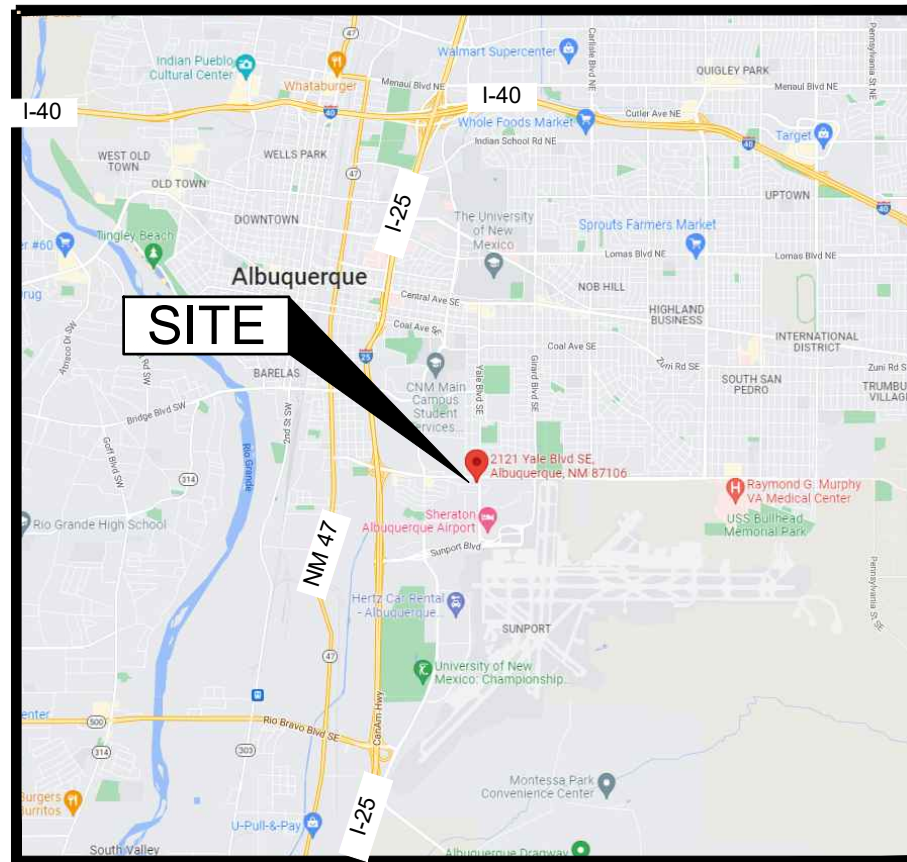
**1 ADA SPACE PER 25 STANDARD SPACES

***1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES

****BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES

NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.



VICINITY MAP
N.T.S.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 6/27/2023
Signed Date

LEGEND

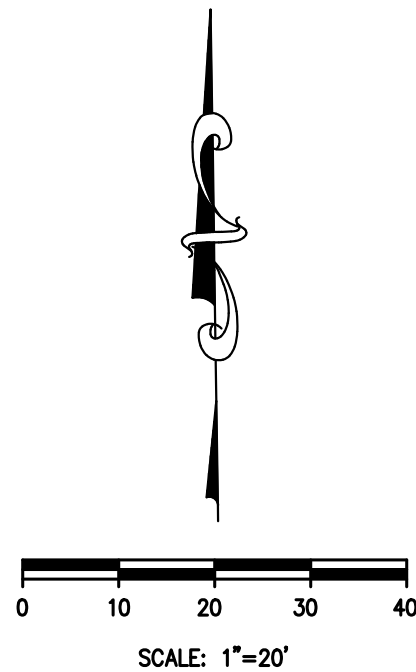
EXISTING	PROPOSED	DESCRIPTION
		CONCRETE
		HEAVY DUTY ASPHALT PAVEMENT
		LIGHT DUTY ASPHALT PAVEMENT
		CONSTRUCTION LIMITS
		SETBACK LINE
		LIGHT POLE
		UTILITY POLE
		TREES AND SHRUBBERY

GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO AND STATE OF NEW MEXICO, BY SURVEYOR: SURVTEK, INC., 3816 CARLISLE BLVD NE SUITE C, ALBUQUERQUE, NM, 87107, PHONE: (505)300-4732.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- ALL RADII ARE 3.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.

