

8976498

LICENSE FOR ACCESS ROAD

623

The City of Albuquerque, New Mexico, a municipal corporation (the "Grantor") hereby grants to United System Auto Park, Inc., a New Mexico Corporation (the "Permitee"), a nonexclusive license to operate and maintain an airport shuttle business on the surface of that portion of Miles Road described in Exhibit A attached hereto (the "Road").

1. License.

A. This License includes the rights of access, ingress to, egress from, to enter at anytime for inspection, installation, maintenance, repair, construction or modification of the Road, and the right to remove trees, bushes and undergrowth or any obstacles within the Road that may interfere with the appropriate use of this License.

B. Permitee's use of the Road and Permitee's operations and activities under this License shall not interfere with any underground, at grade or above ground utilities or utility facilities or the operation of any such utilities, including any gas, water, sewer or electric lines. Permitee, at its expense, shall repair or restore any to such utilities damage caused by the Permitee and its agents, employees and contractors as soon after the occurrence of the damage as is reasonably feasible, to as nearly the same condition as the improvements were in prior to such damage as is reasonably feasible.

2. Use. The Road may be used only by Permittee and its employees in the conduct of Permittee's airport shuttle business.

3. License Fee. Permittee shall pay to the City a license fee in the amount of \$1,000.00 a month commencing on the date the Hydrology Division of the City's Public Works Department approves the specifications for the Road as provided in Section 4 and thereafter on the same day of each month during the term of this License. The monthly license fee does not represent and has not been based on the market value of the property.

4. Construction and Maintenance. The Permittee shall, at its sole cost and expense, construct and maintain the Road during the term of this License. The Permittee shall construct the Road as per specifications approved by the Hydrology Division of the City's Department of Public Works.

5. Repair to City Property. The Permittee shall repair and restore, at its sole cost and expense, any damage caused as a result of the exercise of rights under this License to adjacent City property and any improvements located on adjacent City property as soon after the occurrence of the damage as is reasonably feasible and will repair and restore such damaged improvements to as nearly the same condition as the improvements were in, prior to such damage as is reasonably feasible.

6. Indemnity. The Permittee will indemnify, defend and hold harmless the City and the officials, agents and employees of the City from and against any and all claims, actions, suits or proceedings of any kind brought for or on account of any matter which may arise as a result of its use of this License, provided, however, to the extent, if at all, Section 59-7-1 NMSA (1978) is applicable to this License, this agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including lawyers' opinions, reports, surveys, change orders, designs or specifications by the City, or the agents or employees of the City; or (2) the giving of or the failure to give directions or instructions by the City, or the agents or employees of the City, whether such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

7. Abandonment. If the Permittee ceases to use the Road or if the Road is abandoned for a consecutive period of three (3) months, then, this License shall automatically terminate and thereupon the Permittee shall, upon request by the City, execute and deliver to the City a release of this License in recordable form.

8. Term. This License may be terminated in writing at any time by the Permittee or by the City, without cause. Termination by either party shall be effective ninety (90) days after a party has received written notice of termination by the other party.

9. Compliance with Law. Permittee shall comply with all applicable laws, ordinances, rules, regulations, orders and decisions promulgated by federal, state or local governmental authority relating to Permittee's use of this License and shall not permit the Road to constitute a hazard to the health or safety of the general public or to interfere with the City's use of the City's adjacent property.

10. Insurance.

A. General Conditions. Permittee shall procure and maintain in full force and effect during the term of this License such insurance as is required herein. The City shall be named as an additional insured on the policies of insurance. Policies of insurance shall be written by companies authorized to write such insurance in New Mexico, and they shall be in a form satisfactory to City and properly filed and approved by the Superintendent of Insurance, State of New Mexico. The insurance may be written in one or more policies.

Permittee shall include any and all contractors and subcontractors in its insurance policies or require its contractors and subcontractor to secure insurance coverage against all hazards enumerated herein that are not covered by Permittee's policies.

All certificates of insurance (or policies) shall provide that thirty (30) days written notice be given to the Director of Risk Management, City of Albuquerque, P.O. Box 1293, Albuquerque,

New Mexico 87103, before a policy is cancelled, materially changed or not renewed. A certificate or policy that states that failure to give such notice imposes no obligation on the insurance company is unacceptable to the City.

The Permittee shall not violate the terms or prohibitions of insurance policies required to be furnished by the Permittee. The Permittee shall promptly notify the City of any claim or loss exceeding the amount of the deductible under such insurance policies, and certify that proper notice has been given the appropriate insurance carrier.

B. Approval of Insurance. Even though a "Notice to Proceed" may have been given, no contractor or subcontractor shall begin any work under this permit until the required insurance has been obtained and the proper certificates (or policies) filed with City. Neither approval nor failure to disapprove certificates, policies or the insurance by City shall relieve Permittee or any contractor or subcontractor of full responsibility to maintain the required insurance in full force and effect.

C. Commercial General Liability Insurance. Permittee shall procure and maintain during the term of this Permit a comprehensive general liability insurance policy with liability limits in amounts not less than \$500,000 combined single limit of liability for bodily injury, including death, and property damage in any one occurrence. Said policies of insurance must include

coverage for all operations performed by Permittee, including coverage for collapse (C), explosion (X) and underground (U) liability coverage, and contractual liability coverage which shall specifically insure the indemnification provisions of this License.

D. Owners and Contractors Protective Liability Insurance.

Permittee shall procure and maintain during the life of any construction, an owners and contractors protective liability insurance policy with liability limits in amounts not less than \$500,000 combined single limit of liability for bodily injury, including death, and property damage in any one occurrence. The policy will be written with City as the named insured and will provide coverage for City's officers and employees while acting within the scope of their duties against all claims arising out of or in connection with the work to be performed.

11. Restoration. Permittee shall, within a reasonable time after the termination of this License, remove the Road and level and restore the City's property to as nearly its original condition as practicable.

12. Demand for Repair or Modification.

A. The Director of the City's Department of Public Works (the "Director") may send written notice ("Notice") to the Permittee requiring the Permittee to repair or modify the Road within ninety (90) days after mailing of the written notice to the Permittee ("Deadline") and Permittee will promptly comply with the requirements

of the Notice. The Director may demand removal of the Road without cause. The Permittee will perform all required work by the Deadline, at the Permittee's sole expense.

B. If the Permittee fails to comply with the terms of the Notice by the Deadline stated, or if the Director determines that an emergency condition exists, the City may perform the work itself. The City then may assess the Permittee for the cost of the work and for any other expenses or damages which result from the Permittee's failure to perform. The Permittee shall pay the City the amount assessed within thirty (30) days after the Director gives the Permittee written notice of the amount due.

13. Expenses of Enforcement. If the City employs the City's Legal Department or an outside attorney to enforce this License, the Permittee shall pay the City all costs, charges and expenses, including reasonable attorney's fees for the City's Legal Department or outside attorney, expended or incurred by the City to successfully enforce this License.

14. Assignment. This License shall not be assigned in whole or in part without the written approval by the City.

15. Liens. Permittee shall not permit any mechanic's or materialmen's or any other lien to become attached to or foreclosed upon the Road or any part or parcel thereof by reason of work, labor performed or materials or equipment installed or furnished.

16. Notices. All notices required to be given hereunder shall be deemed given when received by a party. Notices may be given personally or sent by certified mail, return receipt requested, to the following:

To the City: Chief Administrative Officer
City of Albuquerque
Post Office Box 1293
Albuquerque, New Mexico 87103

To Permittee: Express Airport Parking
2121 Yale S.E.
Albuquerque, New Mexico 87106
Attn: Richard Chavez

17. Entire Agreement. This License contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, other previous to the execution hereof or contemporaneous herewith.

18. Changes. Changes to this License are not binding unless made in writing and signed by both parties.

19. Construction and Severability. If any part of this License is held to be invalid or unenforceable, the remainder of this License will remain valid and enforceable if the remainder is reasonably capable of performance.

20. Applicable Law. This License and the rights and obligations of the parties hereunder shall be construed in accordance with the laws of the State of New Mexico.

21. Effective Date. This License shall not become effective or binding on the City until approved by the City's Chief Administrative Office and shall become effective upon execution by the City's Chief Administrative Officer.

UNITED SYSTEM AUTO PARK INC.,
A New Mexico Corporation

CITY OF ALBUQUERQUE

By: [Signature]
Title: Secretary Treasurer
Dated: 8-2-89

By: [Signature]
Its: Chief Administrative Officer (Acting)
Dated: 8/31/89

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this day of 31st, 1989 by Fred Mondragon, Acting Chief Administrative Officer of the City of Albuquerque, a municipal corporation, on behalf of the corporation.

[Signature]
Notary Public

My Commission Expires:
10-31-92

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this day of August, 1989 by KATHLEEN CHAVES, of United States Auto Park, Inc., a New Mexico Corporation on behalf of the corporation.

[Signature]
Notary Public

My Commission Expires:
NOVEMBER 24/1999

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

89 SEP -1 PM 2:54
MS 785A 623-632
GLADYS M. DAVIS
CLERK & RECORDER
DEPUTY

LOVELACE HEIGHTS ADDITION

85 72798

TRACT I-A

NEWPORT INDUSTRIAL PARK WEST - UNIT 2

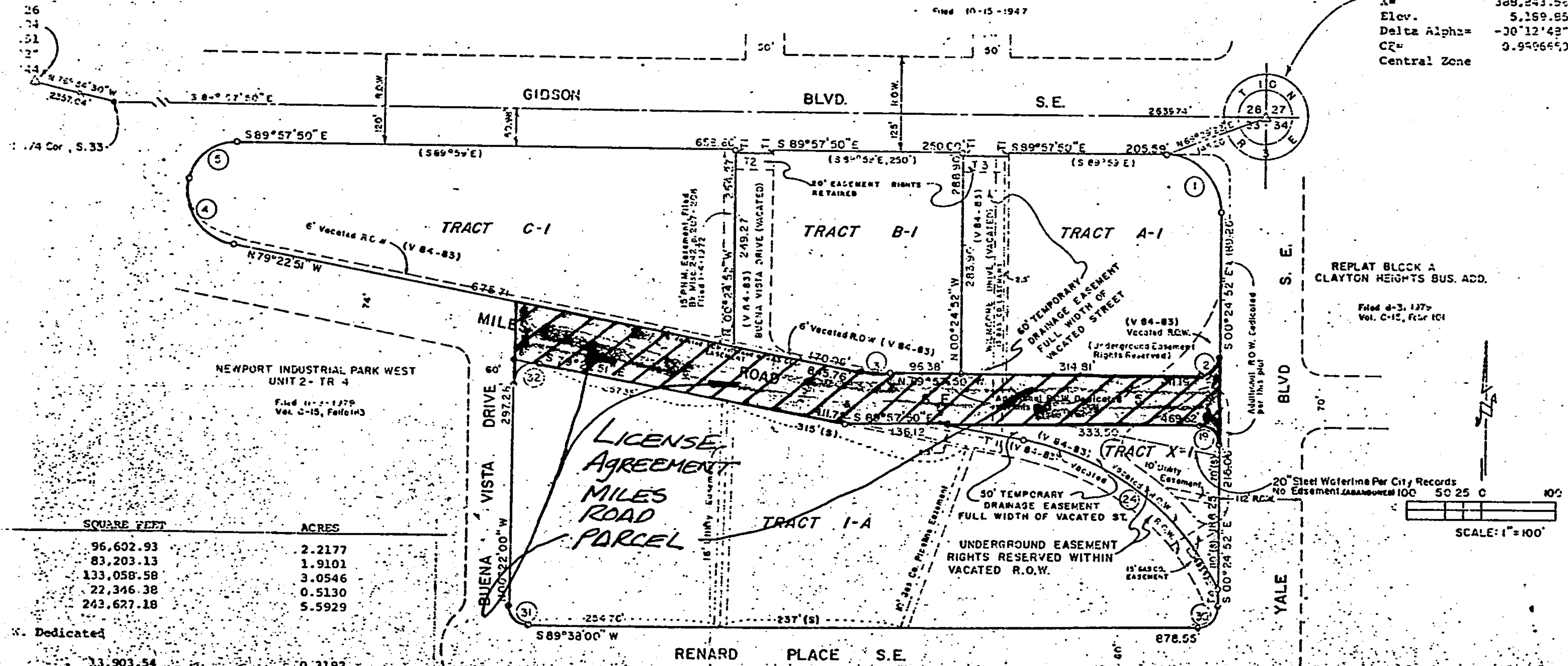
ALBUQUERQUE, N.M.
March 1985

CLAYTON HEIGHTS SUBD.
Filed 10-15-1947

State of New Mexico } S3
County of Bernalillo
This instrument was filed for record
on AUG 3 0 1985
at 10:00 AM by the County Clerk
Gordon J. Douglas

ACS, 1-M16
T= 1,475,695.42
X= 368,243.56
Elev. 5,199.85
Delta Alpha= -30°12'49"
CZ= 0.9496650
Central Zone

BEARING	DISTANCE
N00°24'52"W	5.00'
S89°57'50"E	50.00'
S89°57'50"E	60.00'
S00°24'52"E	26.81'
S79°22'51"E	104.41'



SQUARE FEET	ACRES
96,602.93	2.2177
83,203.13	1.9101
133,058.58	3.0546
22,346.38	0.5130
243,627.18	5.5929
W. Dedicated	
13,903.54	0.3192
20,500.97	0.4706
13,719.94	0.3150
4,655.56	0.1069
11,278.76	0.2589
13,210.55	0.3033

I	T	R	CHORD
59°	117.22	74.41	75.00
52°	39.47	25.20	25.00
53°	36.94	18.52	200.00
00°	109.30	69.58	69.58
11°	63.17	49.83	60.00
18°	39.07	74.80	25.00
17°	333.90	179.87	362.20
2°	35.29	25.02	25.00
10°	35.27	25.00	25.00
59°	44.06	30.32	25.00

NOTES

Record data (when applicable) shown in parenthesis if different from measured or calculated data. The South and West boundaries of Tract I-A were not field surveyed. EASEMENT LOCATION DIMENSIONS FOLLOWED BY (S) WERE SCALED FROM PLAT OF RECORD. Vacated R.O.W. indicated is vacated by this plat as per Ordinance V84-83.

Basis of Bearing: Record data as shown at Newport Industrial Park Unit 2, filed 11-9-1979 in Vol. C-15, Folio 193. Rotate 00°19'37" clockwise to N.M. State Plane Grid Bearings, Central Zone.

Found Monuments are indicated thus (F)

Set Monuments (No. 5 rebar w/cap stamped NMLS 6054) are indicated thus (O).

Monuments to be set within 30 days of recording of this plat are

SURVEYOR'S CERTIFICATE

I, Gordon J. Douglas, duly registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my direct supervision, that said plat meets the minimum requirements of the Albuquerque Subdivision Ordinance, shows all easements of record, and is true and correct to the best of my knowledge and belief.

Gordon J. Douglas
Gordon J. Douglas, NMLS 6054
Date 7-25-85

State of New Mexico } S.S.
County of Bernalillo }

On this 25 day of July, 1985, the foregoing instrument was acknowledged before me by Gordon J. Douglas.

Notary Public

SHEET 2 OF 2

Gordon J. Douglas & Associates P.C.

EXHIBIT "A"

632

U.S.A. Parking Lot

1. Concurrence of approval for the sidewalk Culverts.
2. 5/15/87 Survey requested, Survey indicates that Side is in substantial compliance grade wise.
3. Survey conducted on R/W of Miles Road indicated encroachment.
4. 5/15/87 required an updated plan for review showing the encroachment. Owner was advised on my 2/11/87 letter that if discrepancies were found an updated plan would be required.

Are these your official comments?

**REAL PROPERTY ENCROACHMENT AGREEMENT
AND COVENANTS UPON REAL ESTATE**

This Agreement, between the City of Albuquerque, New Mexico ("City") and U.S. APARK ("User") is made in Albuquerque, New Mexico and is entered into as of the date of filing this Agreement with the City Clerk.

