

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 22, 2022

Jason Boley  
ms consultants, inc  
2221 Schrock Rd.  
Columbus, Ohio 44503-1821

**Re: Whataburger**  
**2121 Yale Blvd. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 12-14-22 (M15-D021A)

Dear Mr. Boley,

The TCL submittal received 12-14-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

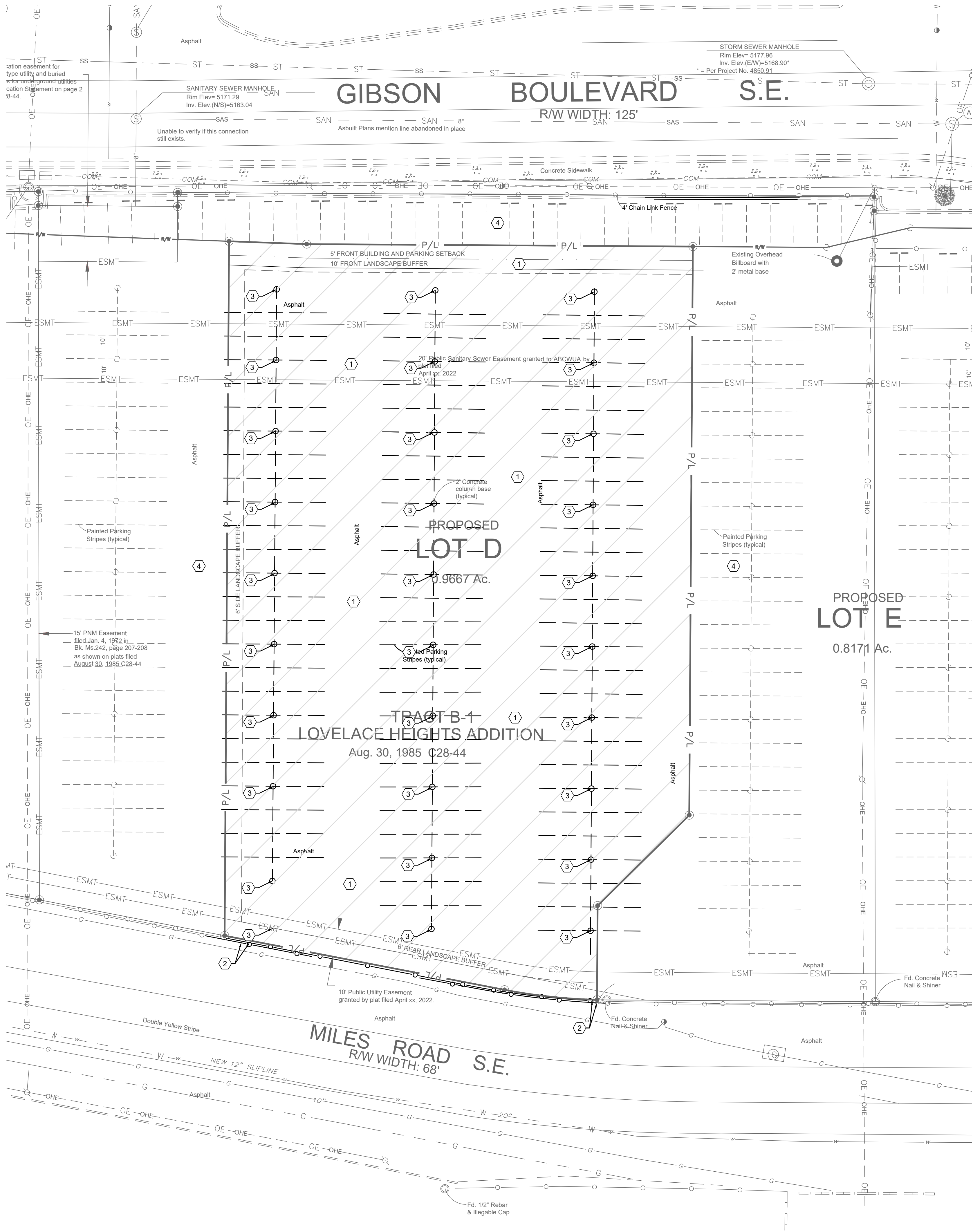
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **Condition of final CO approval: work order need to be approved/accepted by COA.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



GENERAL NOTES:

- A. ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO AND STATE OF NEW MEXICO, BY SURVEYOR: SURVTEK, INC., 3816 CARLISLE BLVD NE, SUITE C, ALBUQUERQUE, NM, 87107, PHONE: (505)-300-4732.
- B. AT START OF PROJECT AND PRIOR TO DEMOLITION OF EXISTING CONDITIONS, CONTRACTOR SHALL BE IN CONTACT WITH ADJACENT PROPERTY OWNERS, CITY REPRESENTATIVE, UTILITY REPRESENTATIVES AND OWNER REPRESENTATIVE TO COORDINATE DEMOLITION TIMING.
- C. CONTRACTOR TO REMOVE AND DISPOSE OF ALL DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- D. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DAMAGE TO NEIGHBORING PROPERTIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES.
- E. ALL EXISTING UTILITIES ARE SHOWN HEREIN AS REFERENCE ONLY AND ARE BASED ON RECORD OF THE VARIOUS UTILITY COMPANIES, A FIELD SURVEY AND EXISTING PLANS. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL UTILITIES PRIOR TO DEMOLITION ACTIVITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING CONSTRUCTION.
- F. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATION IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- G. CONTRACTOR SHALL CONFINE ALL STOCKPILING OF DEMOLITION MATERIALS TO WITHIN THE LIMITS OF THE SUBJECT PROPERTY.
- H. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO DEMOLITION. SEE SHEETS C-10.0 AND C-10.1 FOR NOTES AND DETAILS.

KEYED NOTES:

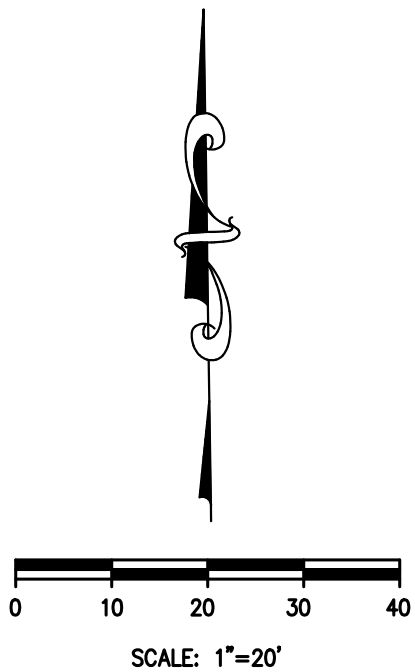
- 1 EXISTING CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF BY GENERAL CONTRACTOR.
- 2 EXISTING FENCE TO BE REMOVED AND DISPOSED OF BY GENERAL CONTRACTOR.
- 3 EXISTING POST AND FOUNDATION TO BE REMOVED AND DISPOSED OF BY GENERAL CONTRACTOR.
- 4 OFF-SITE EXISTING CONCRETE PAVEMENT TO BE REMOVED BY THE OVERALL DEVELOPER.

TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Armijo 12/22/2022  
Signed Date

LEGEND

EXISTING	DESCRIPTION
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELECOMMUNICATION LINE
G	GAS LINE
SAN	SANITARY SEWER
ST	STORM SEWER
W	WATER MAIN
P/L	LEASE LINE
---	CONSTRUCTION LIMITS
ESMT	EASEMENT
X	EXISTING FENCE TO BE REMOVED
•	SANITARY STRUCTURE
•	STORM STRUCTURE
•	WATER STRUCTURE
///	PAVEMENT DEMO AREA

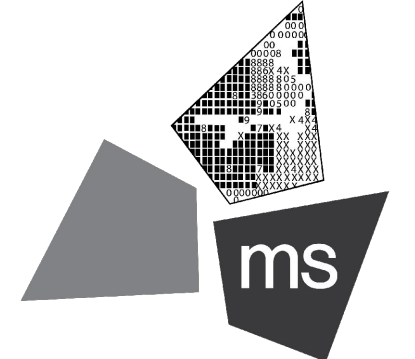


REVISION /DATE/DESCRIPTION

60% REVIEW SET	05/16/22
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90% REVIEW SET	07/01/22
PERMIT REVIEW SET	07/22/22
TCL REVISION 1	09/15/22
TCL / G&D RESPONSE	11/28/22
TCL RESPONSE #3	12/14/22

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engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229-1547  
phone 614.898.7100  
fax 614.898.7570

PROJECT

PROPOSED PT20S  
BUILDING

2141 GIBSON BLVD SE  
ALBUQUERQUE, NM  
87106

SHEET TITLE

SITE DEMOLITION  
PLAN



DRAWN BY: TDB

CHECKED BY: JCB

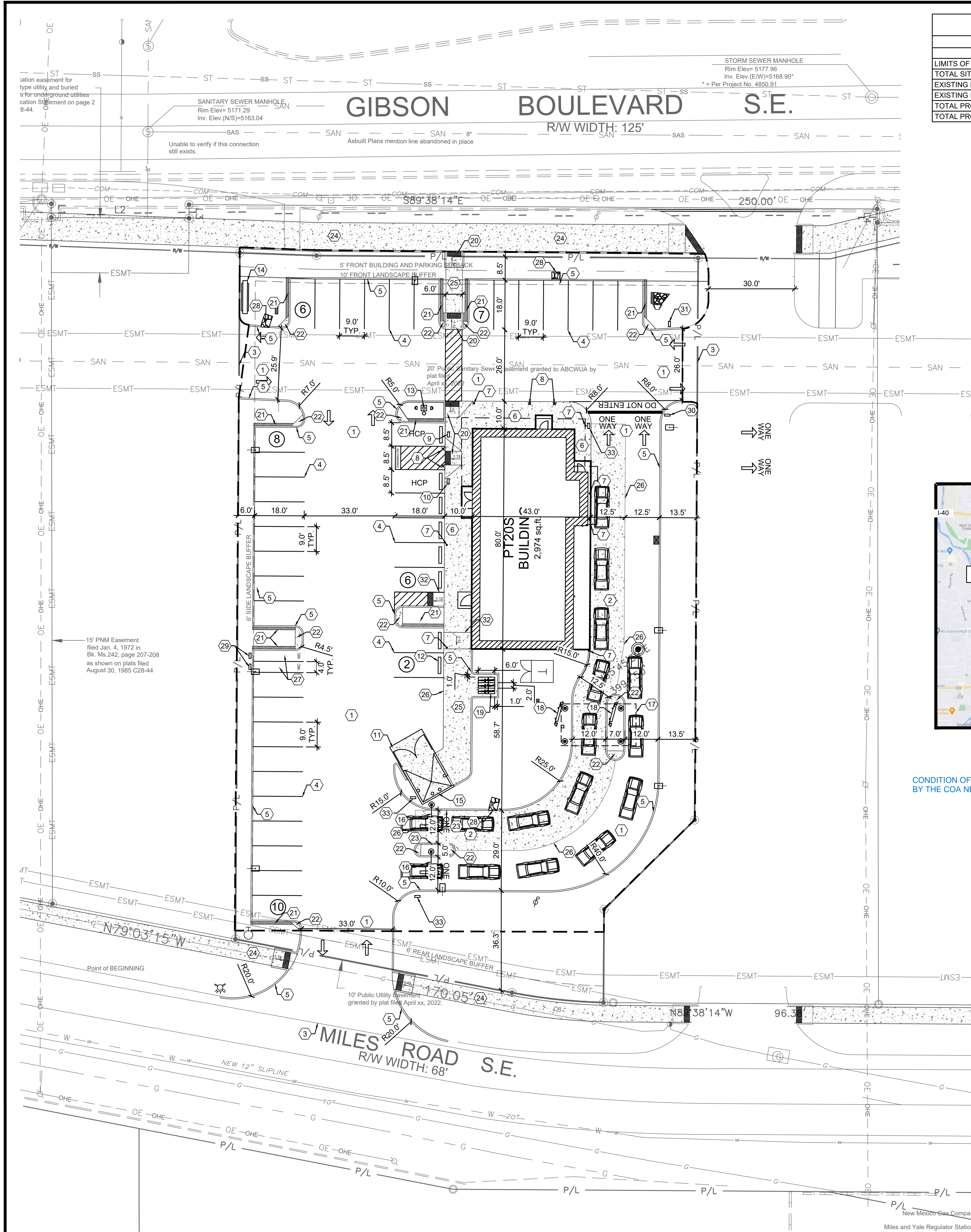
PROJECT NO: 40497-22

DRAWING

C-2.0



N:\03\624049719-Albuquerque, NM\Docs\CAD\CIVIL\DWG set\C-3.0 Site Dimension Plan.dwg, 12/14/2022 10:05 AM, boleyn, jason



SITE DATA			
	SQ. FT.	ACRES	PERCENT
LIMITS OF DISTURBANCE	44,171	1.01	-
TOTAL SITE AREA	42,107	0.97	-
EXISTING PERVIOUS	0	0.00	0.0%
EXISTING IMPERVIOUS	42,107	0.97	100.0%
TOTAL PROPOSED PERVIOUS	8,494	0.20	20.2%
TOTAL PROPOSED IMPERVIOUS	33,613	0.77	79.8%

PARKING DATA		
	REQUIRED	PROVIDED
STANDARD	24	36
ADA	1	2
TOTAL	25	38
BICYCLE	3	3
MOTORCYCLE	1	2

\*8 PARKING SPACES REQUIRED PER 1000 S.F. OF GFA (2,974 SF OF GFA)

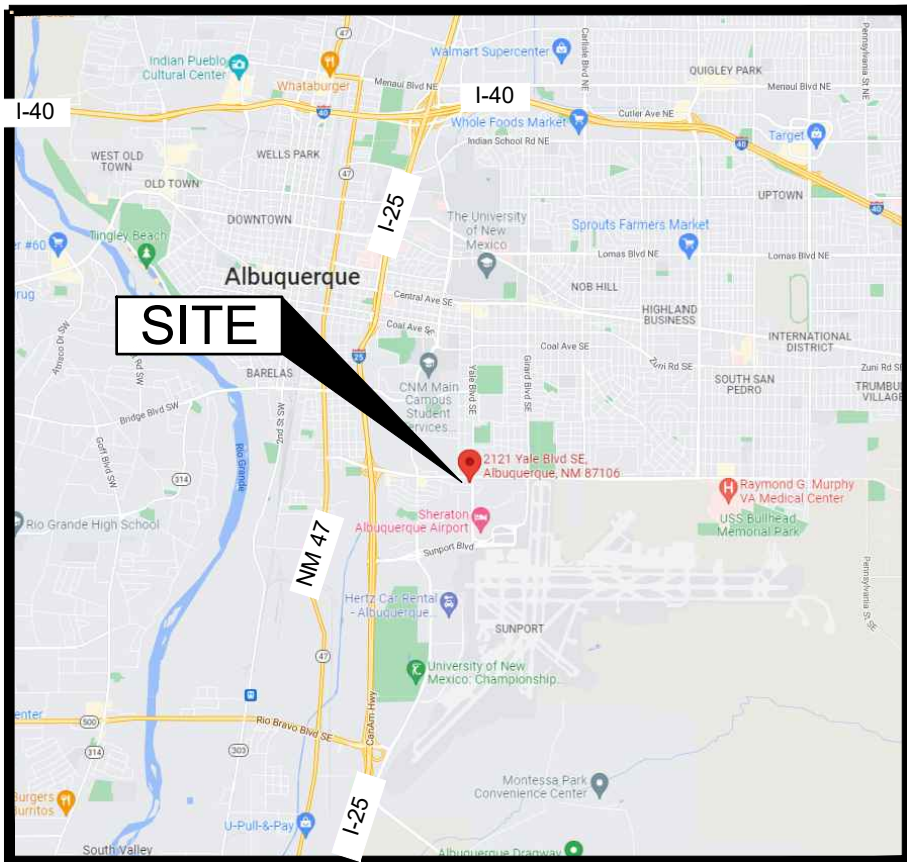
\*\*\*1 ADA SPACE PER 25 STANDARD SPACES

\*\*\*1 MOTORCYCLE SPACE PER 25 AUTOMOBILE SPACES

\*\*\*BICYCLE PARKING IS REQUIRED. THE GREATER OF 3 SPACES OR 10% OF REQUIRED AUTOMOBILE SPACES

NOTE:  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE:  
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.