KEYED NOTES:

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C-7.0.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C-7.0.
- PROPOSED ASPHALT PAVEMENT TO BE FLUSH WITH EXISTING.
- PROPOSED PAINTED PARKING STRIPING (TYPICAL). ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS OR SPECIFICATIONS. SEE DETAIL ON SHEET C-7.0.
- PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C-7.0.
- PROPOSED TURN DOWN CONCRETE SIDEWALK. SEE DETAIL C ON SHEET C-7.0.
- PROPOSED BOLLARD, SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED ILLUMINATED BOLLARD, TYP. OF 4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POLE-MOUNTED ADA PARKING SIGNS. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS. SEE DETAIL ON SHEET C-7.0.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POLE-MOUNTED ADA PARKING SIGN WITH "VAN ACCESSIBLE" SIGN. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS. SEE DETAIL ON SHEET C-7.0.
- CONCRETE DUMPSTER ENCLOSURE APRON. SEE DETAIL ON SHEET C-7.0.
- PROPOSED PRE-CAST CONCRETE WHEEL STOP (TYP. OF 8), SEE DETAIL ON SHEET C-7.0.
- FLAGPOLE WITH GROUND-MOUNTED LIGHTS, UNITEDFLAG AND BANNER, GARRISON TYPE OR OWNER APPROVED EQUAL, 30' HIGH, 5" BUTT ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY STRUCK, NYLON FLAGSNAPS, AND HALYARDS. ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED 26" HT POLE SIGN, CONTRACTOR TO COORDINATE WITH OWNER. SEE ELECTRICAL PLANS AND SIGNAGE PACKAGE FOR DETAILS. REFER TO THE STRUCTURAL PLANS FOR FOUNDATION DETAILS.
- PROPOSED DUMPSTER ENCLOSURE AND CONCRETE PAD. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED HEADACHE BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED MENU BOARD CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED EXTERIOR MENU BOARD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED BIKE RACK (TYP. OF 3) TO BE INSTALLED PER THE CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL SHEET C-7.1.
- PROPOSED ADA CURB RAMP WITH 5.0'x5.0' TURNING SPACE AT 2.0% SLOPE MAX. FLARED SIDE(S) ARE TO HAVE A MAX. SLOPE OF 10%, MEASURED PARALLEL TO THE BACK OF THE CURB. SEE DETAILS ON SHEET C-7.5, C-7.6, AND C-7.7.
- PROPOSED 1" WIDE CRUSHED GRANITE STRIP. SEE DETAIL SHEET L-1.1.
- PROPOSED CONCRETE ISLAND NOSE. SEE DETAIL SHEET L-1.1.
- PROPOSED 6" MONOLITHIC CURB. SEE DETAIL SHEET C-7.1.
- PROPOSED SIDEWALK, BY DEVELOPER. IF SIDEWALK IS DAMAGED OR CRACKED DURING CONSTRUCTION, SIDEWALK MUST BE REPAIRED BY THE GC. REFER TO THE COA STANDARD SIDEWALK DETAIL 2430 ON C-7.3 IF NECESSARY.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C-7.0.
- PROPOSED CONCRETE PAVEMENT TO BE FLUSH WITH PROPOSED ASPHALT PAVEMENT.
- PROPOSED MOTORCYCLE PARKING SPACE.
- PROPOSED 3' CURB CUT.
- MOTORCYCLE PARKING SIGN. SEE DETAIL ON SHEET C-7.4.
- PROPOSED DO NOT ENTER SIGN. SEE DETAIL ON SHEET C-7.3.
- PROPOSED NO LEFT TURN SIGN. SEE DETAIL ON SHEET C-7.4.
- PROPOSED DELIVERY RAMP. SEE DETAIL ON SHEET C-7.0.
- PROPOSED ONE WAY SIGN. SEE DETAIL ON SHEET C-7.3.
- BUILDING WALL LIMITS
- FOUNDATION LIMITS
- PROPOSED RAILING. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.