1. Recital. The User is the owner of certain real property ("User's Property") located at 2121 Yale SE in Albuquerque, New Mexico, and more particularly described as: All of Tracts ~~A-1, B-1, and C-1~~ and C-1 of a replat of LOVELACE HEIGHTS ADDITION AND TRACT 1-A OF NEWPORT INDUSTRIAL PARK WEST - UNIT 2 as the same are shown and designated by the replat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 30, 1985, in Volume C-28, Folio 44, Doc. No. 85-72798

The City is the owner of certain real property, easement or public right-of-way ("City's Property") adjoining, abutting or within User's Property. The User wishes to encroach upon, or already has encroached upon, the City's Property by constructing the following "Improvement":

Pavement, curb and fence to be constructed within the four feet north of User's Property commencing from a point approximately 350 feet west of the southwest corner of the intersection of Yale Boulevard and Gibson Boulevard S.E., Albuquerque, New Mexico, and extending from said starting point westward approximately 969 feet. A sketch of the proposed or existing Improvement is attached and made a part of this Agreement.

The City agrees to permit the encroachment of the Improvement on the City's Property provided the User complies with the terms of this Agreement.

2. City Use of City's Property and City Liability. The City has the right to enter upon the City's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the User. If the Work affects the Improvement the City will not be financially or otherwise responsible for rebuilding or repairing the Improvement. The User promptly will repair the Improvement to the City's satisfaction. The cost of repairing the Improvement will be paid by User.

3. User's Responsibility for Improvement. The User will be solely responsible for constructing, maintaining, repairing and, if required, removing the Improvement, all in accordance with standards required by the City. The User will be solely responsible for paying all related costs. The User will not

permit the Improvement to constitute a hazard to the health or safety of the general public or to interfere with the City's use of the City's Property. The User will conform with all applicable laws, ordinances and regulations.

4. Demand for Repair, Modification or Removal. The City may send written notice ("Notice") to the User requiring the User to repair, modify or remove the Improvement within 90 days ("Deadline") and the User will comply promptly with the requirements of the Notice. If removal is demanded, the City also may require the User to return the City's Property to its original condition by the Deadline. The User will perform all required work by the Deadline, at User's sole expense.

5. Failure to Perform by User, Emergency and Lien by City. If the User fails to comply with the terms of the Notice by the Deadline stated, or, if the City determines that an emergency condition exists, the City may perform the work itself. The City then may assess the User for the cost of the work and for any other expenses or damages which result from User's failure to perform. The User agrees promptly to pay the City the amount assessed. If the User fails to pay the City within thirty (30) days after the City gives the User written notice of the amount due, the City may impose a lien against User's Property for the total resulting amount, if permitted to do so by law.

6. Condemnation: If any part of the User's property is ever condemned by the City, the User will forego all claims to compensation for any portion of User's structure which encroaches on City Property and for severance damage to the remaining portion of User's structure.

7. Notice. For purposes of giving formal written notice to the User, User's address is:

Richard Chaves
501 Lincoln Street
Denver, Colorado 80202

Notice may be given to the User either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the User within 6 days after the notice is mailed if there is no actual evidence of receipt. The User may change User's address by giving written notice of the change by certified mail, return receipt requested, to the City Engineer at P.O. Box 1293, Albuquerque, New Mexico 87103.

8. Indemnification. The User agrees to defend, indemnify and hold harmless the City, its officials, agents and employees from and against any and all claims, actions, suits or proceedings of any kind brought against said parties as a result of User's use of the City's Property.

9. Term. This Agreement shall continue until terminated in writing by the User and the City, or until all conditions of this agreement have been met.

10. Binding on User's Property. The obligations of the User set forth herein shall be binding upon the User, his heirs, assigns and successors and on User's Property, and constitute covenants running with User's Property until released by the City.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this agreement and will not affect the meaning or construction of any of its provisions.

CITY OF ALBUQUERQUE

Approved By:

ATTEST:

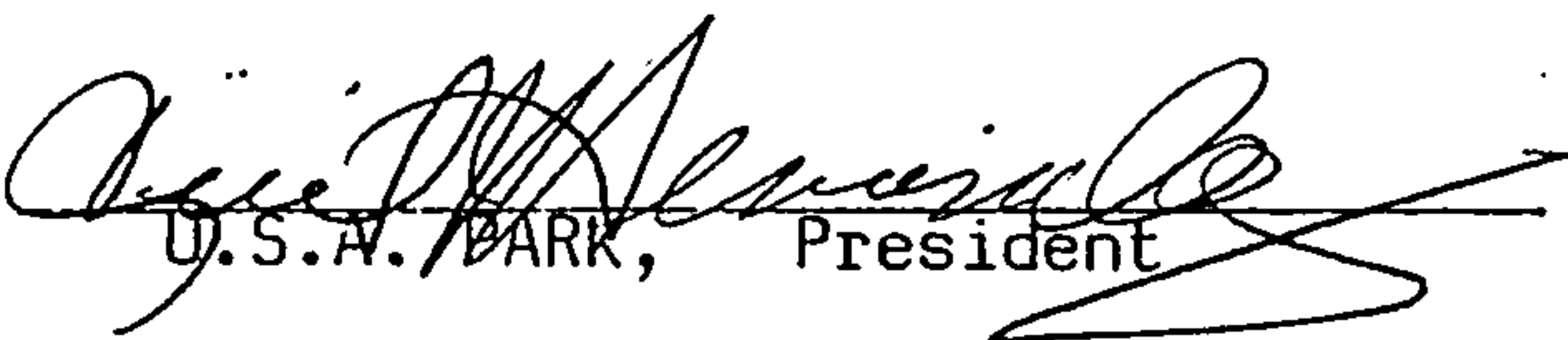
Chief Administrative Officer
Dated: _____

N/A

City Clerk

USER:

Approved as to form:


U.S.A. PARK, President

Assistant City Attorney

Reviewed by:

City Attorney

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by _____.

(User)

Notary Public

My commission expires:

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing was acknowledged before me this 30th day of
December, 1986, by CECIL J. HERNANDEZ
PRESIDENT, U.S.A. PARK
(Title) (Name of Corporation)

a NEW MEXICO corporation, on behalf of said
(State of Corporation)
corporation.

Mark D. Romero
Notary Public

My commission expires:

5-5-90

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing was acknowledged before me this _____ day of _____, 19____, by _____,
(Name of acknowledging Partner or Partners)
on behalf of _____,
(Name of Partnership)
a partnership.

Notary Public

My commission expires:

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this _____ day of _____, 198____, by Gene Romo, Chief Administrative Officer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Notary Public

My commission expires:

Robert

REAL PROPERTY ENCROACHMENT AGREEMENT
AND COVENANTS UPON REAL ESTATE

This Agreement, between the City of Albuquerque, New Mexico ("City") and THE CAR PARK COMPANY ("User") is made in Albuquerque, New Mexico and is entered into as of the date of filing this Agreement with the City Clerk.

1. Recital. The User is the owner of certain real property ("User's Property") located at 2121 Yale SE in Albuquerque, New Mexico, and more particularly described as: All of Tracts A-1, B-1, and C-1 of a replat of LOVELACE HEIGHTS ADDITION AND TRACT 1-A OF NEWPORT INDUSTRIAL PARK WEST - UNIT 2 as the same are shown and designated by the replat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 30, 1985, in Volume C-28, Folio 44, Doc. No. 85-72798

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Pavement, curb and fence to be constructed within the four feet north of User's Property commencing from a point approximately 350 feet west of the southwest corner of the intersection of Yale Boulevard and Gibson Boulevard S.E., Albuquerque, New Mexico, and extending from said starting point westward approximately 969 feet. A sketch of the proposed or existing Improvement is attached and made a part of this Agreement.

The City agrees to permit the encroachment of the Improvement on the City's Property provided the User complies with the terms of this Agreement.

2. City Use of City's Property and City Liability. The City has the right to enter upon the City's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the User. If the Work affects the Improvement the City will not be financially or otherwise responsible for rebuilding or repairing the Improvement. The User promptly will repair the Improvement to the City's satisfaction. The cost of repairing the Improvement will be paid by User.

3. User's Responsibility for Improvement. The User will be solely responsible for constructing, maintaining, repairing and, if required, removing the Improvement, all in accordance with standards required by the City. The User will be solely responsible for paying all related costs. The User will not

permit the Improvement to constitute a hazard to the health or safety of the general public or to interfere with the City's use of the City's Property. The User will conform with all applicable laws, ordinances and regulations.

4. Demand for Repair, Modification or Removal. The City may send written notice ("Notice") to the User requiring the User to repair, modify or remove the Improvement within 90 days ("Deadline") and the User will comply promptly with the requirements of the Notice. If removal is demanded, the City also may require the User to return the City's Property to its original condition by the Deadline. The User will perform all required work by the Deadline, at User's sole expense.

5. Failure to Perform by User, Emergency and Lien by City. If the User fails to comply with the terms of the Notice by the Deadline stated, or, if the City determines that an emergency condition exists, the City may perform the work itself. The City then may assess the User for the cost of the work and for any other expenses or damages which result from User's failure to perform. The User agrees promptly to pay the City the amount assessed. If the User fails to pay the City within thirty (30) days after the City gives the User written notice of the amount due, the City may impose a lien against User's Property for the total resulting amount, if permitted to do so by law.

6. Condemnation: If any part of the User's property is ever condemned by the City, the User will forego all claims to compensation for any portion of User's structure which encroaches on City Property and for severance damage to the remaining portion of User's structure.

7. Notice. For purposes of giving formal written notice to the User, User's address is:

Richard Chaves
501 Lincoln Street
Denver, Colorado 80202

Notice may be given to the User either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the User within 6 days after the notice is mailed if there is no actual evidence of receipt. The User may change User's address by giving written notice of the change by certified mail, return receipt requested, to the City Engineer at P.O. Box 1293, Albuquerque, New Mexico 87103.

8. Indemnification. The User agrees to defend, indemnify and hold harmless the City, its officials, agents and employees from and against any and all claims, actions, suits or proceedings of any kind brought against said parties as a result of User's use of the City's Property.

9. Term. This Agreement shall continue until terminated in writing by the User and the City, or until all conditions of this agreement have been met.

10. Binding on User's Property. The obligations of the User set forth herein shall be binding upon the User, his heirs, assigns and successors and on User's Property, and constitute covenants running with User's Property until released by the City.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

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14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this agreement and will not affect the meaning or construction of any of its provisions.

CITY OF ALBUQUERQUE

Approved By:

ATTEST:

Chief Administrative Officer
Dated: _____

City Clerk

USER:

Approved as to form:

Richard Chavez

Assistant City Attorney

Sec. The Car Park Co.

Reviewed by:

City Attorney

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing was acknowledged before me this _____ day of
_____, 19____, by _____,
 (Name of acknowledging Partner or Partners)
on behalf of _____,
 (Name of Partnership)
a partnership.

Notary Public

My commission expires:

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me
this _____ day of _____, 198____, by Gene Romo, Chief
Administrative Officer of the City of Albuquerque, a municipal
corporation, on behalf of said corporation.

Notary Public

My commission expires:

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M15-D21A DATE: 7-21-89

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: MILES ROAD VACATION

STREET ADDRESS: FR MILES Rd between Yale

LEGAL DESCRIPTION: and Buena Vista

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
☒ GRADING/PAVING PERMIT ☒ OTHER
Vacation

ATTENDANCE:

	WHO	REPRESENTING
	<u>Jeff Mortensen</u>	_____
	<u>Carl A. Montez</u>	_____
	_____	_____
	_____	_____

FINDINGS:
① Need drainage plan for Vacation, grading, & Paving permit

- ② Prior to our approval of the item one the following items need to be completed
- Ⓐ Need a certificate of occupancy for USA Park Parking Lot & building
 - Ⓑ Need to update the parking lot's drainage plan
 - Ⓒ Need certification of the drainage plan (previously approved plan)
 - Ⓓ Need SO #19 inspectors approval for previous paving project.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Carl A. Montez
TITLE: _____
DATE: 7-21-89

SIGNED: Jeffrey
TITLE: _____
DATE: 07-21-89

May 21, 1987

Survey 4

R. Gallegos PC

C. Lucard AT

J. Garcia P

Drainage Inspection

U.S.A.

PARKING LOT

[EXPRESS]

Yalc & Gibson

Note: 0+00 is the S'y. E. of Gibson

SEE WORK SHEET FOR ID's on BL's

ACSBM

S-L 1.5 "D" Gibson & Buena Vista 5152.59

1-M 16 BC Gibson & Yalc 5189.85

G 9A 5143.01

Baseline/sta

Note: Baseline "A" is the Eastmost BL

	BS	HI	FS	ELW
TP #2	9.75			5175.38

85¹³

"A" /	0+00			
	FE	0+22	0+50	
	9.97	7.67	8.80	
	75 ¹⁶	75 ⁵³	76 ³³	

TP #3	9.27			5168.81
-------	------	--	--	---------

78⁰⁸

"B" /	0+00	0+62	0+1738	
	FE	T.C	T.C	
	10.13	9.64	9.23	
	67 ⁹⁵	68 ⁴⁴	68 ⁸⁵	

TP #4	10.84			5163.90
-------	-------	--	--	---------

74²⁴

"C" /	0+00	0+18	0+50	
	FE			
	11+37	10.83	9.33	
	62 ⁸⁷	63 ⁴¹	64 ⁹¹	

TP #5	9.51			5157.98
-------	------	--	--	---------

67⁴⁹

"D" /	0+00	T.C	0+00	
	FE	0+17	T.C	
	10.20	9.27	9.70	
	57 ²⁹	58 ²²	57 ⁷⁹	

6

1+00	1+50	2+00	2+50	3+00	3+12
7.25	5.35	3.36	1.81	0.63	0.25
77 ⁸⁸	79 ⁷⁸	81 ⁷⁷	83 ³²	84 ⁵⁰	83 ⁸⁸

0+18	0+50	1+00	1+50	2+00	2+50	2+82
FE						
9.70	8.37	6.87	5.39	3.55	1.84	1.10
68 ³⁸	69 ⁷¹	71 ²¹	72 ⁶⁹	74 ⁵³	76 ²⁴	76 ⁹⁵

1+00	1+50	2+00	2+46	
7.80	5.86	4.20	2.47	
66 ⁴⁴	68 ³⁸	70 ⁰⁴	71 ⁷⁷	

0+17	0+50	1+00	1+50	2+04
FE				
9.82	8.45	6.53	4.71	2.45
57 ⁶⁷	58 ⁸⁴	60 ⁹⁶	62 ¹⁸	65 ⁰⁴



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 20, 1986

Jeff Mortensen
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT
(M-15/D21A) ENGINEER'S STAMP DATED NOVEMBER 18, 1986

Dear Jeff:

Based on the information provided on your resubmittal of November 18, 1986, the above referenced drainage plan is approved for Building and Paving permit.

Please be advised that prior to Building Permit release, concurrence from Traffic Engineering for entry from Yale Boulevard will need to be obtained. Otherwise, a new submittal showing entry and exit will need to be submitted for review.

Also, please advise your client that a separate permit is required for construction within City right-of-way.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

Underscored Material - New
[Bracketed Material] - Deletion

1 C. Sidewalk Location.

2 1. On arterial streets, sidewalks shall be located
3 within the right-of-way and the street side of the sidewalk shall be set
4 back twelve (12) feet from the back of the curb.

5 2. On collector streets, sidewalks shall be placed
6 within the right-of-way and at the property line.

7 D. Where sufficient right-of-way is not available, the
8 Mayor may set a special sidewalk location standard within the right of
9 way.

10 E. Transverse Slope. The transverse slope of the walk
11 and setback area shall be one-fourth inch (1/4") per foot, sloping toward
12 the street.

13 F. Materials. All sidewalk design plans submitted must
14 specify the materials to be used and any such material shall conform to
15 the performance standards for sidewalk materials as established by the
16 Mayor.

17 G. Site Preparation and Inspection. The Mayor shall be
18 given three work days notice before any material is placed in order that
19 an inspection may be made of the sub-grade, the forms, and the spacing
20 for expansion-contraction joints. The excavating and grading shall be
21 smoothly and neatly done, and to the proper depth, all large stones,
22 boulders, roots, other vegetation, and rubbish of every description being
23 removed from the sub-grade and the entire work made to conform to
24 the profile and grade of the walk when finished. Soft, spongy or loamy
25 areas in the sub-grade must be removed, and the space refilled with
26 stable material thoroughly compacted in accordance with the
27 requirements of the Street Excavation Ordinance of the City of
28 Albuquerque, Article 8-7 R.O. 1974.