CONDITION OF FINAL CO APPROVAL: APPROVED/ACCEPTED WORK ORDER BY THE COA NEED TO BE PROVIDED.

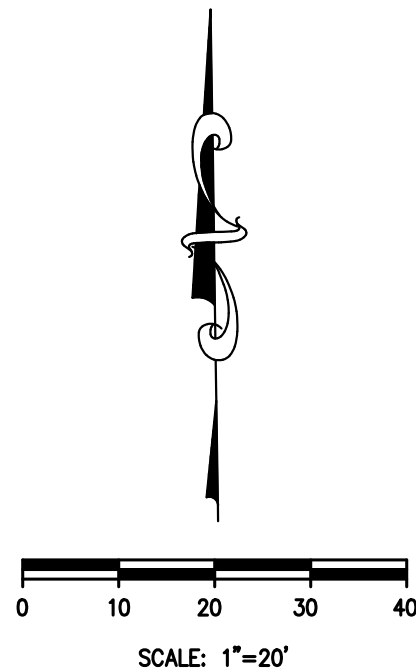
LEGEND	
FEATURE	DESCRIPTION
	CONCRETE
	ASPHALT PAVEMENT
	CONSTRUCTION LIMITS
	SETBACK LINE
	EXISTING
	PROPOSED
	LIGHT POLE
	UTILITY POLE
	TREES AND SHRUBBERY

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- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- ALL RADII ARE 3.0 FEET UNLESS OTHERWISE SHOWN. ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS.

## KEYED NOTES:

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C-7.0.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C-7.0.
- PROPOSED ASPHALT PAVEMENT TO BE FLUSH WITH EXISTING.
- PROPOSED PAINTED PARKING STRIPING (TYPICAL). ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS OR SPECIFICATIONS. SEE DETAIL ON SHEET C-7.0.
- PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C-7.0.
- PROPOSED TURN DOWN CONCRETE SIDEWALK. SEE DETAIL C ON SHEET C-7.0.
- PROPOSED BOLLARD, TYP. OF 5. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED ILLUMINATED BOLLARD, TYP. OF 4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POLE-MOUNTED ADA PARKING SIGNS. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS. SEE DETAIL ON SHEET C-7.0.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POLE-MOUNTED ADA PARKING SIGN WITH "VAN ACCESSIBLE" SIGN. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS. SEE DETAIL ON SHEET C-7.0.
- CONCRETE DUMPSTER ENCLOSURE APRON. SEE DETAIL ON SHEET C-7.0.
- PROPOSED PRE-CAST CONCRETE WHEEL STOP (TYP. OF 8), SEE DETAIL ON SHEET C-7.0.
- FLAGPOLE WITH GROUND-MOUNTED LIGHTS, UNITEDFLAG AND BANNER, GARRISON TYPE OR OWNER APPROVED EQUAL, 30' HIGH, 5" BUTT ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY STRUCK, NYLON FLAGSNAPS, AND HALYARDS. ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED 26' HT POLE SIGN, CONTRACTOR TO COORDINATE WITH OWNER. SEE ELECTRICAL PLANS AND SIGNAGE PACKAGE FOR DETAILS.
- PROPOSED DUMPSTER ENCLOSURE AND CONCRETE PAD. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- PROPOSED HEADACHE BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED MENU BOARD CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED EXTERIOR MENU BOARD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED BIKE RACK (TYP. OF 3) TO BE INSTALLED PER THE CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL SHEET C-7.1.
- PROPOSED ADA CURB RAMP WITH 5.0'x5.0' TURNING SPACE AT 2.0% SLOPE MAX. FLARED SIDE(S) ARE TO HAVE A MAX. SLOPE OF 10%, MEASURED PARALLEL TO THE BACK OF THE CURB. SEE DETAILS ON SHEET C-7.5, C-7.6, AND C-7.7.
- PROPOSED 1' WIDE CRUSHED GRANITE STRIP. SEE DETAIL SHEET L-1.1.
- PROPOSED CONCRETE ISLAND NOSE. SEE DETAIL SHEET L-1.1.
- PROPOSED 6" MONOLITHIC CURB. SEE DETAIL SHEET C-7.1.
- PROPOSED SIDEWALK, BY DEVELOPER. IF SIDEWALK IS DAMAGED OR CRACKED DURING CONSTRUCTION, SIDEWALK MUST BE REPAIRED BY THE GC. REFER TO THE COA STANDARD SIDEWALK DETAIL 2430 ON C-7.3 IF NECESSARY.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C-7.0.
- PROPOSED CONCRETE PAVEMENT TO BE FLUSH WITH PROPOSED ASPHALT PAVEMENT.
- PROPOSED MOTORCYCLE PARKING SPACE.
- PROPOSED 3' CURB CUT.
- MOTORCYCLE PARKING SIGN. SEE DETAIL ON SHEET C-7.4.
- PROPOSED DO NOT ENTER SIGN. SEE DETAIL ON SHEET C-7.3.
- PROPOSED NO LEFT TURN SIGN. SEE DETAIL ON SHEET C-7.4.
- PROPOSED DELIVERY RAMP. SEE DETAIL ON SHEET C-7.0.
- PROPOSED ONE WAY SIGN. SEE DETAIL ON SHEET C-7.3.

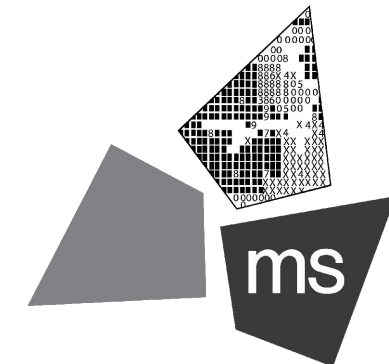


## REVISION /DATE/DESCRIPTION

60% REVIEW SET	05/16/22
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TCL REVISION 1	09/15/22
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TCL RESPONSE #3	12/14/22

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engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229-1547  
phone 614.898.7100  
fax 614.898.7570