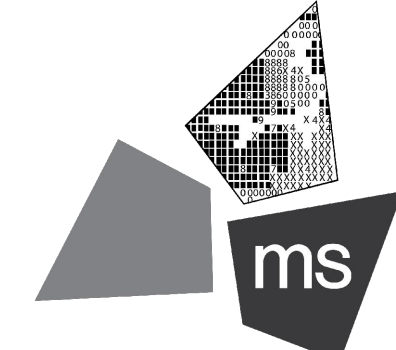


REVISION/DATE/DESCRIPTION

60% REVIEW SET	05/16/22
TCL SUBMISSION	06/09/22
90% REVIEW SET	07/01/22
PERMIT REVIEW SET	07/22/22
TCL REVISION 1	09/15/22
TCL / G&D RESPONSE	11/28/22
TCL RESPONSE #3	12/14/22
PT22S UPDATE	01/11/23
ISSUE FOR PERMIT	05/05/23
TCL RESPONSE #4	06/26/23

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT22S BUILDING

2141 GIBSON BLVD SE
ALBUQUERQUE, NM
87106

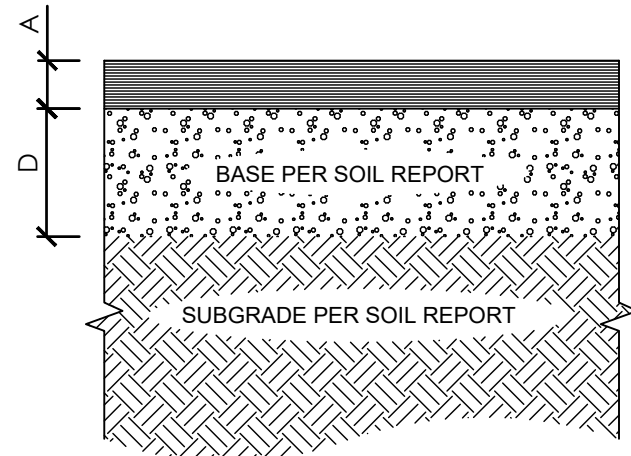
SHEET TITLE

SITE DIMENSION PLAN



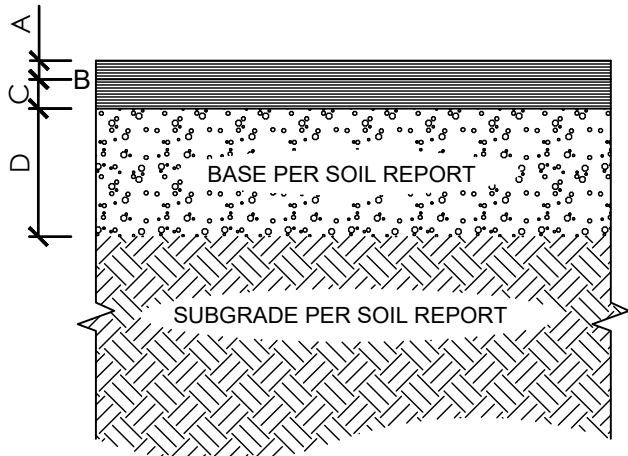
DRAWN BY: TDB
CHECKED BY: JCB
PROJECT NO: 40497-22
DRAWING

C-3.0



LIGHT DUTY PAVING (PARKING)

A = 2.0" ASPHALTIC SURFACE
(NMDOT SECTION 423, SURFACE COURSE)
D = 6" AGGREGATE BASE
(NMDOT SECTION 303)