29 H. The person laying a sidewalk shall neatly and
30 permanently affix to the sidewalk the name of the contractor or
31 property owner laying the sidewalk and the year of the installation.
32 Such information shall be approximately one-fourth to one-half square
33 foot in size. The information shall be repeated every fifty (50) running

SUM TOTAL OF AREAS TO THIS POINT = 4.1195

AREA IN ACRES FOR SURFACE TYPE = .4577

CORRESPONDING SURFACE TYPE C FACTOR = .25

TOTAL BASIN AREA IN ACRES = 4.577

AREA IN ACRES FOR SURFACE TYPE = 4.1195

CORRESPONDING SURFACE TYPE C FACTOR = .95

***** USING WEIGHTED C METHOD *****

AREA IN ACRES

= 4.577

6-HR RAINFALL IN INCHES

= 2.3

TIME TO CONCENTRATION IN MINUTES

= 10

INTENSITY IN INCHES/HOUR

= 4.861653

***** RATIONAL METHOD *****

SUM TOTAL OF AREAS TO THIS POINT = 4.5772

THE WEIGHTED C VALUE = .8800416

THE PEAK DISCHARGE IN CFS = 19.5825

THE FOLLOWING IS USED TO CALCULATE THE RATIONAL RUNOFF HYDROGRAPH

***** DETERMINING VOLUME BY THE SCS METHOD *****

DIRECT RUNOFF FROM BASIN IN INCHES = 2

AREA OF BASIN IN ACRES = 4.577

BASIN RUNOFF VOLUME IN CUBIC FEET = 33229.02

TOTAL DURATION OF RUNOFF (min.) = 56.56245

**** RATIONAL METHOD ****

AREA IN ACRES = 4.5773

6-HR RAINFALL IN INCHES = 2.3

TIME TO CONCENTRATION IN MINUTES = 10

INTENSITY IN INCHES/HOUR = 4.861653

***** USING WEIGHTED C METHOD *****

TOTAL BASIN AREA IN ACRES = 4.5773

AREA IN ACRES FOR SURFACE TYPE = 4.1195

CORRESPONDING SURFACE TYPE C FACTOR = .95

SUM TOTAL OF AREAS TO THIS POINT = 4.1195

AREA IN ACRES FOR SURFACE TYPE	=	.4577
CORRESPONDING SURFACE TYPE C FACTOR	=	.25
SUM TOTAL OF AREAS TO THIS POINT	=	4.5772
THE WEIGHTED C VALUE	=	.8799839
THE PEAK DISCHARGE IN CFS	=	19.5825

THE FOLLOWING IS USED TO CALCULATE THE RATIONAL RUNOFF HYDROGRAPH

***** DETERMINING VOLUME BY THE SCS METHOD *****

DIRECT RUNOFF FROM BASIN IN INCHES	=	2
AREA OF BASIN IN ACRES	=	4.5773
BASIN RUNOFF VOLUME IN CUBIC FEET	=	33231.2
TOTAL DURATION OF RUNOFF (min.)	=	56.56616

**** RATIONAL METHOD ****

AREA IN ACRES	=	1.366
6-HR RAINFALL IN INCHES	=	2.3
TIME TO CONCENTRATION IN MINUTES	=	10
INTENSITY IN INCHES/HOUR	=	4.861653

***** USING WEIGHTED C METHOD *****

TOTAL BASIN AREA IN ACRES	=	1.366
---------------------------	---	-------

AREA IN ACRES FOR SURFACE TYPE	=	.0683
CORRESPONDING SURFACE TYPE C FACTOR	=	.25
SUM TOTAL OF AREAS TO THIS POINT	=	.0683

AREA IN ACRES FOR SURFACE TYPE	=	1.2977
CORRESPONDING SURFACE TYPE C FACTOR	=	.95

SUM TOTAL OF AREAS TO THIS POINT	=	1.366
----------------------------------	---	-------

THE WEIGHTED C VALUE	=	.9149999
----------------------	---	----------

THE PEAK DISCHARGE IN CFS	=	6.076531
---------------------------	---	----------

THE FOLLOWING IS USED TO CALCULATE THE RATIONAL RUNOFF HYDROGRAPH

***** DETERMINING VOLUME BY THE SCS METHOD *****

DIRECT RUNOFF FROM BASIN IN INCHES	=	2
AREA OF BASIN IN ACRES	=	1.366
BASIN RUNOFF VOLUME IN CUBIC FEET	=	9917.16
TOTAL DURATION OF RUNOFF (min.)	=	54.40144

**** RATIONAL METHOD ****

AREA IN ACRES	=	1.2393
6-HR RAINFALL IN INCHES	=	2.3
TIME TO CONCENTRATION IN MINUTES	=	10
INTENSITY IN INCHES/HOUR	=	4.861653

***** USING WEIGHTED C METHOD *****

TOTAL BASIN AREA IN ACRES = 1.2393
 AREA IN ACRES FOR SURFACE TYPE = .1239
 CORRESPONDING SURFACE TYPE C FACTOR = .25

SUM TOTAL OF AREAS TO THIS POINT = .1239

AREA IN ACRES FOR SURFACE TYPE = 1.1153
 CORRESPONDING SURFACE TYPE C FACTOR = .95

SUM TOTAL OF AREAS TO THIS POINT = 1.2392

THE WEIGHTED C VALUE = .8799402

THE PEAK DISCHARGE IN CFS = 5.301681

THE FOLLOWING IS USED TO CALCULATE THE RATIONAL RUNOFF HYDROGRAPH

***** DETERMINING VOLUME BY THE SCS METHOD *****

DIRECT RUNOFF FROM BASIN IN INCHES = 2
 AREA OF BASIN IN ACRES = 1.2393
 BASIN RUNOFF VOLUME IN CUBIC FEET = 8997.318

TOTAL DURATION OF RUNOFF (min.) = 56.56897

***** SUMMARY TABLE *****

C	V	AREA	SUBAREA	SLOPE	FLOOD	Tc	%IMP	DRD	RAIN	CN	C	Q	I	TIME	VOLUME
5	0	4.58	4.12	0.00	0.00	10.00	0.00	0.00	2.30	0	0.95	0.00	4.86	0.00	0.00
5	0	4.58	0.46	0.00	0.00	10.00	0.00	0.00	2.30	0	0.25	0.00	4.86	0.00	0.00
3	0	4.58	0.00	0.00	0.00	10.00	0.00	0.00	2.30	0	0.88	19.58	4.86	0.00	0.00
0	2	4.58	0.00	0.00	0.00	10.00	0.00	2.00	2.30	0	0.88	19.58	4.86	56.56	33229.02
5	0	4.58	4.12	0.00	0.00	10.00	0.00	0.00	2.30	0	0.95	19.58	4.86	0.00	0.00
5	0	4.58	0.46	0.00	0.00	10.00	0.00	0.00	2.30	0	0.25	19.58	4.86	0.00	0.00
3	0	4.58	0.00	0.00	0.00	10.00	0.00	0.00	2.30	0	0.88	19.58	4.86	0.00	0.00
0	2	4.58	0.00	0.00	0.00	10.00	0.00	2.00	2.30	0	0.88	19.58	4.86	56.57	33231.20
5	0	1.37	0.07	0.00	0.00	10.00	0.00	0.00	2.30	0	0.25	19.58	4.86	0.00	0.00
5	0	1.37	1.30	0.00	0.00	10.00	0.00	0.00	2.30	0	0.95	19.58	4.86	0.00	0.00
3	0	1.37	0.00	0.00	0.00	10.00	0.00	0.00	2.30	0	0.91	6.08	4.86	0.00	0.00
0	2	1.37	0.00	0.00	0.00	10.00	0.00	2.00	2.30	0	0.91	6.08	4.86	54.40	9917.16
5	0	1.24	0.12	0.00	0.00	10.00	0.00	0.00	2.30	0	0.25	6.08	4.86	0.00	0.00
5	0	1.24	1.12	0.00	0.00	10.00	0.00	0.00	2.30	0	0.95	6.08	4.86	0.00	0.00
3	0	1.24	0.00	0.00	0.00	10.00	0.00	0.00	2.30	0	0.88	5.30	4.86	0.00	0.00
0	2	1.24	0.00	0.00	0.00	10.00	0.00	2.00	2.30	0	0.88	5.30	4.86	56.57	8997.32

***** KEY TO SUMMARY TABLE *****

METHODS

- C (1) RUNOFF COEFFICIENT ENTERED
 (2) ROSSMILLER METHOD TO FIND C
 (3) WEIGHTED C METHOD
 (4) SCS METHOD
 (5) SUBAREAS FOR WEIGHTED C METHOD
- V (1) RUNOFF VOLUME ENTERED
 (2) RUNOFF VOLUME BY SCS METHOD
 (3) RUNOFF VOLUME BY RATIONAL METHOD

Underscored Material - New
[Bracketed Material] - Deletion

1 which covers the site and specifically permits the class of object in
2 question.

3 F. Decorative paving or other ground cover not intended
4 for vehicular use.

5 G. Drive pad and/or driveway.

6 H. Bicycle Trails."

7 "8-6-13 USE STANDARDS.

8 A. All sidewalk design plans submitted must show
9 provision for the mobility, safety, and comfort of the pedestrian.

10 B. All sidewalk design plans submitted must show
11 provision for adequate pedestrian access to abutting property.

12 C. All sidewalk design plans submitted must show how
13 connection to abutting sidewalk, if any, will be accomplished."

14 "8-6-14 DESIGN AND CONSTRUCTION STANDARDS AND
15 PROCEDURES.

16 A. Street Classification. Sidewalk designs are partially set
17 by street classification. This classification is set by the Long Range
18 Major Street Plan, a plan adopted by the Urban Transportation Planning
19 Policy Board of the Middle Rio Grande Council of Governments.

20 B. Sidewalk Width.

21 1. Sidewalks shall be six (6) feet wide when
22 adjacent to:

23  a. an arterial street; or
24 b. a collector street which abuts land zoned
25 apartment, office, or commercial: R-2, R-3, R-4, O-1, C-1, C-2, C-3,
26 SU-1 or SU-2 for development similar to that allowed in the other zones
27 in this list, or H-1; or

28 c. a local or collector street which abuts
29 (1) the grounds of schools or churches, or
30 (2) land zoned SU-3.

31 2. Sidewalks shall be four (4) feet wide when
32 adjacent to a local or collector street other than those included in 1 of
33 this subsection.

7 RT density
6



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 14, 1986

Jeff Mortensen
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT
(M-15/D21A) RECEIVED NOVEMBER 12, 1986

Dear Jeff:

A preliminary review of your submittal for Building Permit approval has shown that the following information is lacking for this section to begin the review process:

INFORMATION NEEDED:

1. Access off of Yale Boulevard not acceptable to Traffic Engineering. (One paved access is required by Ordinance).
2. Approved T.C. and F.L. elevations for Miles Road, SE, must be shown on plan.

Please provide this information so that we may process your request as expediently as possible.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