## PROJECT

## PROPOSED PT20S BUILDING

2141 GIBSON BLVD SE  
ALBUQUERQUE, NM  
87106

## SHEET TITLE

## SITE DIMENSION PLAN



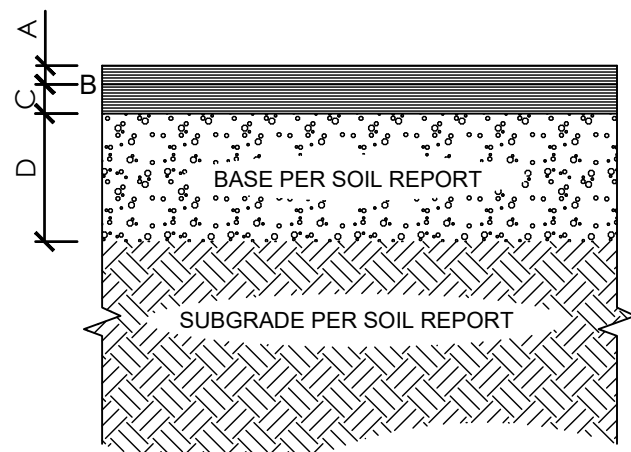
DRAWN BY:	TDB
CHECKED BY:	JCB
PROJECT NO:	40497-22

## DRAWING

C-3.0



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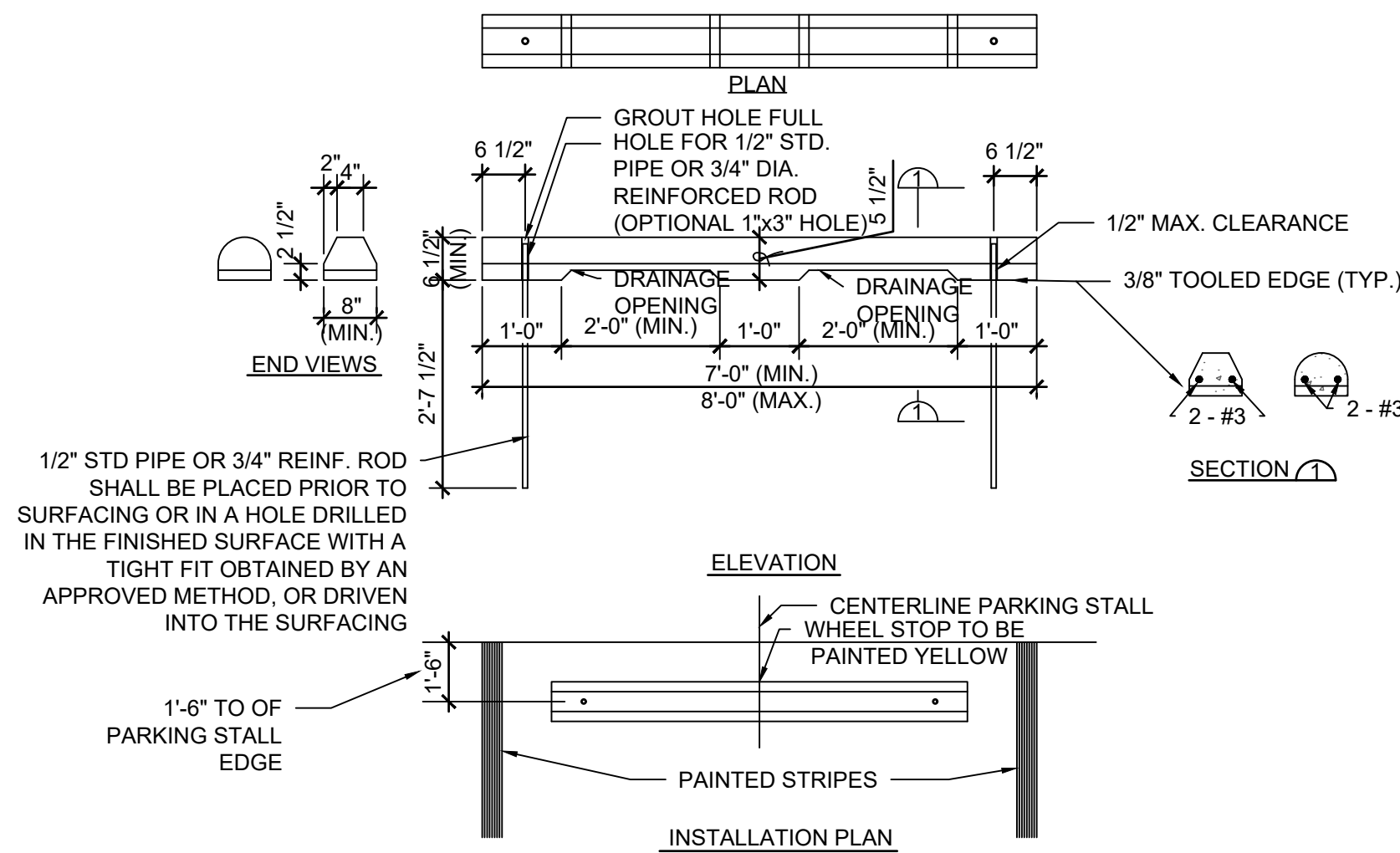
HEAVY DUTY PAVING

- A = 2" ASPHALT CONCRETE (NMDOT SECTION 405, SURFACE COURSE)  
B = TACK COAT (0.05 GAL/S.Y.)  
C = 3" ASPHALT CONCRETE (NMDOT SECTION 405, INTERMEDIATE COURSE)  
D = 8" AGGREGATE BASE (NMDOT SECTION 405)

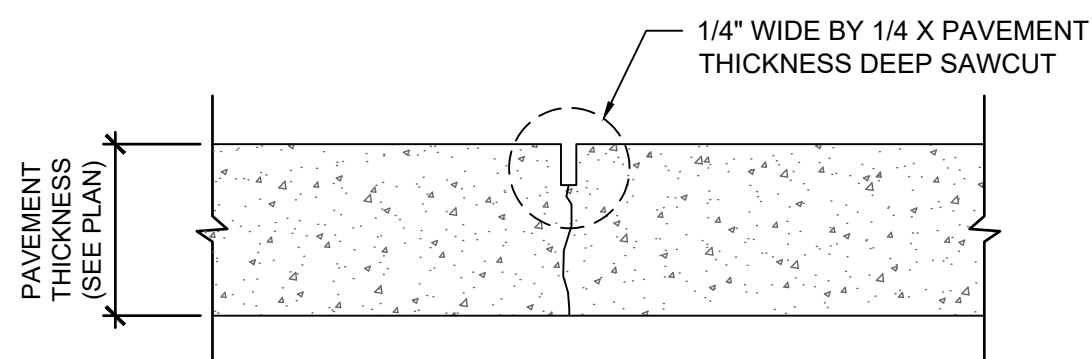
NOTES

- A. SUBGRADE COMPACTION: PER THE GEOTECHNICAL REPORT.  
B. BASE COURSE TO CONFORM TO NMDOT STANDARDS FOR BASE COURSE COMPACTION TO 100% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.  
C. ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT NMDOT SPECIFICATIONS.  
D. PROOFROLL PAVEMENT SUBGRADE WITHIN TWO (2) DAYS PRIOR TO COMMENCEMENT OF PAVING OPERATIONS. PROOFROLL SHOULD BE COMPLETED USING A LOADED TANDEM-AXLE DUMP TRUCK WITH A MINIMUM GROSS WEIGHT OF 20 TONS OR SIMILARLY LOADED RUBBER-TIRE EQUIPMENT.

A ASPHALT PAVING SECTION  
C7.0 / N.T.S.



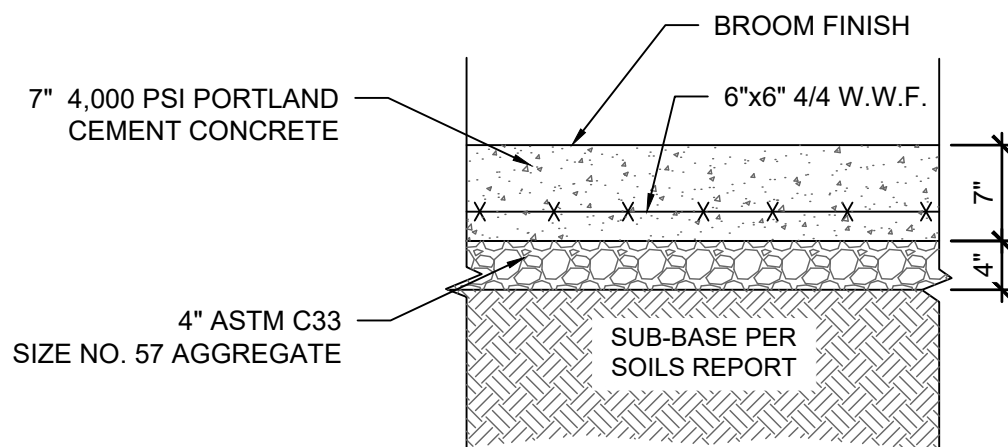
E PRE-CAST CONCRETE WHEEL STOP  
C7.0 / N.T.S.