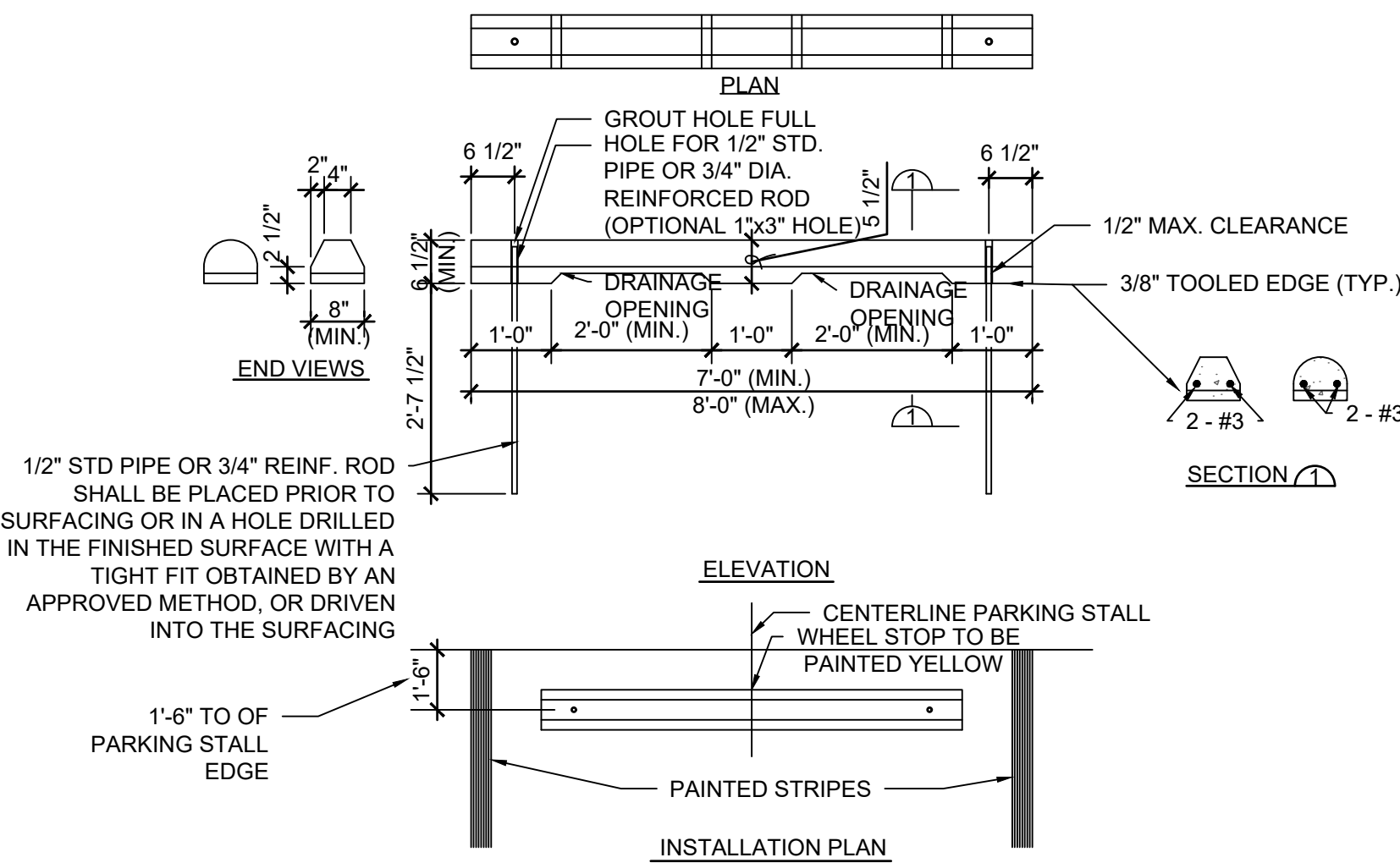
HEAVY DUTY PAVING

A = 1.5" ASPHALTIC SURFACE
(NMDOT SECTION 423, SURFACE COURSE)
B = TACK COAT (0.05 GAL/S.Y.)
C = 2" ASPHALT CONCRETE
(NMDOT SECTION 423, BASE COURSE)
D = 6" AGGREGATE BASE
(NMDOT SECTION 303)