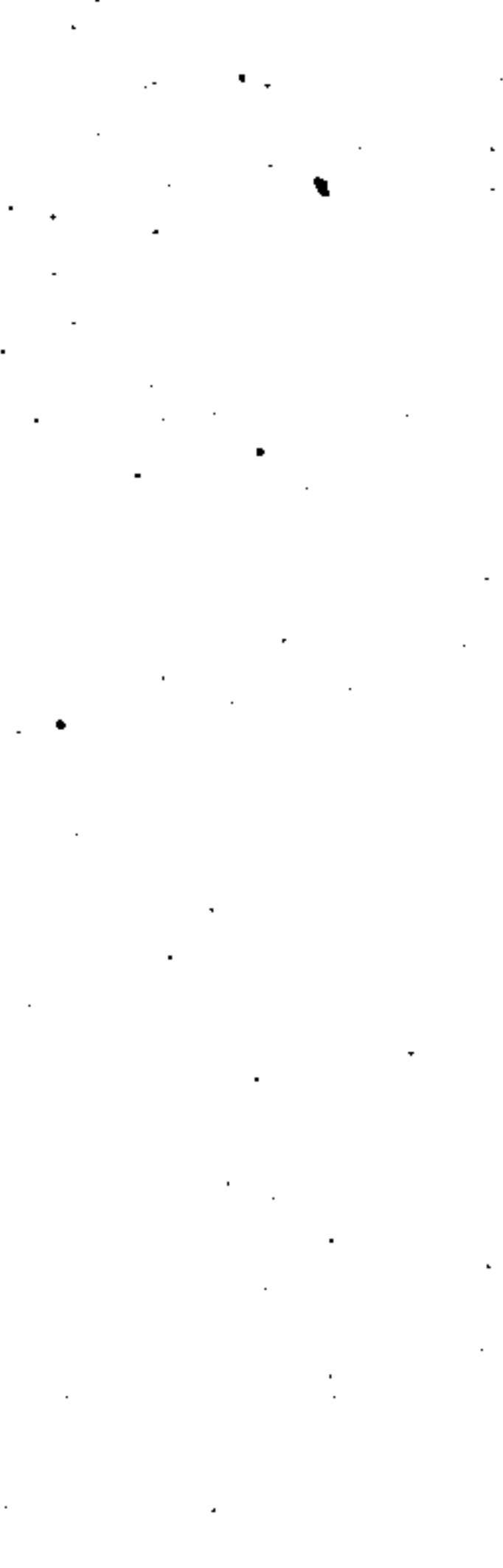
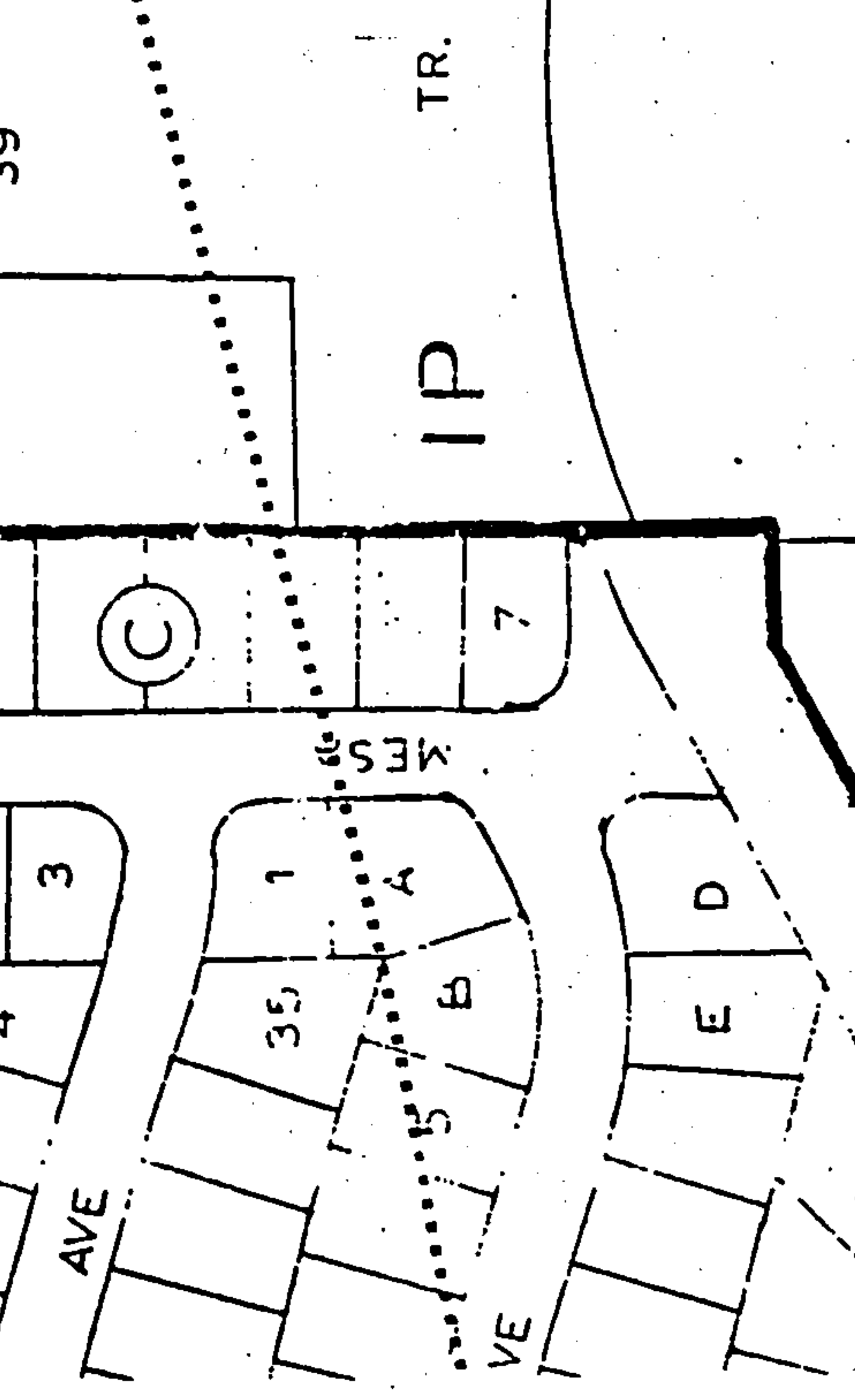
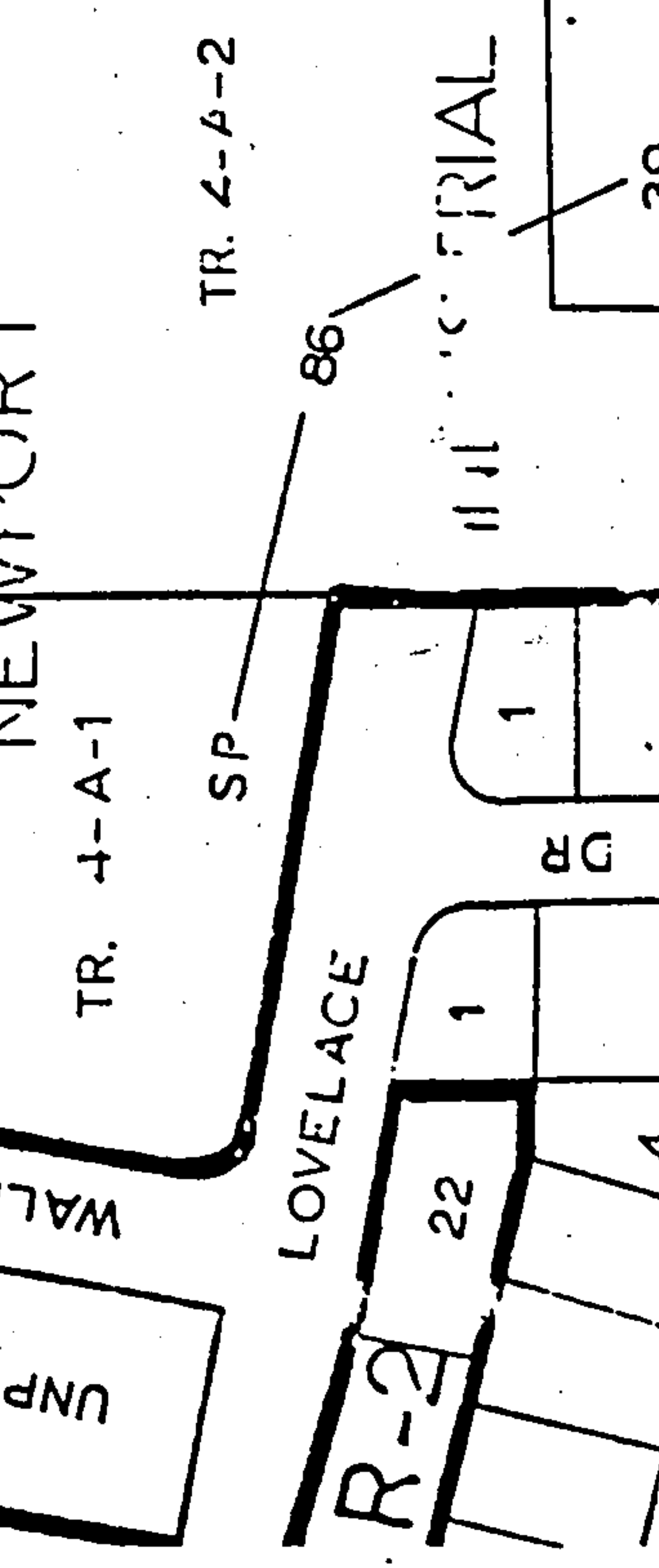
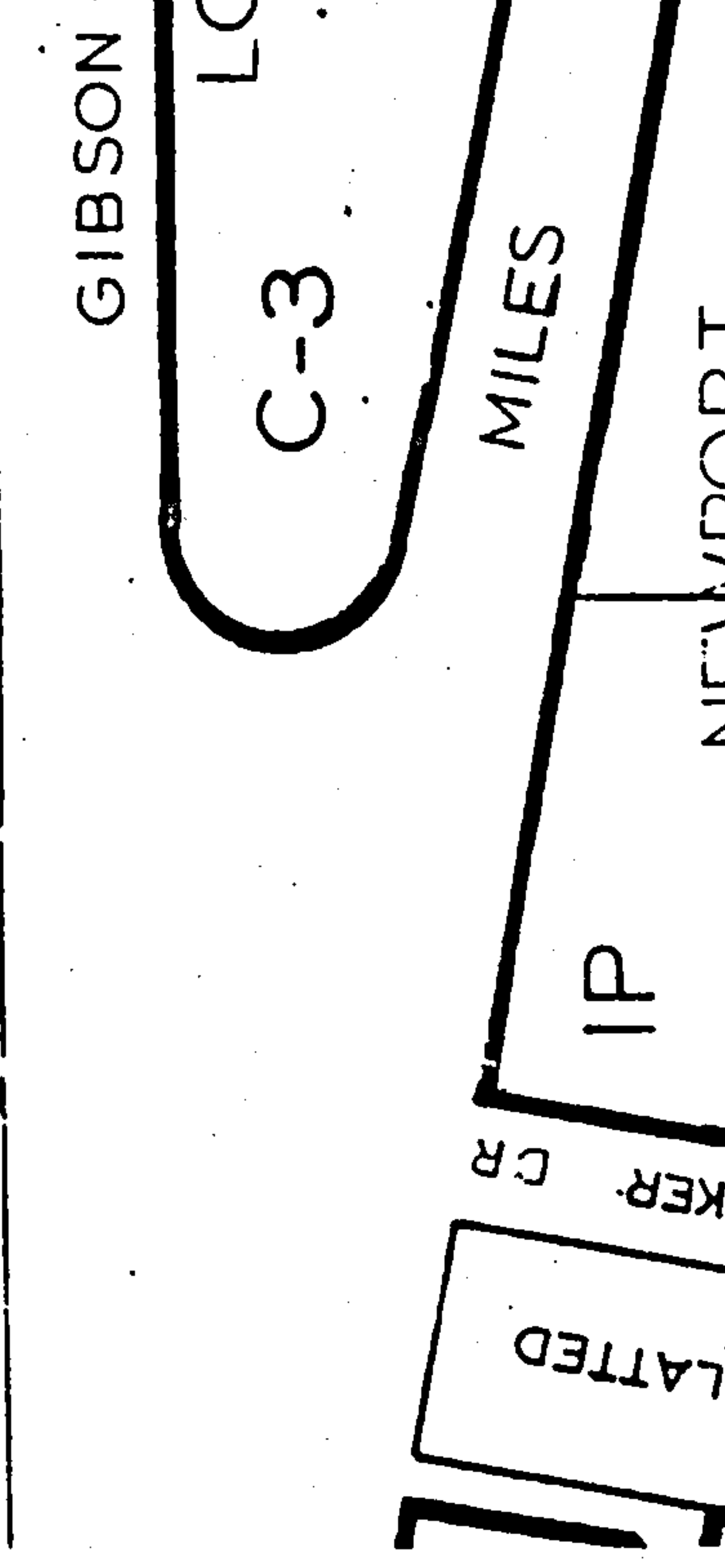
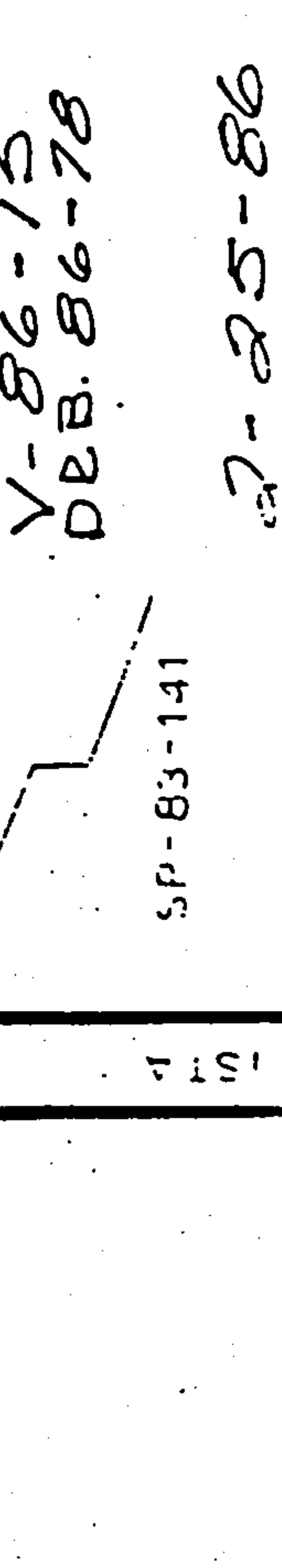
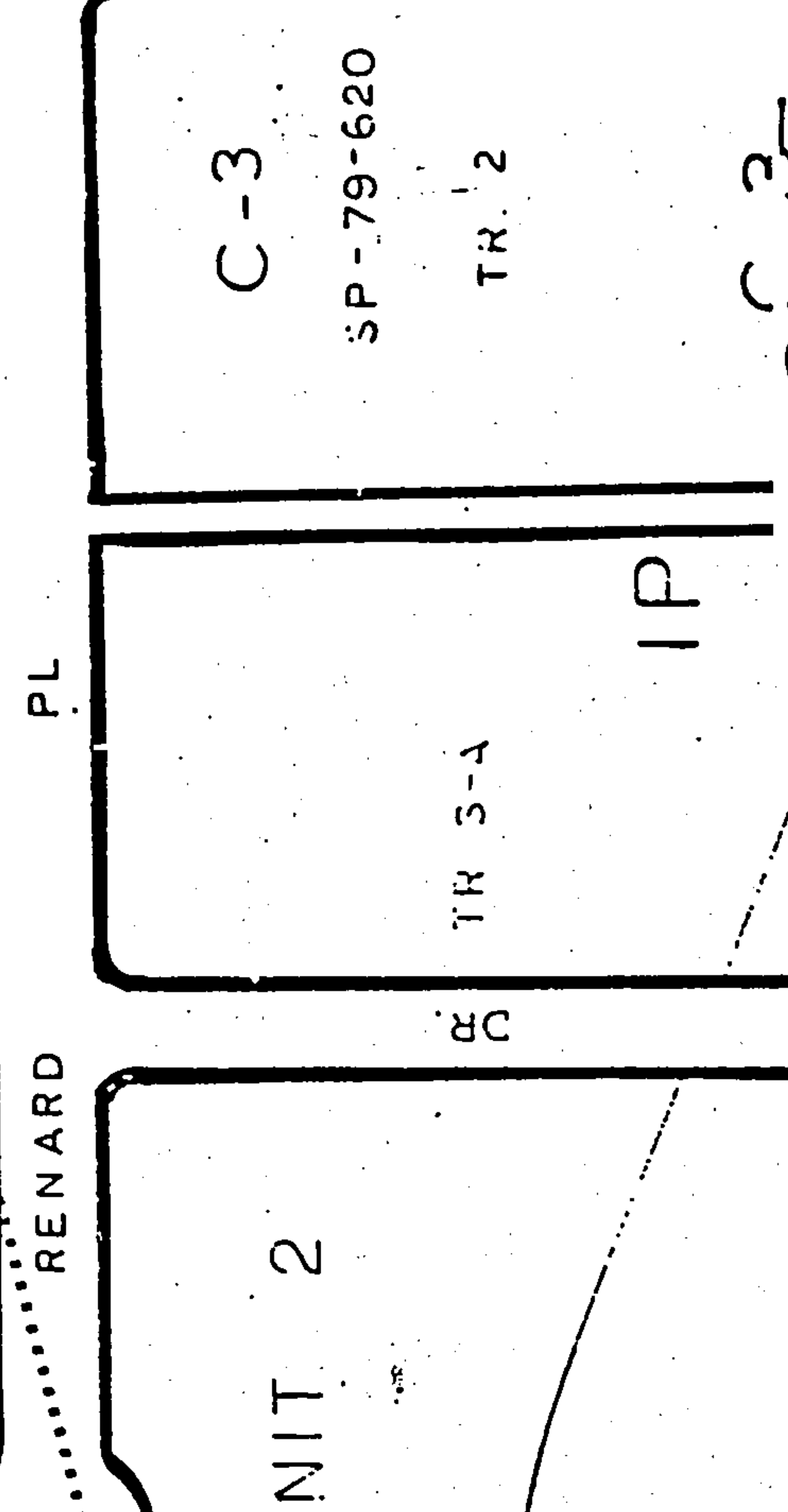
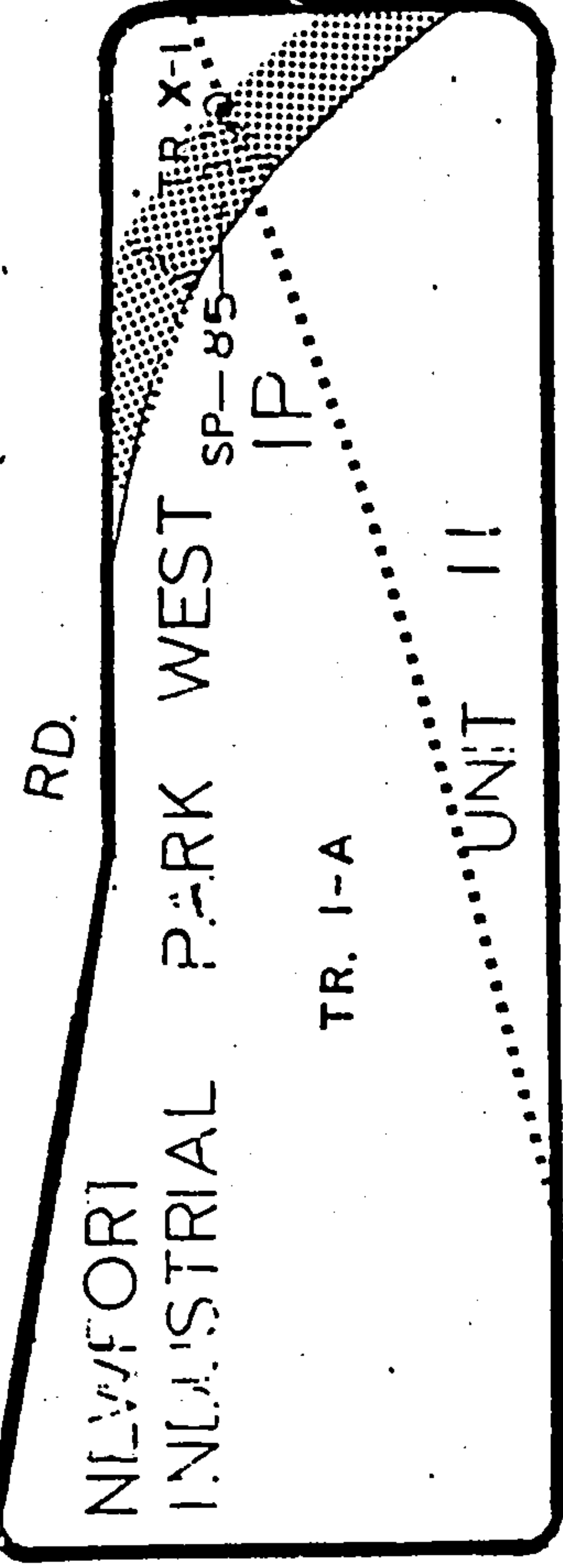
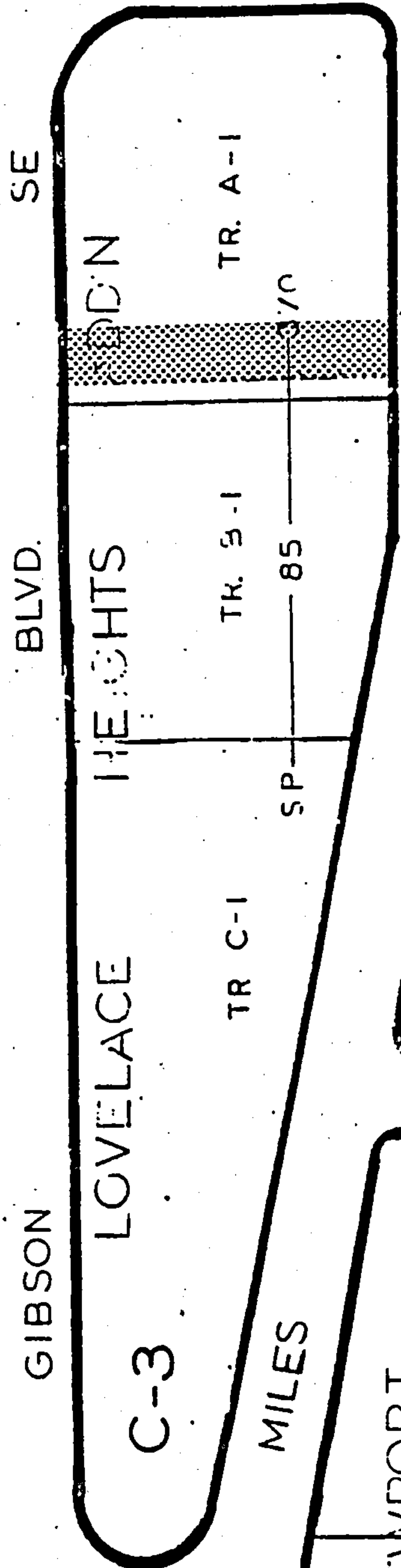
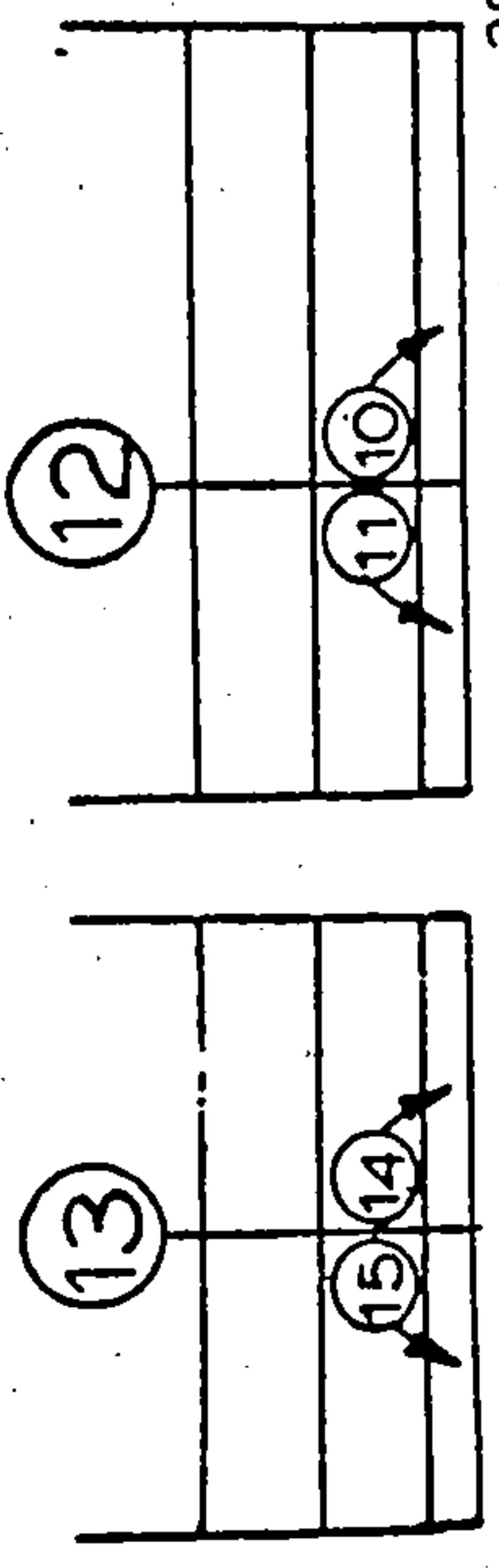
PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