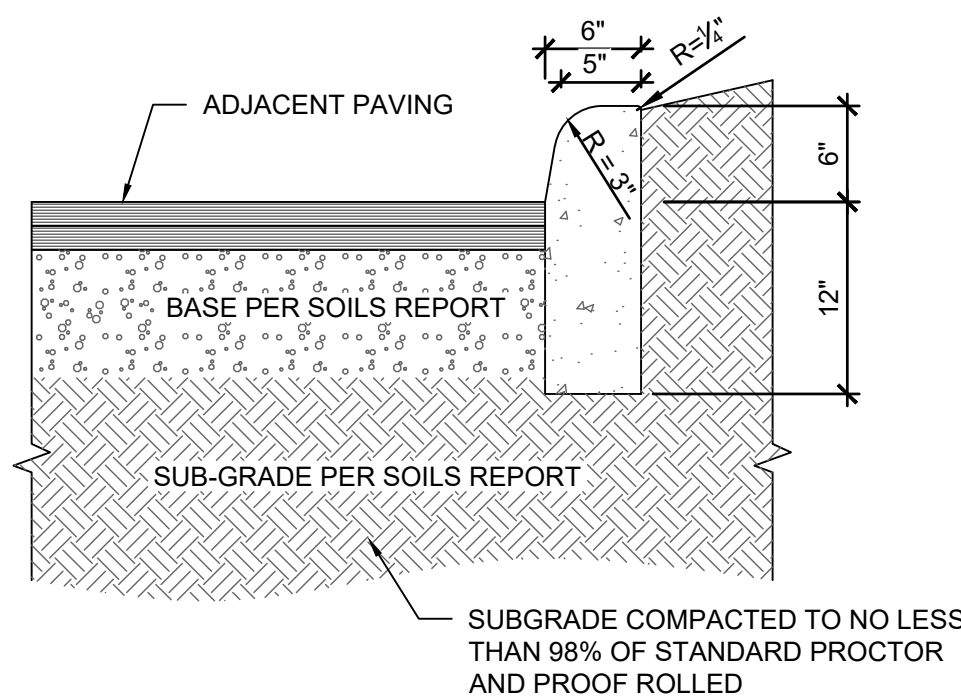
NOTE:  
A. SEE PLAN FOR JOINT SPACING.

CONTRACTION JOINT

I CONCRETE JOINT DETAILS  
C7.0 / N.T.S.



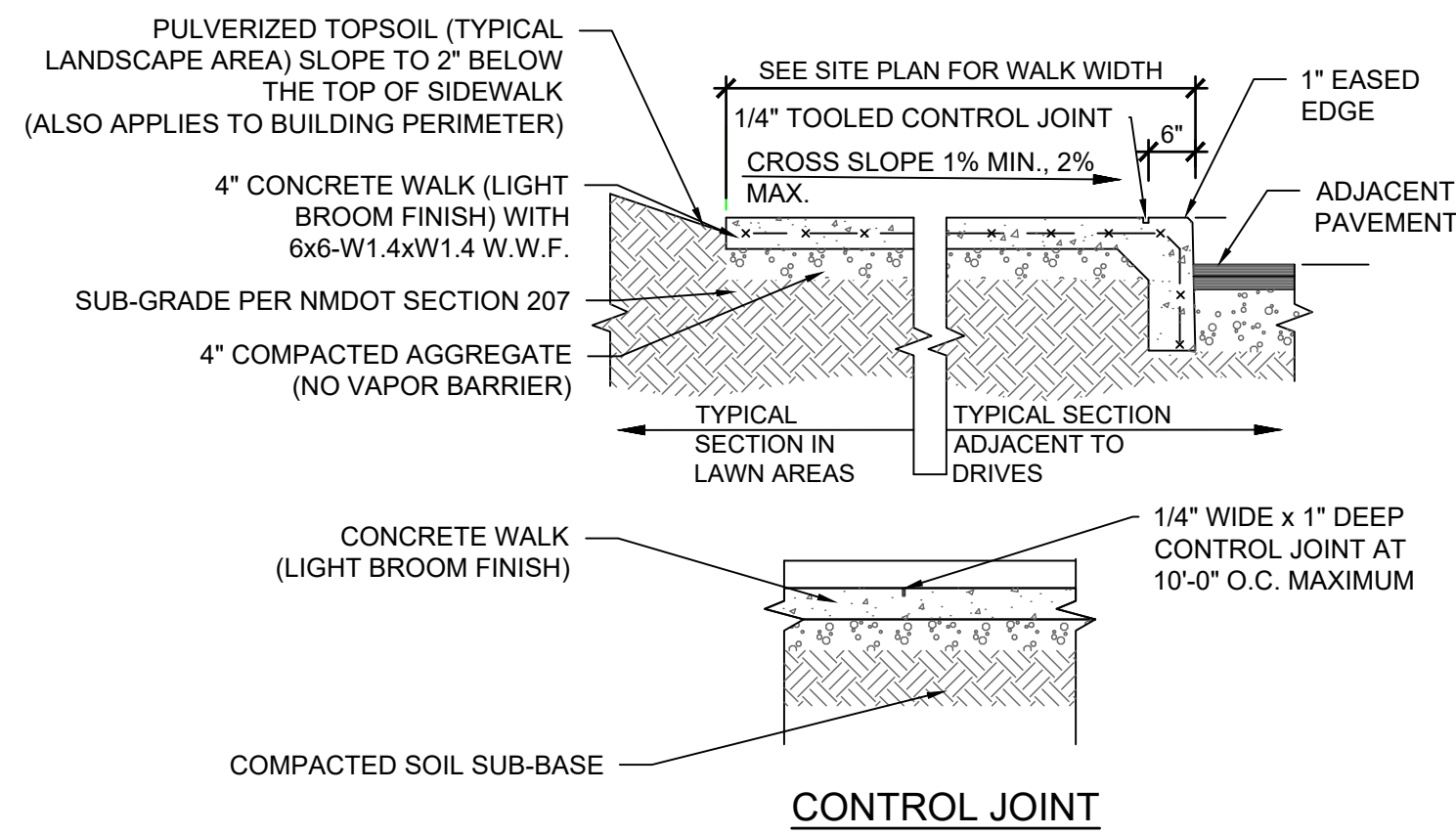
B TRASH ENCLOSURE APRON DETAIL  
C7.0 / N.T.S.



F CURB DETAIL  
C7.0 / N.T.S.

3/4" DIAMETER DOWEL FOR PAVEMENTS LESS THAN 7" THICK. DOWELS TO BE 14" LONG CENTERED WITH JOINT SPACED AT 12" ON CENTER. DOWEL TO BE INSTALLED IN FORM WITH AN APPROVED ALIGNMENT DEVICE. LIGHTLY OIL FULL LENGTH OF DOWEL.