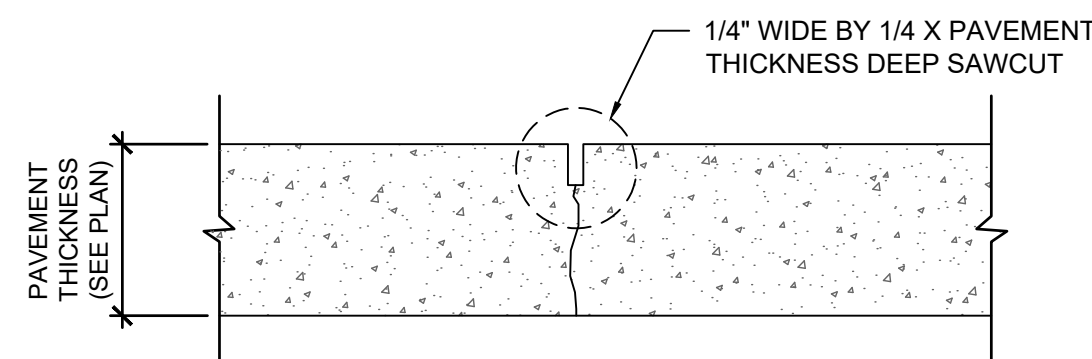
NOTES

- SUBGRADE COMPACTION: PER THE GEOTECHNICAL REPORT.
- BASE COURSE TO CONFORM TO NMDOT STANDARDS FOR BASE COURSE COMPACTED TO 100% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
- ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT NMDOT SPECIFICATIONS.
- PROOFROLL PAVEMENT SUBGRADE WITHIN TWO (2) DAYS PRIOR TO COMMENCEMENT OF PAVING OPERATIONS. PROOFROLL SHOULD BE COMPLETED USING A LOADED TANDEM-AXLE DUMP TRUCK WITH A MINIMUM GROSS WEIGHT OF 20 TONS OR SIMILARLY LOADED RUBBER-TIRE EQUIPMENT.

A ASPHALT PAVING SECTION C7.0 / N.T.S.



E PRE-CAST CONCRETE WHEEL STOP C7.0 / N.T.S.



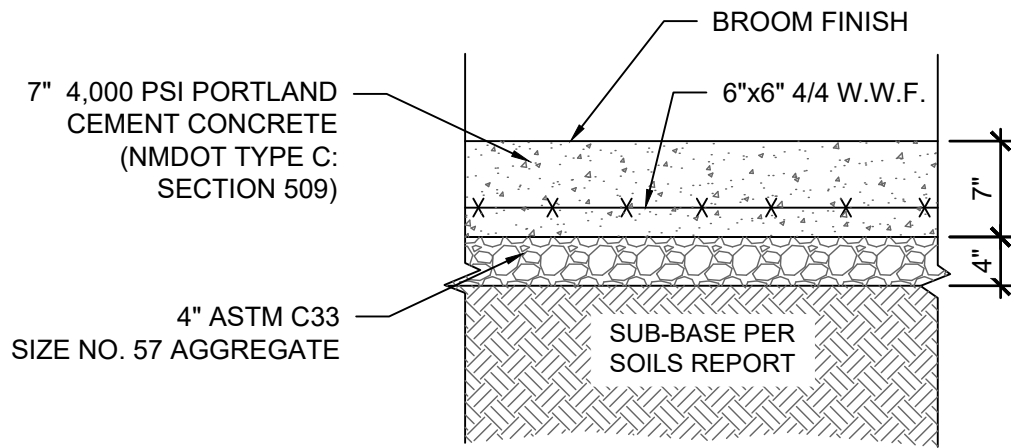
F CURB DETAIL C7.0 / N.T.S.

NOTE:
A. SEE PLAN FOR JOINT SPACING.