O F F I C I A L N O T I C E

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION
P.O. BOX 1293, ALBUQUERQUE, NEW MEXICO 87103

Richard A. Anderson
1421 Las Lomas Road, NE
Albuquerque, NM 87106

RE: V-86-15 Richard A Anderson requests Vacation of the 60 foot
 DRB-86-78 temporary drainage easement along the western boundary of
 (SE) Tract A-1, Lovelace Heights Addition, zoned C-3 and located
 between Gibson Blvd SE and Miles Road SE, and Vacation of
 that portion of the 50 foot temporary drainage easement
 along the southwestern boundary of Tract X-1. Lovelace
 Heights Addition, zoned C-3 and located between Miles Road
 SE and Yale Blvd SE. (M-15)

At the February 25, 1986, Development Review Board meeting, the vacation of the 60 foot temporary drainage easement lying in Tract A1 along the former right-of-way of Wilmoore Drive from Miles to Gibson and the 50 drainage easement lying within Tract X1 of Lovelace Heights Addition, and Tract 1A of Newport Industrial Park West Unit II, being the former right-of-way of the south lane of Miles Road running between Yale and Miles Road west. Vacation of those drainage easements are approved with the following findings and conditions:

Findings and Conditions:

1. The public welfare is in no way served by retaining the easement.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
3. Disposition of the vacated easements shall be arranged through the Property Management Office.
4. Plats showing the vacated easements shall be filed within one (1) year.
5. Improvements to confine the public drainage waters to public rights-of-way of Miles Road are required with an Infrastructure Improvements Agreement as a condition of plat approval.

If you wish to appeal this decision, you must do so by March 12, 1986, in the manner described below. A nonrefundable fee of \$40 is required at the time the appeal is filed.

Appeal to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form to the Planning Division within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

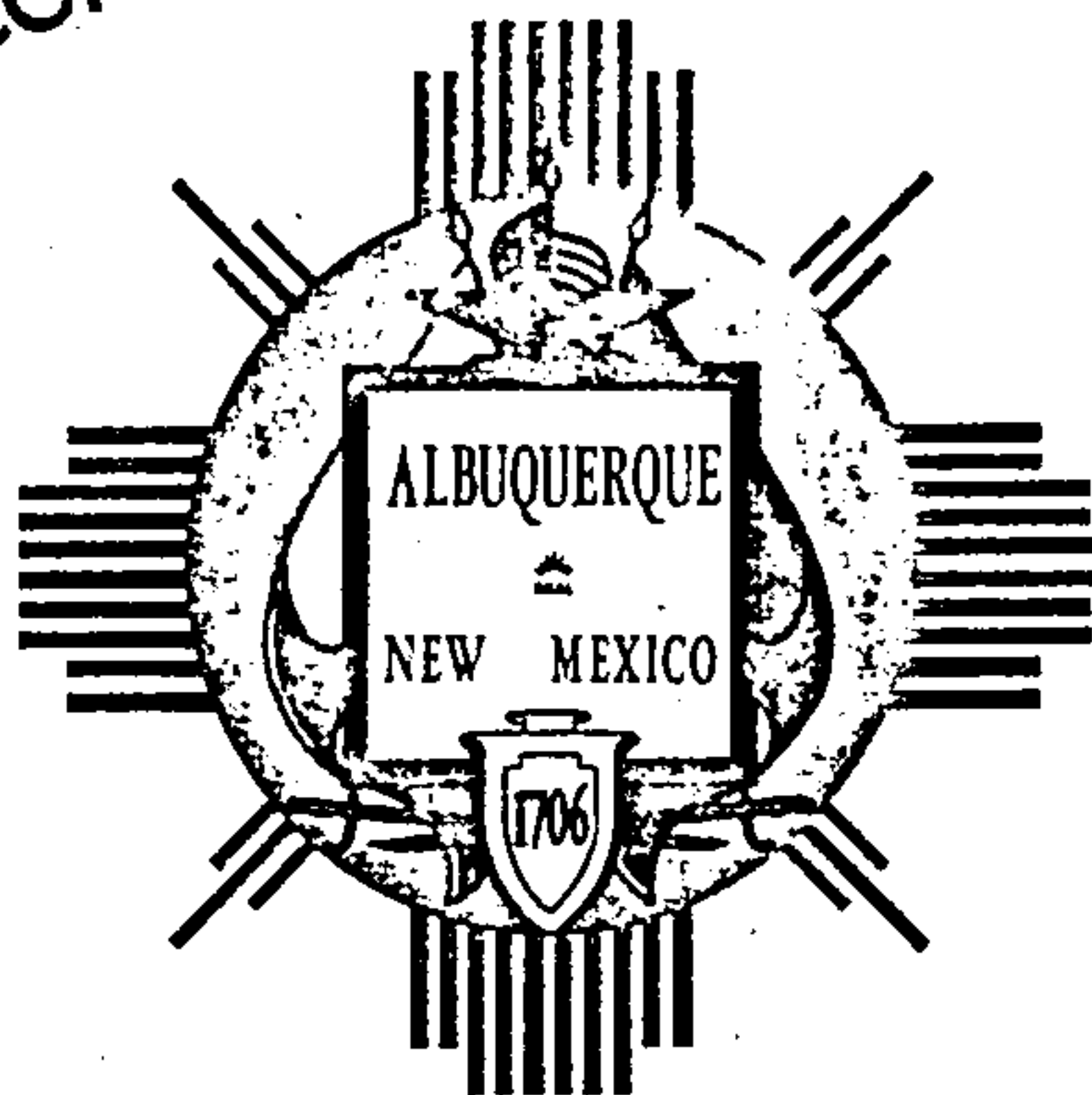
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Theresa Chavez

Theresa Chavez
Board Secretary

cc: Val Valdez, Real Estate Office

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

May 21, 1986

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: GRADING & DRAINAGE PLAN SUBMITTAL OF HAMPTON INN
RECEIVED MAY 12, 1986, FOR BUILDING PERMIT APPROVAL
(M-15/D21A)

Dear Jeff:

The above referenced submittal, dated May 10, 1986, approved for Building Permit. A separate permit to construct the sidewalk culverts within public Right-of-Way will also be required, with the approved permit included with the construction set for sign-off.

In review of the preliminary street grades for Miles Road, on Sheet 4 of 8, the construction note at the northwest corner of Tract B-1 refers to two 2'0" sidewalk culverts instead of six 2'0" culverts as required by the drainage plan.

If you have any questions, call me at 766-7644.

Cordially,

Roger A. Green, P.E.
C.E./Hydrology Section

cc: Jack Schaffer,
Archeon, Architects

RAG/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

ALBUQUERQUE, NEW MEXICO

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

May 21, 1986

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: GRADING & DRAINAGE PLAN SUBMITTAL OF HAMPTON INN
RECEIVED MAY 12, 1986, FOR BUILDING PERMIT APPROVAL
(M-15/D21A)

Dear Jeff:

The above referenced submittal, dated May 10, 1986, approved for Building Permit. A separate permit to construct the sidewalk culverts within public Right-of-Way will also be required, with the approved permit included with the construction set for sign-off.

In review of the preliminary street grades for Miles Road, on Sheet 4 of 8, the construction note at the northwest corner of Tract B-1 refers to two 2'0" sidewalk culverts instead of six 2'0" culverts as required by the drainage plan.

If you have any questions, call me at 766-7644.

Cordially,

Roger A. Green, PE

Roger A. Green, P.E.
C.E./Hydrology Section

cc: Jack Schaffer,
Archeon, Architects

RAG/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

REPORT OF THE CITY OF ALBUQUERQUE

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

00152

PROJECT TITLE: Hampton Inn - Miles Road ZONE ATLAS/DRNG. FILE #: M-15 ^{21A}
 LEGAL DESCRIPTION: TRACT B-1, LOVELACE HEIGHTS ADJUTED
 CITY ADDRESS: MILES ROAD SE.

ENGINEERING FIRM: TOM MANN & ASSOC CONTACT: J. G. MORTENSEN

ADDRESS: 811 DALLAS NE PHONE: 265-5611

OWNER: SAUL KAPLAN CONTACT: ARCHITECT

ADDRESS: _____ PHONE: _____

ARCHITECT: ARCHEON CONTACT: JACK SCHAFFER

ADDRESS: 3071 DIRECTORS ROW PHONE: 901-345-3244
MEMPHIS TN 38131

SURVEYOR: GORDON DOUGLAS CONTACT: GORDON DOUGLAS

ADDRESS: _____ PHONE: 268-4429

CONTRACTOR: HEATH & HOUSE CONTACT: DEWAYNE KENNEDY

ADDRESS: 106 DOVER ROAD PHONE: 501-735-4243
PO BOX 1300

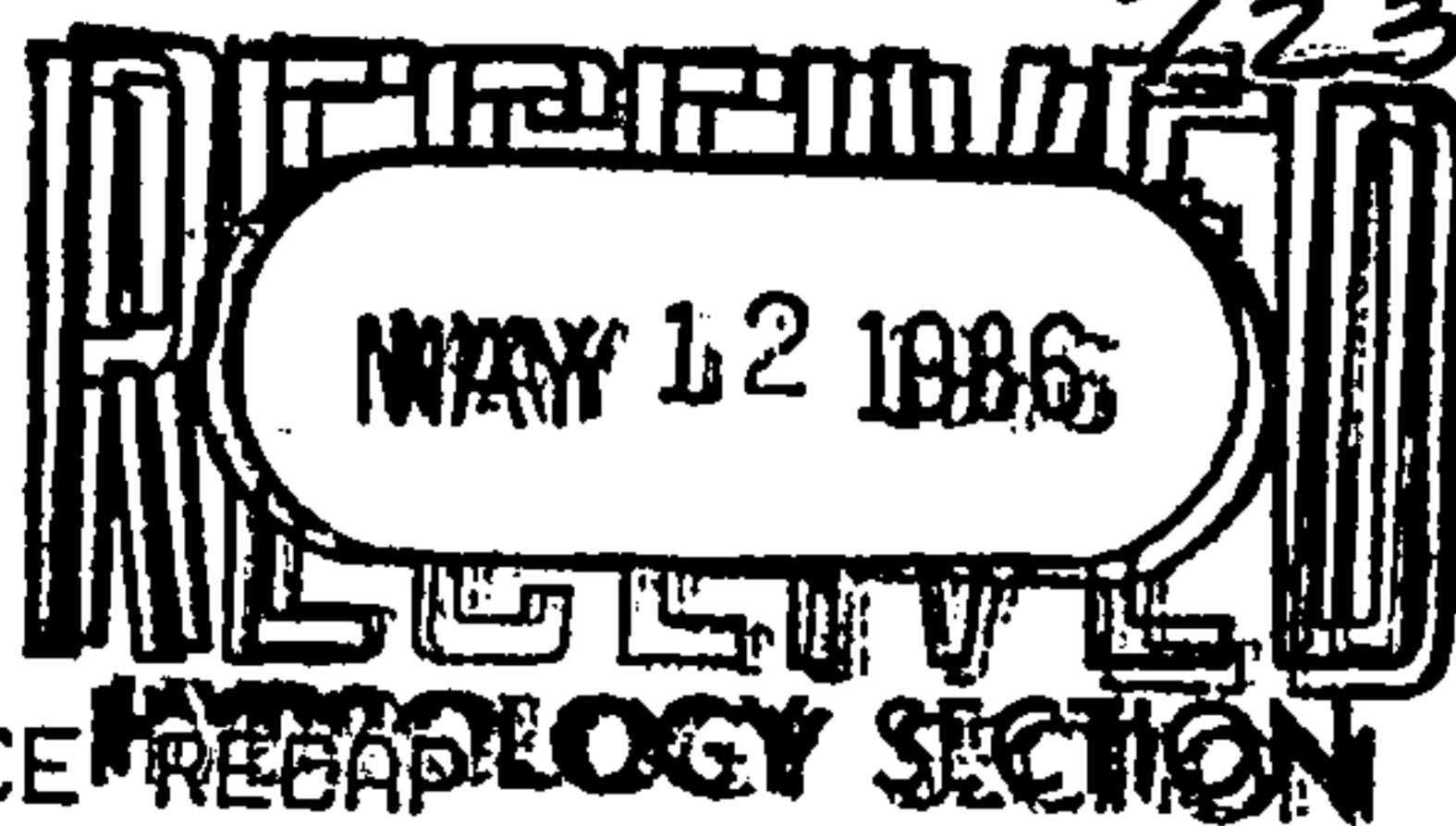
WEST MEMPHIS, AR
72301

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECORD SHEET PROVIDED



DRB NO. 86-199 4/1/86

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

NOTE: PRELIM. STREET
GRADING PROVIDED FOR
HYDROLOGY REVIEW.