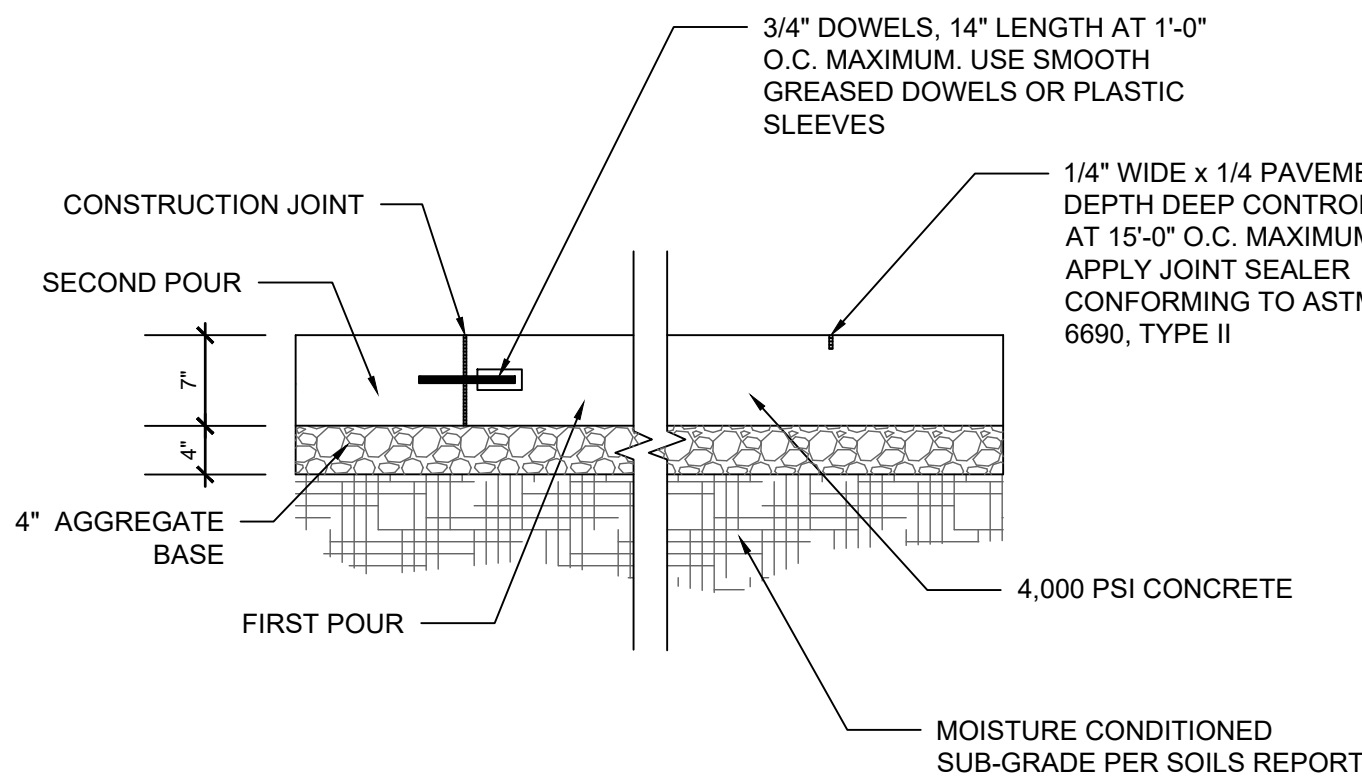
CONSTRUCTION JOINT



NOTES:

- A. LOCATE CONTROL JOINTS AS SHOWN ON PLAN OR 10' O.C. MAXIMUM. VERIFY WITH SITE REPRESENTATIVE.  
B. CONCRETE WALKS AGAINST THE BUILDING OR CONCRETE PAVEMENT SHALL HAVE 1/2" PREFORMED EXPANSION JOINT BETWEEN WALK AND BUILDING OR WALK AND CONCRETE PAVEMENT.  
C. CONCRETE PADS OVER 4" THICK REQUIRE CONTROL JOINTS TO BE 12' O.C. MAXIMUM.  
D. ANY CONCRETE WITHIN PUBLIC RIGHT-OF-WAY SHALL MEET SPECIFICATIONS OF KCMMB 4K MIX.

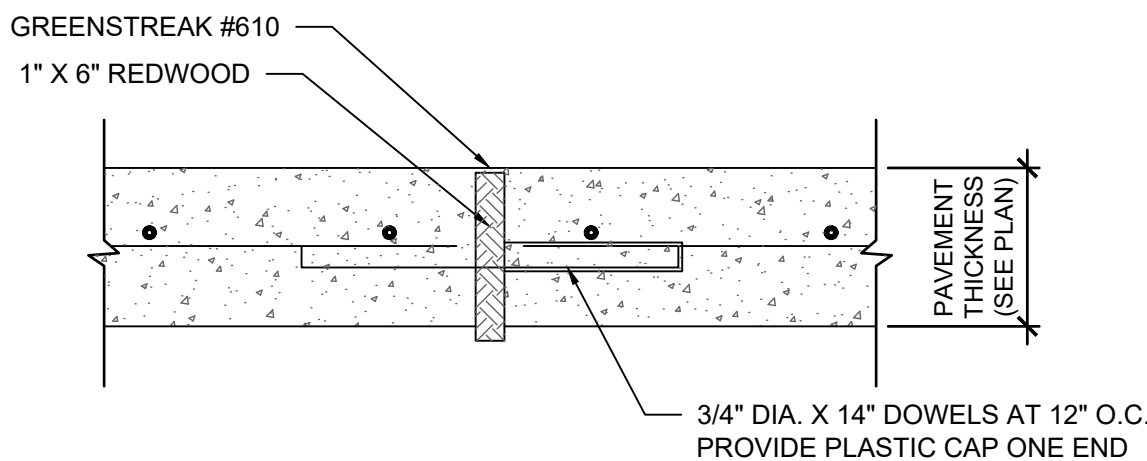
C CONCRETE WALK  
C7.0 / N.T.S.



NOTES

- A. SUB-GRADE COMPACTION PER SOILS REPORT.  
B. ALL SUB-GRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT NMDOT SPECIFICATIONS.  
C. ANY CONCRETE WITHIN PUBLIC RIGHT-OF-WAY SHALL MEET SPECIFICATIONS OF KCMMB 4K MIX.

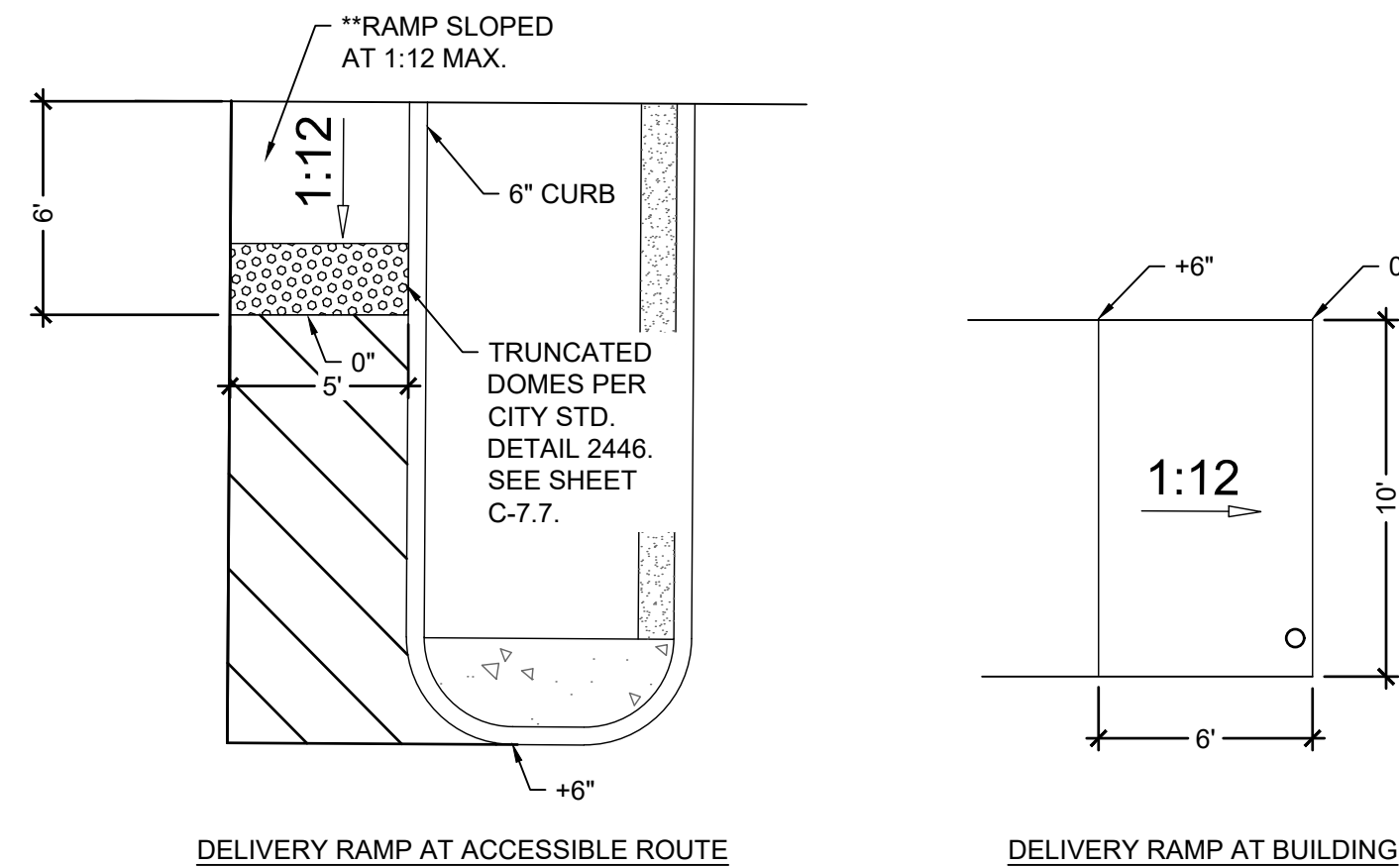
G HEAVY DUTY CONCRETE PAVEMENT  
C7.0 / N.T.S.