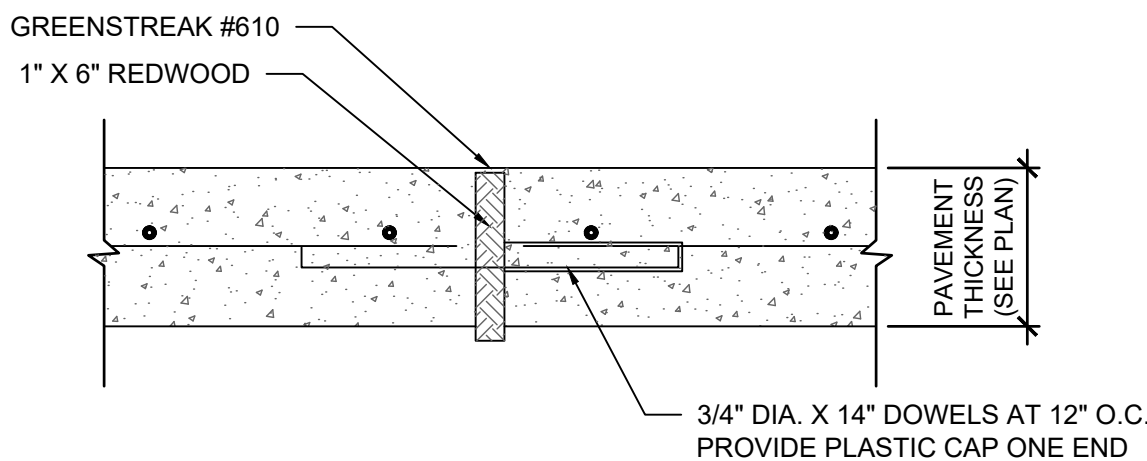
3/4" DIAMETER DOWEL FOR PAVEMENTS LESS THAN 7" THICK. DOWELS TO BE 14" LONG CENTERED WITH JOINT SPACED AT 12" ON CENTER. DOWEL TO BE INSTALLED IN FORM WITH AN APPROVED ALIGNMENT DEVICE. LIGHTLY OIL FULL LENGTH OF DOWEL.

CONTRACTION JOINT

I CONCRETE JOINT DETAILS C7.0 / N.T.S.



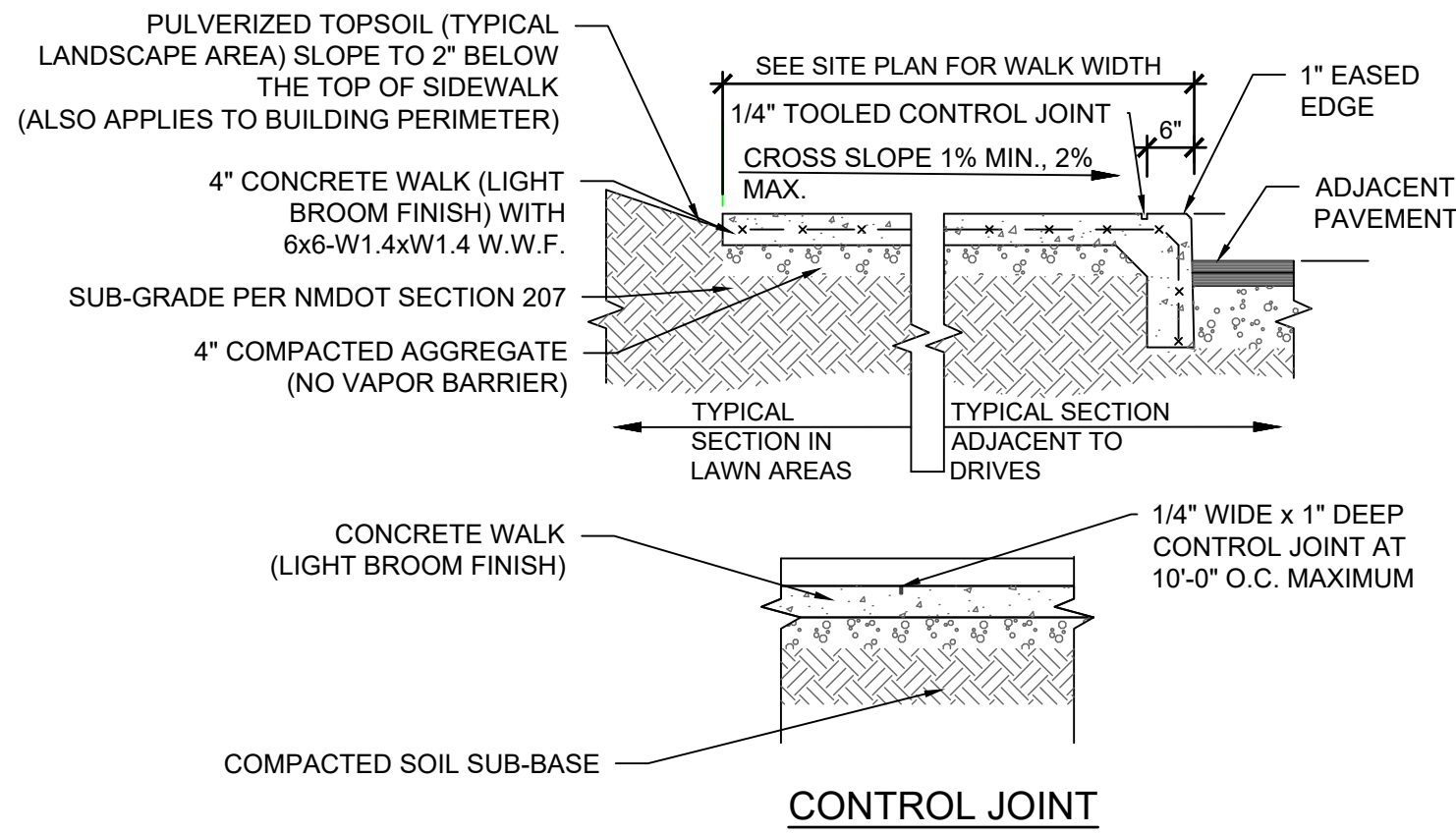
G HEAVY DUTY CONCRETE PAVEMENT C7.0 / N.T.S.