DATE SUBMITTED: J. G. MORTENSEN

BY: 05-12-86

60151

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M-15 DATE: 2-6-86
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: Hampton Inn
STREET ADDRESS (IF KNOWN): Gibson SE
SUBDIVISION NAME: Tract B1 Lone-lace Hts Addn

APPROVAL REQUESTED:

☐ PRELIMINARY PLAT	☐ FINAL PLAT
☐ SITE DEVELOPMENT PLAN	☒ BUILDING PERMIT
☐ OTHER	☐ ROUGH GRADING

WHO	REPRESENTING
ATTENDANCE: <u>Jeff Mortensen</u>	_____
<u>Carlton A. Muntz</u>	_____
_____	_____

FINDINGS:

- ① Drainage plan per DPM
- ② Require one paved access through Miller Rd. to site.
 (A) Recommend coordination for street grade and hydraulics with DRC. Coordinate with master plan of Andrew, Askey & Roberts.
- ③ Free discharge to Gibson allowed engineer must address:
 (A) No flooding on Gibson
 (B) Flows enter south diversion channel
 (C) Gibson is at a steep grade which will contain a large amount of runoff

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Carlton A. Muntz
TITLE: _____
DATE: 2-6-86

SIGNED: Jeffrey G. [Signature]
TITLE: _____
DATE: 02-06-86

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M-15 DATE: 2-6-86
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: Houghton, Tom
STREET ADDRESS (IF KNOWN): Gibson SE
SUBDIVISION NAME: Tract B1 Limestone Hts Addition

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Jeff Mortensen</u>	_____
	<u>Carol A. M...f</u>	_____
	_____	_____

FINDINGS:

- ① Drainage plan per DPM
- ② Review one paved access through Milon Rd to site
 Ⓐ Recommend coordination for street grade and hydraulics with DRC. Coordinate with master plan of Anderson, Acheson & Roberts.
- ③ Free discharge to Gibson allowed engineer must address
 Ⓐ No flooding in Gibson
 Ⓑ Flows enter south diversion channel
 Ⓒ Gibson is at a sharp 90 degree which will collect a large amount of runoff

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Carol A. M...f</u>	SIGNED: <u>Jeff Mortensen</u>
TITLE: _____	TITLE: _____
DATE: <u>2-6-86</u>	DATE: <u>02-06-86</u>

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

February 11, 1987

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT (M-15/D21A)
ENGINEER'S STAMP DATED FEBRUARY 5, 1987

Dear Jeff:

Based on the information provided on your resubmittal of February 5, 1987, revisions as shown are acceptable.

Please advise your client that any field revisions that do not correspond to the approved drainage plan will need to be shown on a revised plan along with concurrence from all other proper City agencies involved. Revised plan along with all proper documentation must be submitted before final inspection is conducted by our department.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/besj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

January 8, 1987

Richard Chavez
1331 Park Avenue, SW #911
Albuquerque, New Mexico 87102

RE: U.S.A. PARK PARKING LOT
(M-15/D21A)

Dear Mr. Chavez:

A field inspection conducted on January 8, 1986, has revealed that there is a discrepancy between the field construction and the approved plan. If there is a discrepancy in your survey as compared to the required and approved standard sidewalk detail, we recommend that you advise Mr. Fosnaugh. Final approval of any changes within the public right-of-way will need to be handled by Mr. Fosnaugh.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

cc: Robert Fosnaugh
Greg Olson

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

January 5, 1987

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT (M-15/D21A)
RECEIVED DECEMBER 22, 1986

Dear Jeff:

We are in receipt of your revised drainage plan for the above referenced site. Before we can approve the revision for the changes for the entrances, you will need to get concurrence from Mr. Fosnaugh of the Transportation Development Division. In conversing with Mr. Fosnaugh about the revised entrances, he has indicated that he will require a circulation plan for review.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

cc: Robert Fosnaugh
Richard Chavez

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

COMPLAINT FORM

PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
768-2650

Complainant: LINDA MCCORMICK Phone #: _____
Address/Location: 1720 RANDOLF RD SE MISSION RESEARCH CORP
768-7606

Complaint: CHANNEL TO EAST IS WASHING OUT SOIL, ROCK, ETC
ONTO THEIR SITE

AIRPORT EAST PARK, PARKING CO OF AMERICA, 250 WEST COURT ST
1513-241-0415 SUITE 200 E
CINCINNATI OHIO 45202

Referred to: _____

Investigation-Comments: _____

6-11-92 B MONTOY INFORMED J MORTENSEN OF SITUATION

6-22-92 Spoke w/ LINDA M. & EXPLAINED CALL TO JEFF M

8/11/92 Spoke with Linda McCormick & advised her that I had
spoken to both Greg James (Fast Park) & Jeff Mortensen

(Engineer) I advised both of them of the problem being encountered
by Mission Research. They will draft up a letter indicating what
corrective measures they will implement to eliminate the sediment
problem, 9-2-93 Called Received from Linda McCormick.

9-2-93 B.M. Called Greg James & explained complaint from McCormick

9-2-93 B.M. spoke w/ Jeff Mortensen who certified pipe & outfall
he is working on a design that will correct problem.

Follow-up: _____

Resolved by: _____ Date: _____

COMPLAINT FILE NO.:

ZONE ATLAS/DRAINAGE FILE NO.:

M-15

DATE COMPLAINT RECEIVED:

COMPLAINT FORM

PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
768-2650

ZONE ATLAS/DRAINAGE FILE NO.: M-15

DATE COMPLAINT RECEIVED: _____

COMPLAINT FILE NO.: _____

Complainant: LINDA MCCORMICK Phone #: _____

Address/Location: 1720 RANDOLF RD SE MISSION RESEARCH CORP
768-7606

Complaint: CHANNEL TO EAST IS WASHING OUT SOIL, ROCK, ETC

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AIRPORT EAST PARK, PARKING CO OF AMERICA, 250 WEST COURT ST
1513-241-0415 SUITE 200 E
CINCINNATI OHIO 45202

Referred to: _____

Investigation-Comments:

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Follow-up: _____

Resolved by: _____ Date: _____

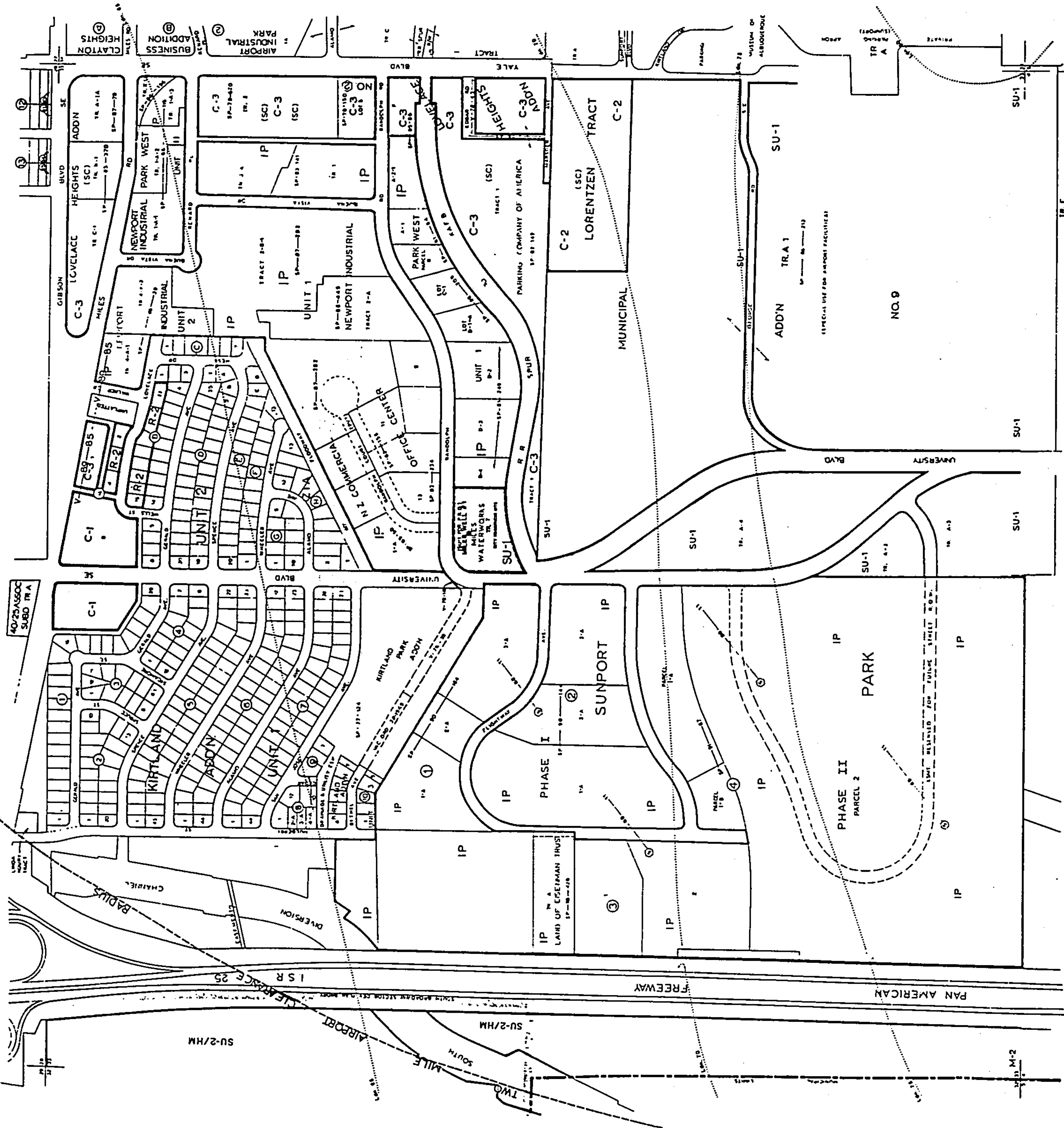
M-15-Z

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

MAP AMENDED THROUGH
AUGUST 1991

LANDING PROPERTY CODE
1:15,000

LEGAL DISCUSSION
1 TO 4
5 TO 10
11 TO 15
16 TO 20
21 TO 25
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Mission Research Corporation

1720 RANDOLPH ROAD, SE
ALBUQUERQUE
NEW MEXICO 87106-4245
(505) 768-7600
(505) 768-7601 (FAX)

ALBUQUERQUE

03 October 1995

Wes Golden, Manager
Airport Fast Park
2801 Yale Blvd. SE
Albuquerque, New Mexico 87106

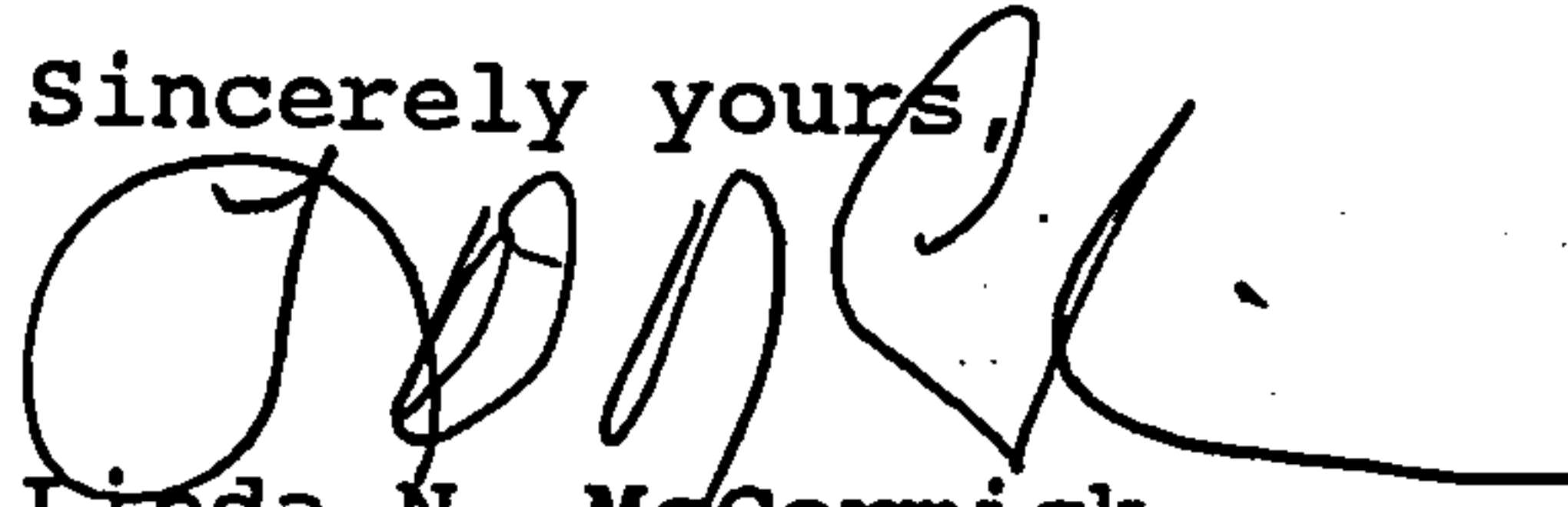
Dear Mr. Golden:

You may be aware that we have an ongoing problem with mud and rock slides created by drainage from the lot you manage. In the event you are unaware of this problem, enclosed are copies of previous correspondence which will bring you up to date.

Also enclosed are our latest bills for cleanup of mud, rocks and debris; they total \$200.