NOTES:

- A. ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE GREENSTREAK #610.  
B. INSTALL REDWOOD PLANK AFTER JOINTS HAVE BEEN CLEANED AND DRIED.  
C. GREENSTREAK #610 APPLICATION SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURER'S REQUIREMENTS.

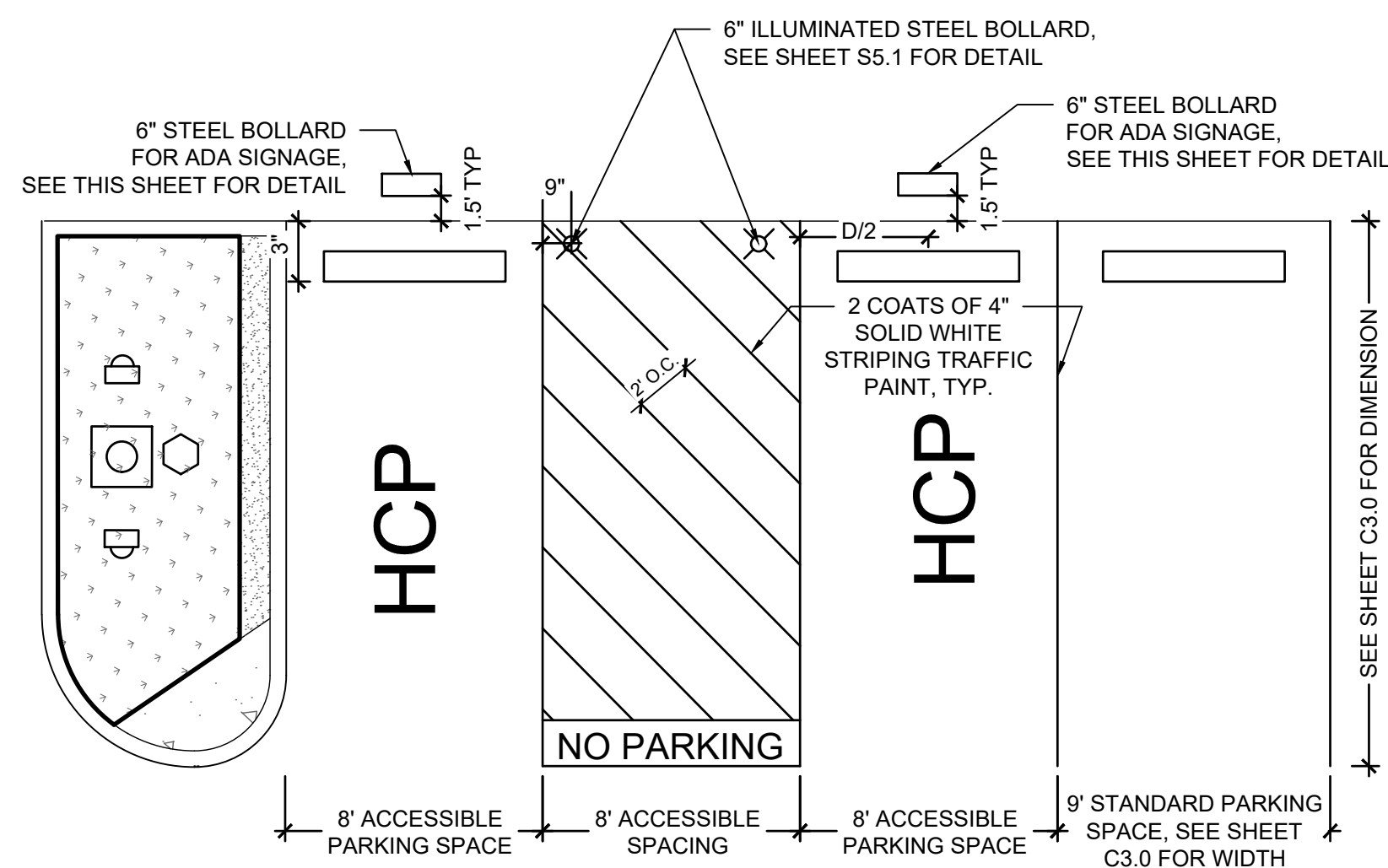
EXPANSION JOINT



\*\*NOTE:

1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES PER CURRENT ADA SPECIFICATIONS. COLOR: TERRA COTTA OR APPROVED COLOR BY OWNER.  
2. SLOPE NOTE: IF CIVIL GRADING PLAN INDICATES A CROSS SLOPE GREATER THAN 2% AT ADA SPACES, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER FOR CLARIFICATION AND PLAN REVISION.

H DELIVERY RAMP  
C7.0 / N.T.S.



NOTE:  
SEE DIMENSIONAL CONTROL PLAN FOR PARKING DIMENSIONS. DIMENSIONS SHOWN ARE MINIMUM REQUIRED.

SLOPE NOTE:  
IF CIVIL GRADING PLAN INDICATES A CROSS SLOPE GREATER THAN 2% AT ADA SPACES, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER FOR CLARIFICATION AND PLAN REVISION.

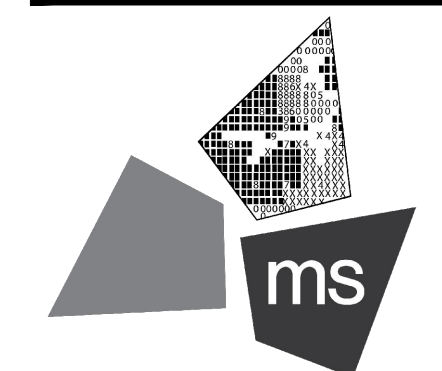
J PARKING STRIPING  
C7.0 / N.T.S.