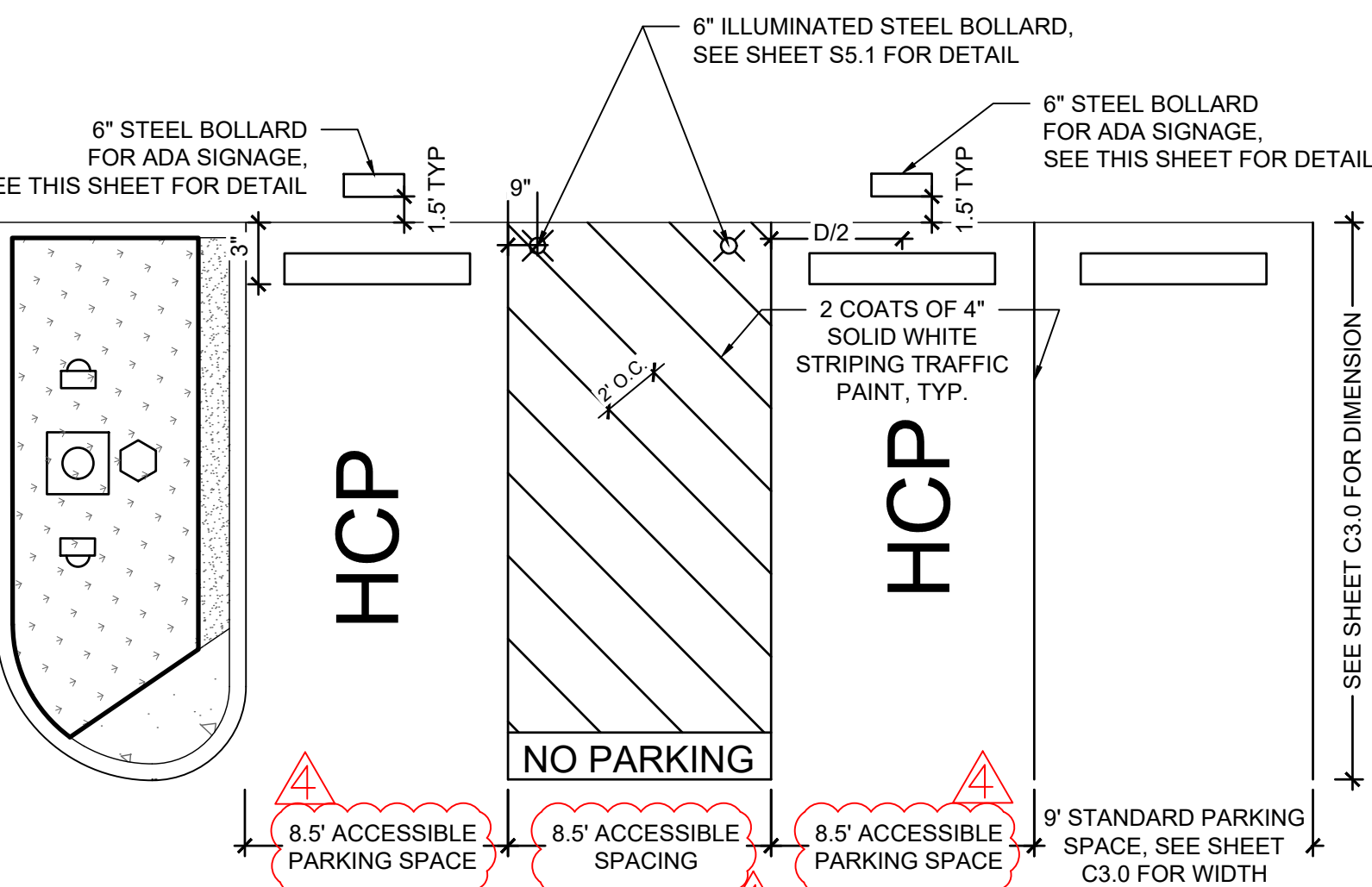
H DELIVERY RAMP C7.0 / N.T.S.