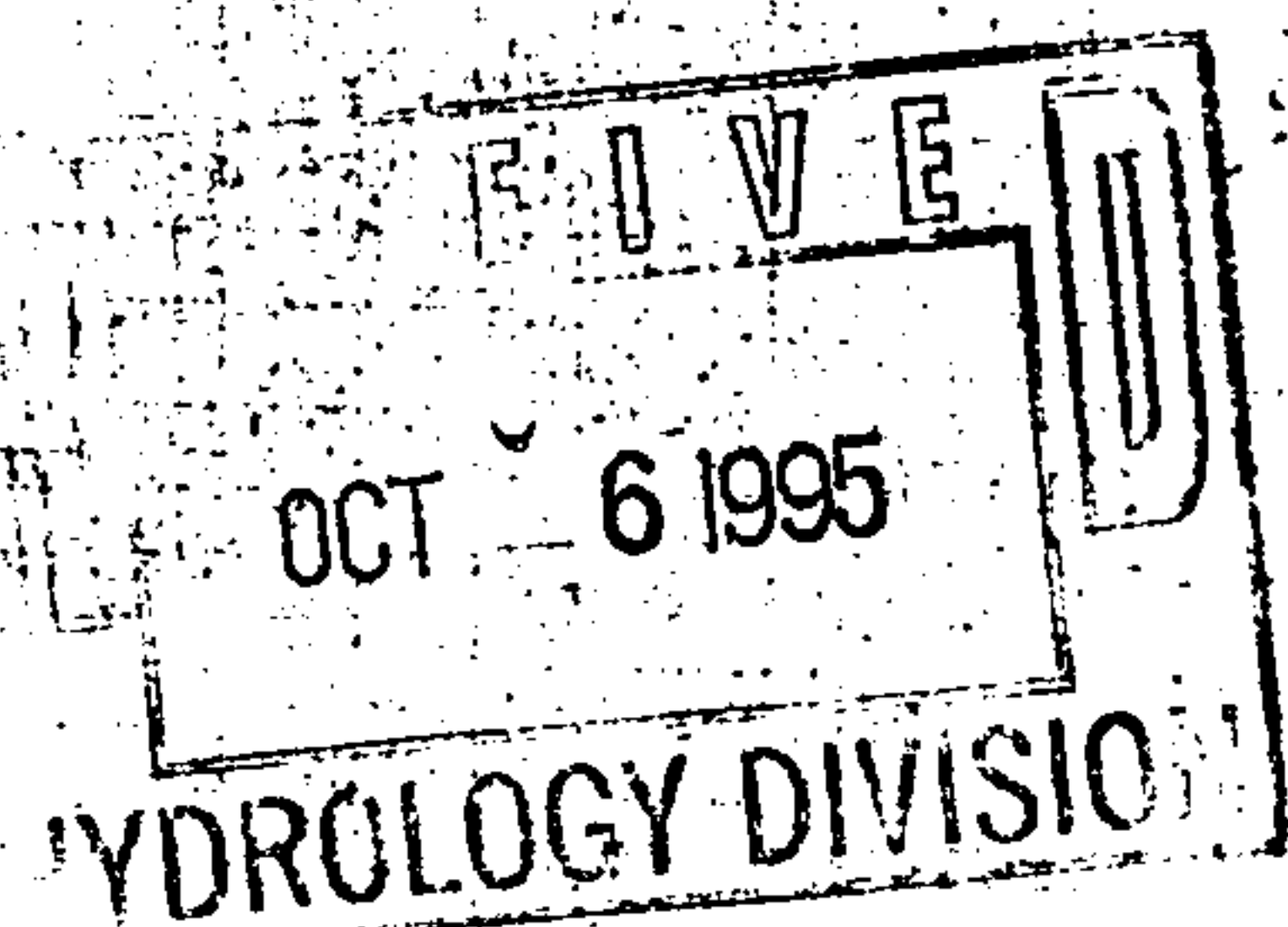
We would appreciate your prompt reimbursement.

Sincerely yours,


Linda N. McCormick
Office Manager

cc w/o attachments:

Parking Company of America
(Cincinnati)
City of Albuquerque, Hydrology Dept.
(Attn: Bernie Montoya)



FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

November 16, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR THE EXPANSION AT THE EXPRESS AIRPORT
PARKING PHASE II (M-15/D21A) REVISION DATED NOVEMBER 8, 1989
ON SHEET 2 OF 2

Dear Mr. Mortensen:

Based on the information provided on your resubmittal of November 8, 1989, the above referenced plan is approved for Grading/Paving.

Please be advised that Engineer's Certification per the D.P.M. Certification Checklist will be required prior to final release.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Larry Caudill, Env. Health Dept.

BJM/bsj
(WP+1421)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

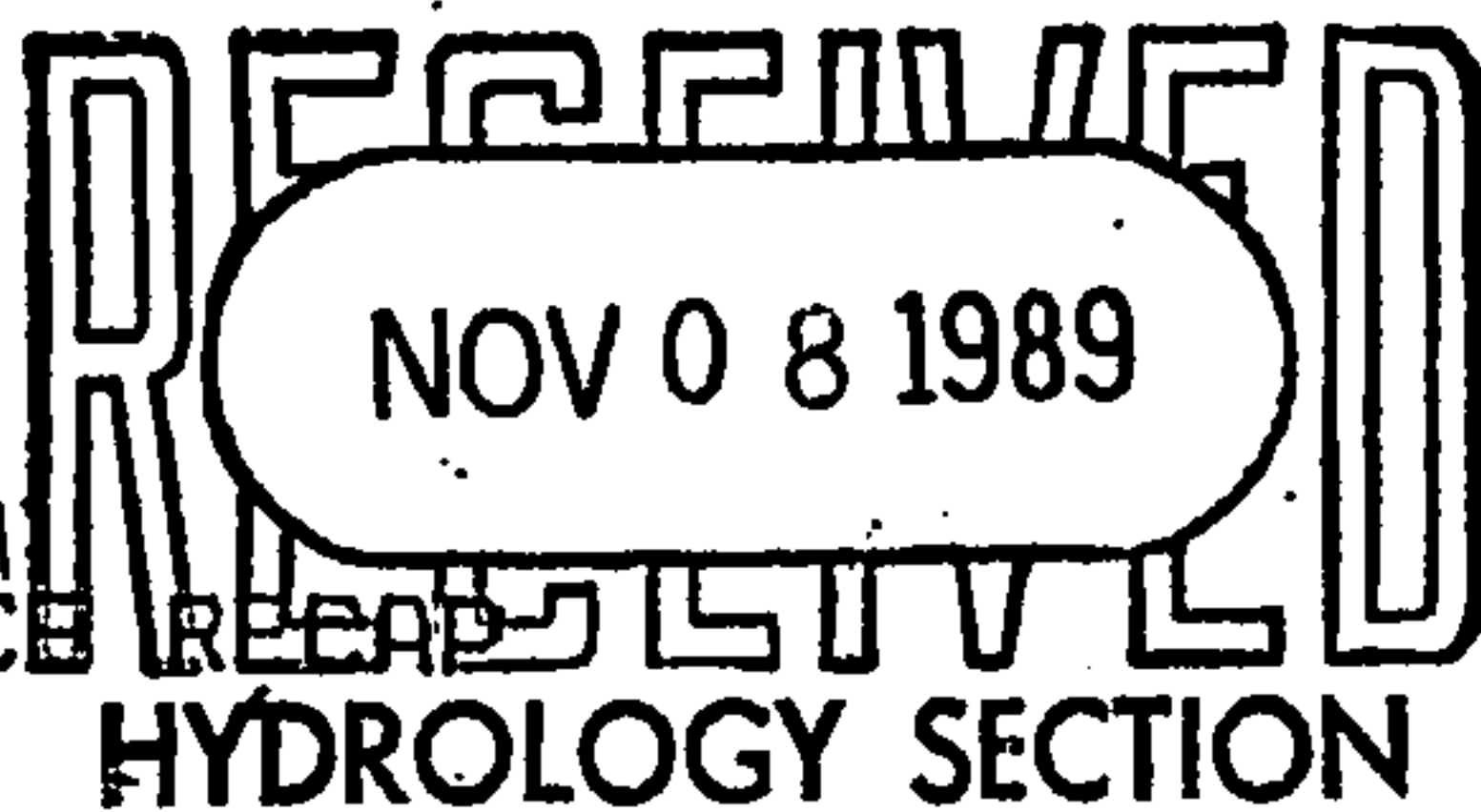
ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

PROJECT TITLE: Express Airport Parking ZONE ATLAS/DRNG. FILE #: M15/D21A
 LEGAL DESCRIPTION: (SEE PLANS)
 CITY ADDRESS: 2201 YALE BLVD STE
 ENGINEERING FIRM: JEFF MORTENSEN & ASSOCIATES INC CONTACT: JEFF MORTENSEN
 ADDRESS: 811 DALLAS NE 87110 PHONE: 205-5611
 OWNER: Express Airport Parking CONTACT: RICHARD CHAVES
 ADDRESS: 2201 YALE STE PHONE: 242-PARK
 ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: JMA CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: NOT KNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES☐ NO☐ COPY OF CONFERENCE RECORD SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. 2034(STREET GRADING)

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL☒ OTHER REVISION (SPECIFY)DATE SUBMITTED: JEFF MORTENSENBY: 11-08-89

ADDRESS VERBIL
 COMMENTS FROM
BARNIE MONTGOMERY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 8, 1989

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR THE EXPANSION AT THE EXPRESS AIRPORT PARKING
PHASE II (M-15/D21A) RECEIVED OCTOBER 24, 1989

Dear Mr. Mortensen

Based on the information provided on your submittal of October 24, 1989,
listed are certain concerns that will need to be addressed prior to final
approval.

1. What is the downstream capacity of the existing Double "C" inlets
that you are proposing to drain to?
2. More information is needed to demonstrate how you will be turning
the 12.8 cfs from Miles Road onto Buena Vista Drive, SE.
3. Elevation at the property line must be one foot (1') above the
flowline elevation at Renard Place and at Yale Boulevard.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1421)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

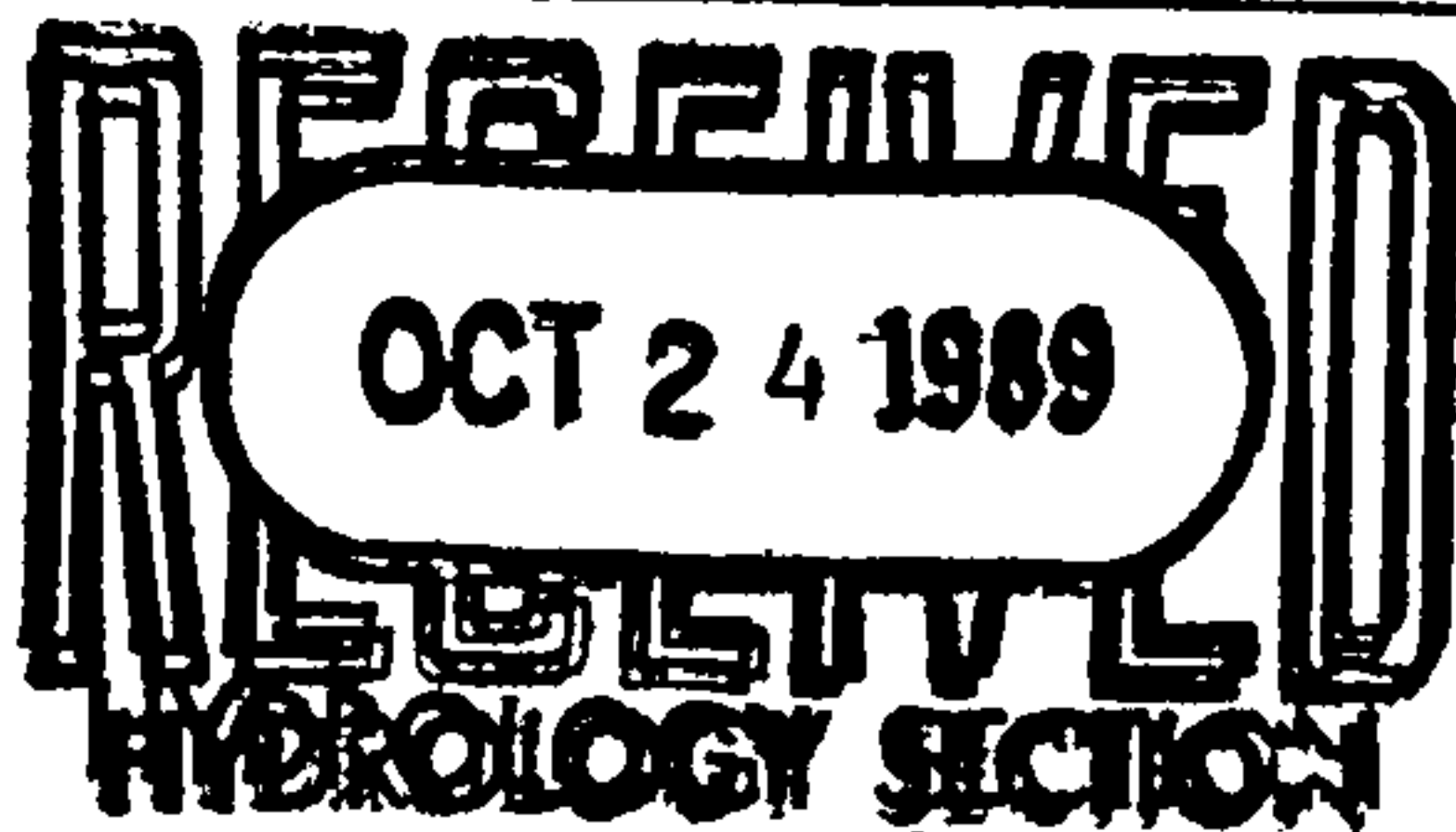
AN EQUAL OPPORTUNITY EMPLOYER

PROJECT TITLE: EXPRESS AIRPORT PARKING ZONE ATLAS/DRNG. FILE #: M15/D21A
 LEGAL DESCRIPTION: TRACT X-1 LOVEFACE HEIGHTS, TRACT 1-A-3 NEWPORT
INDUSTRIAL PARK WEST UNIT 2, TRACTS A-1, B-1, C-1 LOVEFACE HEIGHTS
 CITY ADDRESS: YALE BLVD STE
 ENGINEERING FIRM: JEFF MORTENSEN & ASSOCIATES INC CONTACT: JEFF MORTENSEN
 ADDRESS: 811 DALLAS NE PHONE: 265-5611
87110
 OWNER: EXPRESS AIRPORT PARKING CONTACT: RICHARD CHAVES
 ADDRESS: _____ PHONE: 242 - PARK
 ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: JMA CONTACT: JEFF MORTENSEN
 ADDRESS: _____ PHONE: 265-5611
 CONTRACTOR: NOT KNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. 2834(STREET GRADER)

TYPE OF SUBMITTAL:

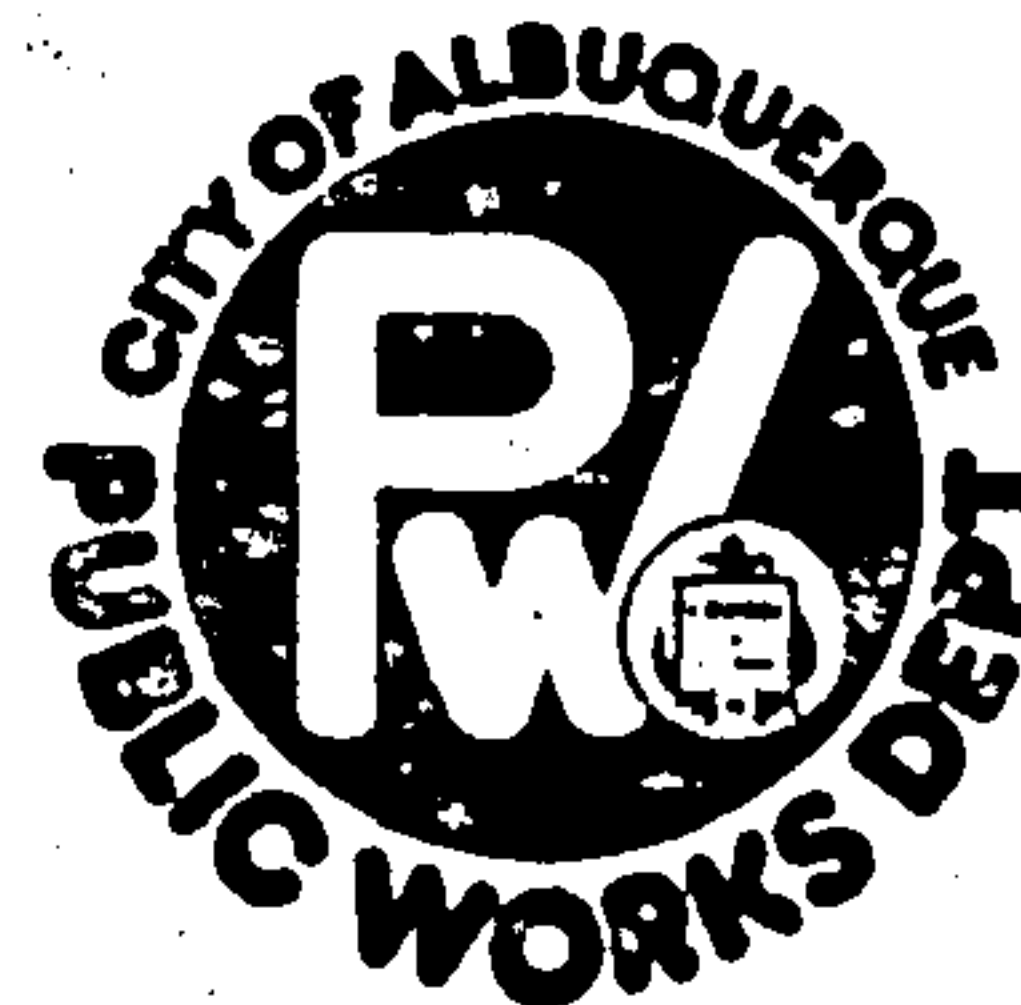
☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☒ SO #19

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL☒ OTHER SO #19 (SPECIFY)DATE SUBMITTED: JEFF MORTENSENBY: 10-24-89

MEMORANDUM:

February 23, 1987



ENGINEERING GROUP

TO: Robert Fosnaugh; Traffic Systems Engineer

FROM: Bernie J. Montoya, Engineering Assistant; Hydrology Section *BJM*

SUBJECT: U.S.A. PARK PARKING LOT (RIGHT OF WAY INF)

A field survey was conducted on February 20, 1987, to determine if the as-built conditions within the public right-of-way were as per design. Our field survey indicates that there is from 1.1' to 2.5' discrepancy from back of curb on Gibson to back of curb within the parking area.