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ALBUQUERQUE, NM  
87106

SHEET TITLE

SITE DETAILS



DRAWN BY: TDB

CHECKED BY: JCB

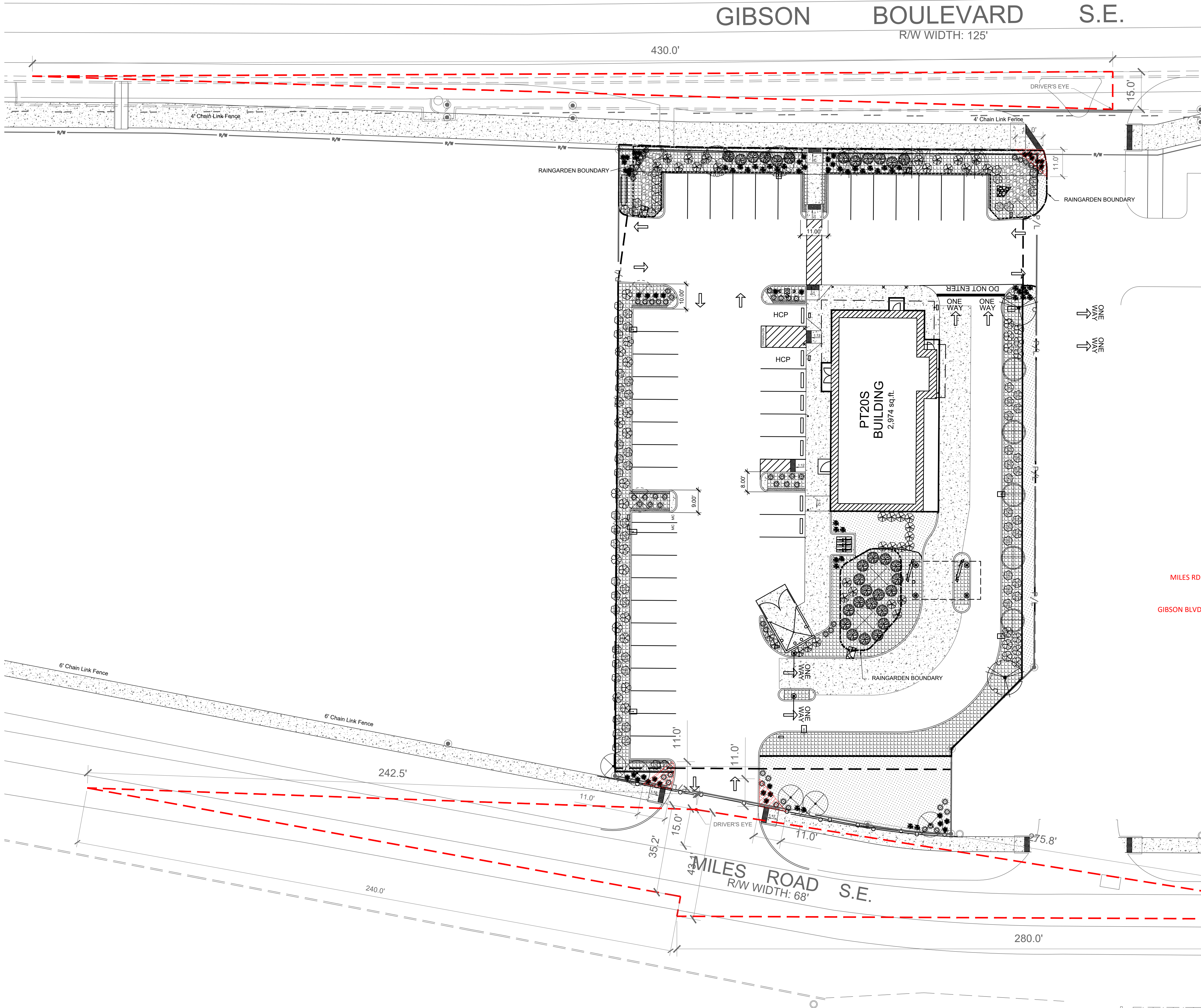
PROJECT NO: 40497-22

DRAWING

C-7.0



N:\03\624049719-Albuquerque, NM\Docs\CAD\CIVIL\DWG setL-1 Landscape Plan - Master Development Plan.dwg, 12/14/2022 10:02 AM, boley, jason

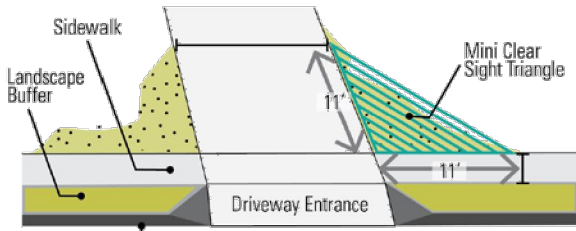


DPM, Chapter 23 - Sight Distance

4. Mini Clear Sight Triangle

Driveways on Residential Streets need to maintain the mini sight triangle as shown in Figure 3. This triangle starts at the sidewalk and measures 11 feet on a side.

Figure 3. Mini Clear Sight Triangle



5. Visibility for Site Entrances and Driveways

Site entrances and driveways shall be designed to preserve the clear sight triangle free of visual obstruction as described in section 3 and 4 above.

6. Sight Distance Note

The following note is required in all site plans: Landscaping, signage, walls, fences, trees, and shrubbery between three (3) and eight feet (8') tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

7. Objects permitted in the Clear Sight Triangle

Objects, that may be located in the sight triangle, include, but are not limited to, hydrants, utility poles, utility junction boxes, and traffic control devices provided these objects are located to minimize visual obstruction. Objects under eight inches (8") wide may be allowed.

INTERSECTION SIGHT DISTANCE MEASUREMENT

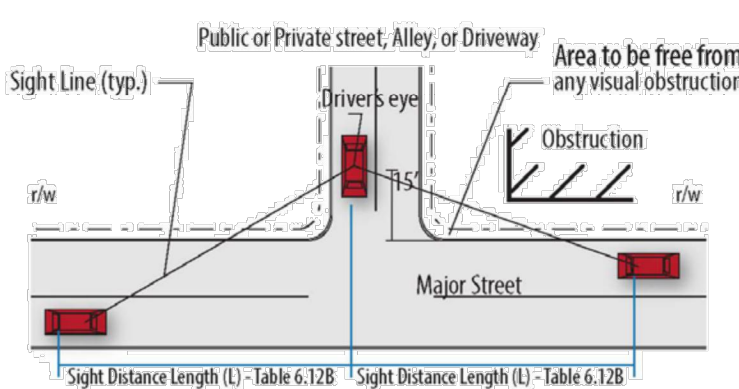


Table 2. Minimum Intersection Sight Distance

Speed Limit (mph)	Minimum Intersection Sight Distance (ft)					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12' Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230	200	240	200	250	200
25	280	240	300	240	320	240
30	340	290	360	290	380	290
35	390	340	420	340	440	340
40	450	390	480	390	500	390
45	500	430	530	430	570	430
50	560	480	590	480	630	480

MILES RD. SITE TRIANGLE DEFINITION

GIBSON BLVD. SITE TRIANGLE DEFINITION

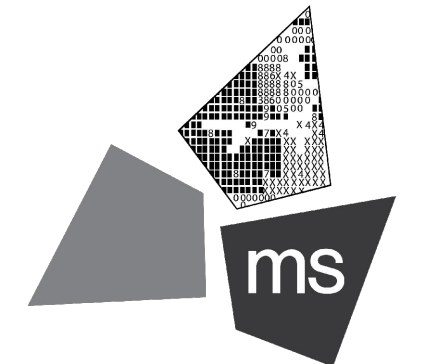
NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

REVISION /DATE/DESCRIPTION

60% REVIEW SET	05/16/22
TCL SUBMISSION	06/09/22
90% REVIEW SET	07/01/22
PERMIT REVIEW SET	07/22/22
TCL REVISION 1	09/15/22
TCL / G&D RESPONSE	11/28/22
TCL RESPONSE #3	12/14/22

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PROJECT

PROPOSED PT20S BUILDING

2141 GIBSON BLVD SE  
ALBUQUERQUE, NM  
87106

SHEET TITLE

SIGHT DISTANCE PLAN

DRAWN BY: TDB

CHECKED BY: JCB

PROJECT NO: 40497-22

DRAWING

L-1.2