NOTE:
A. ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE GREENSTREAK #610.
B. INSTALL REDWOOD PLANK AFTER JOINTS HAVE BEEN CLEANED AND DRIED.
C. GREENSTREAK #610 APPLICATION SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURER'S REQUIREMENTS.

EXPANSION JOINT



J PARKING STRIPING C7.0 / N.T.S.



NOTE:
SEE DIMENSIONAL CONTROL PLAN FOR PARKING DIMENSIONS. DIMENSIONS SHOWN ARE MINIMUM REQUIRED.

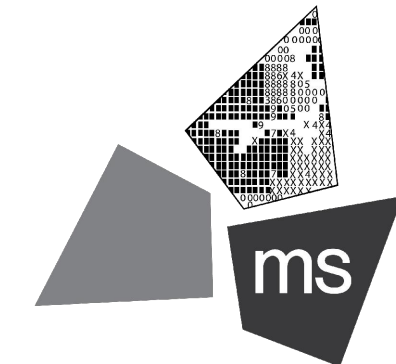
SLOPE NOTE:
IF CIVIL GRADING PLAN INDICATES A CROSS SLOPE GREATER THAN 2% AT ADA SPACES, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER FOR CLARIFICATION AND PLAN REVISION.

REVISION/DATE/DESCRIPTION

60% REVIEW SET	05/16/22
TCL SUBMISSION	06/09/22
90% REVIEW SET	07/01/22
PERMIT REVIEW SET	07/22/22
TCL REVISION 1	09/15/22
TCL / G&D RESPONSE	11/28/22
TCL RESPONSE #3	12/14/22
PT22S UPDATE	01/11/23
ISSUE FOR PERMIT	05/05/23
TCL RESPONSE #4	06/26/23

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIALLY RESERVED.



ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

PROPOSED PT22S BUILDING

2141 GIBSON BLVD SE
ALBUQUERQUE, NM
87106

SHEET TITLE

SITE DETAILS



DRAWN BY: TDB

CHECKED BY: JCB

PROJECT NO: 40497-22

DRAWING

C-7.0