Attached you will find a copy of the approved plan, which shows the various distances that were field verified. I am submitting this data for your information.

BJM/bsj

Attachment

FILE COPY

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

REF. NO. _____

February 13, 1987

TO: Tom Aragon, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Division/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
REVISED S.O. #19 FOR U.S.A. PARK PARKING LOT (M-15/D21A)

Transmitted herewith, is a copy of the approved drainage plan for the referenced projects incorporating the S.O. 19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

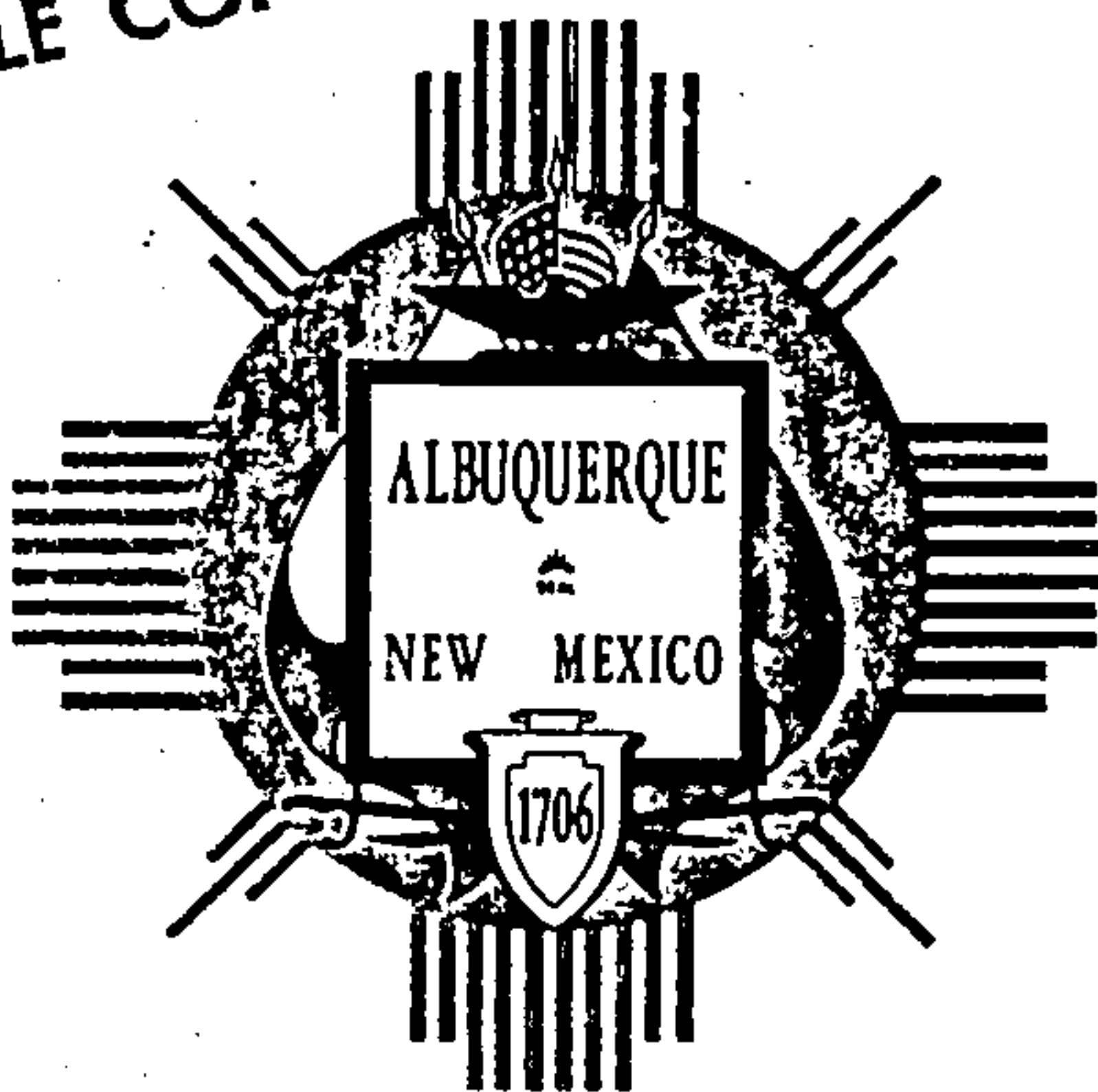
As you are aware, the signed-off S.O. 19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Enclosures

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

February 11, 1987

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT (M-15/D21A)
ENGINEER'S STAMP DATED FEBRUARY 5, 1987

Dear Jeff:

Based on the information provided on your resubmittal of February 5, 1987, revisions as shown are acceptable.

Please advise your client that any field revisions that do not correspond to the approved drainage plan will need to be shown on a revised plan along with concurrence from all other proper City agencies involved. Revised plan along with all proper documentation must be submitted before final inspection is conducted by our department.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/besj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: USA PARK ZONE ATLAS/DRNG. FILE #: M-15
LEGAL DESCRIPTION: TRACTS A-1, B-1 & C-1, Lovelace Heights Add.
CITY ADDRESS: NOT KNOWN
ENGINEERING FIRM: TOM MANN & ASSOC CONTACT: LEONARD UTTER
ADDRESS: 811 DALLAS N.E. PHONE: 265-5611
OWNER: RICHARD CHAVES CONTACT: ARCHITECT
ADDRESS: _____ PHONE: 242-1859
ARCHITECT: RICK BENNETT & ASSOC CONTACT: RICK BENNETT
ADDRESS: _____ PHONE: 242-1859
SURVEYOR: FRED ARFMAN CONTACT: ARCHITECT
ADDRESS: _____ PHONE: _____
CONTRACTOR: CONTACT ARCHITECT CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

RECEIVED
FEB 05 1987
HYDROLOGY SECTION

DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☒ OTHER REVISIONS (SPECIFY)

DATE SUBMITTED:

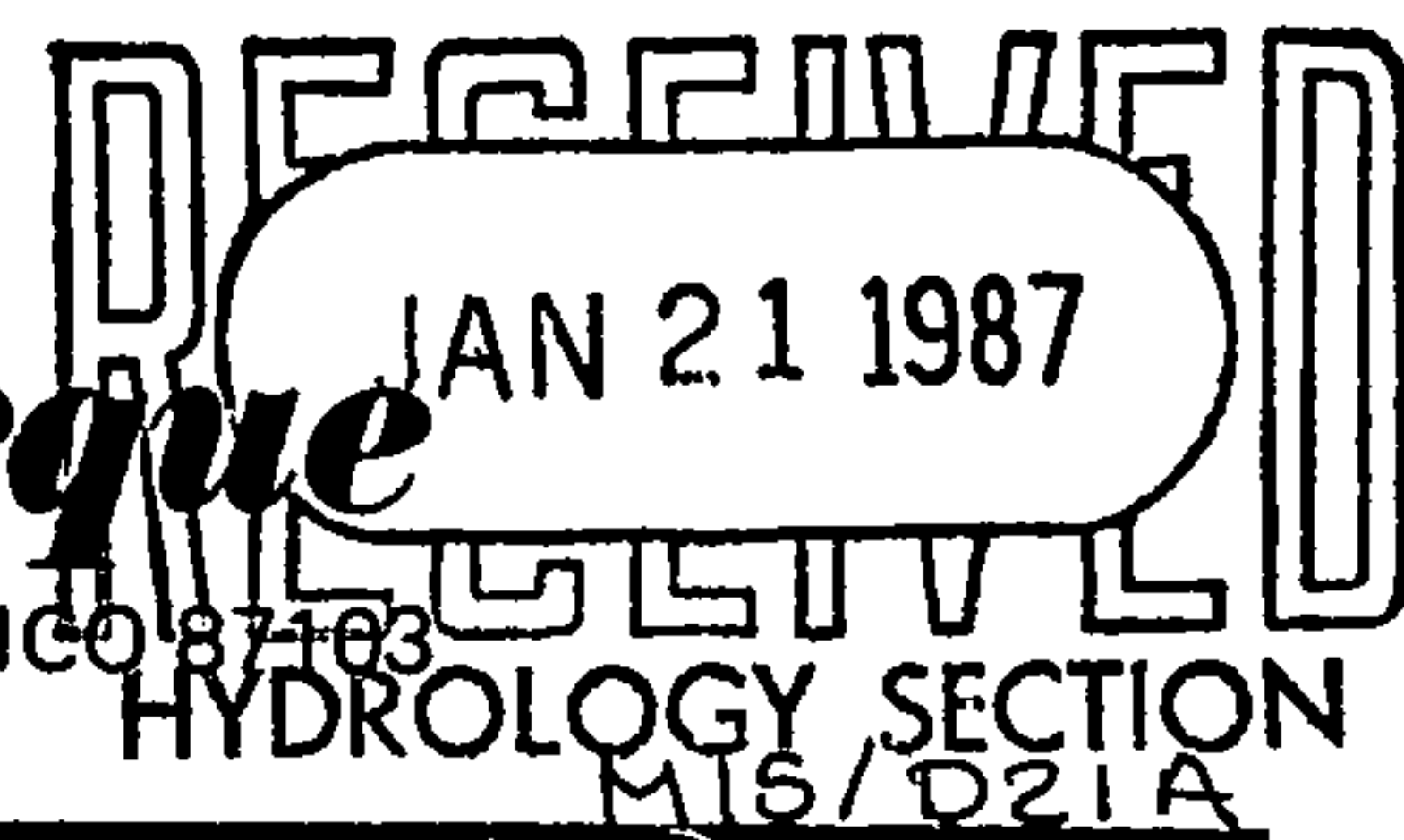
BY:

02/05/87
[Signature]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



Mayor
Ken Schultz

January 19, 1987

Richard Chavez
1331 Park Avenue S.W., Apt 911
Albuquerque, New Mexico 87102

RE: ENCROACHMENT AGREEMENTS AT YALE AND GIBSON S.E.
U.S.A. PARK PARKING LOT (M-15/D21A)

Dear Mr. Chavez:

This communication is to reconfirm that the two (2) Real Property Encroachment Agreement and Covenant forms submitted for the subject site are still being held by this office without City approvals. Per our conversations of December 30, 1986 and January 5, 1987, we cannot forward these documents to our Legal Department without written confirmation of Mr. Hernandez' authority to bind the property owners. After our January 5 conversation, your attorney did call me and indicated that she would send me copies of Articles of Incorporation which would confirm Mr. Hernandez' authority to bind both The Car Park Company and U.S.A. Park. I have not received these documents.

Please pursue timely submittal of the required information so that this matter can be resolved.

Sincerely,

Gregory R. Olson, P.E.
Chief Design Engineer

cc: Jim Hicks, Principle Engineer Design
~~Fred Aguirre, Hydrology~~
Tom Kennerly, Traffic Engineering
Bob Romero, Zoning Enforcement Officer
Larry Titman, Building & Inspection
Mr. Cecil J. Hernandez, U.S.A. PARK

GRO/ns
(ID6977E)

PUBLIC WORKS DEPARTMENT

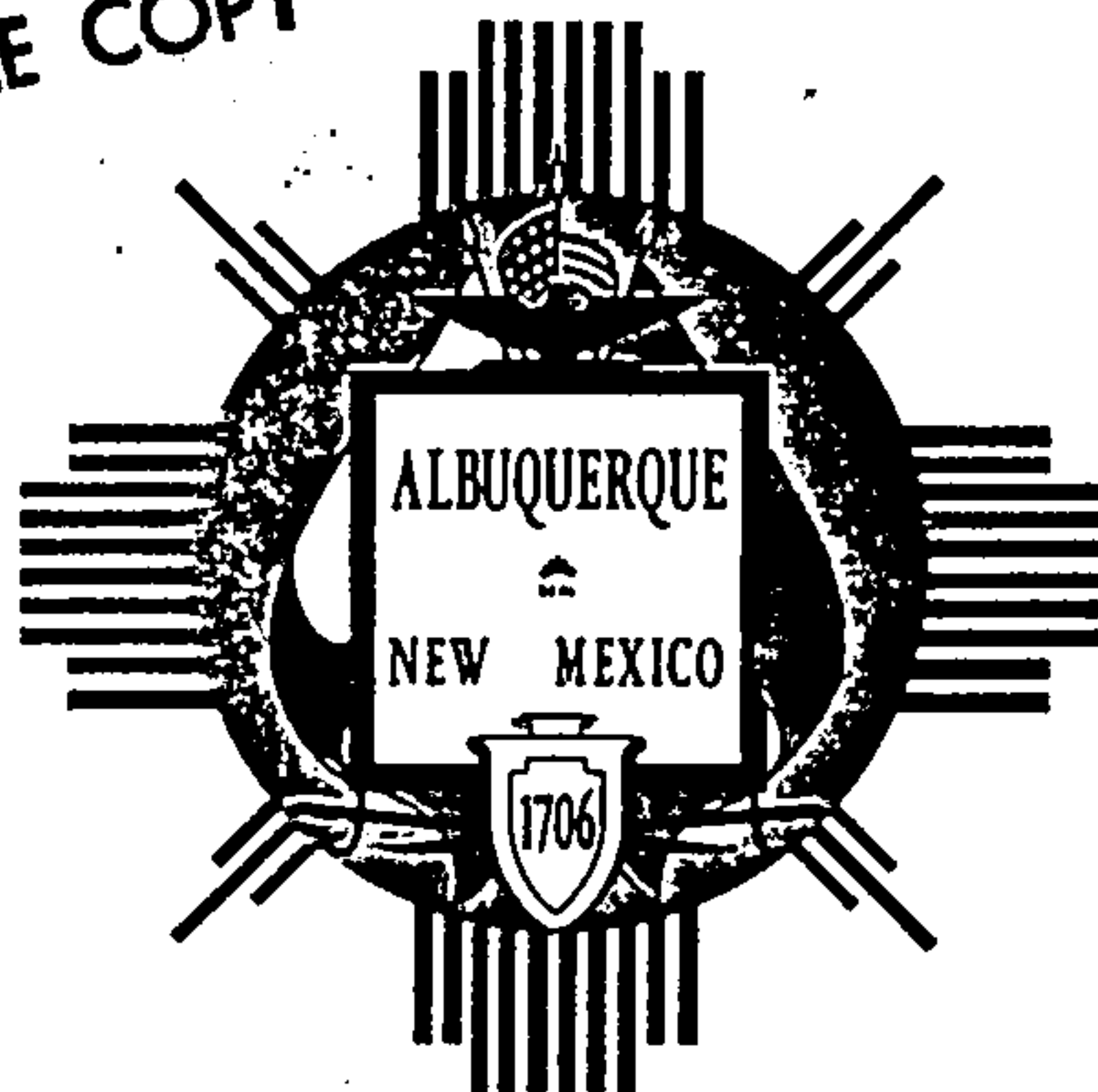
George E. Selvia, P.E.,
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

January 8, 1987

Richard Chavez
1331 Park Avenue, SW #911
Albuquerque, New Mexico 87102

RE: U.S.A. PARK PARKING LOT
(M-15/D21A)

Dear Mr. Chavez:

A field inspection conducted on January 8, 1986, has revealed that there is a discrepancy between the field construction and the approved plan. If there is a discrepancy in your survey as compared to the required and approved standard sidewalk detail, we recommend that you advise Mr. Fosnaugh. Final approval of any changes within the public right-of-way will need to be handled by Mr. Fosnaugh.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

cc: Robert Fosnaugh
Greg Olson

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

January 6, 1987

REF. NO. _____

TO: Tom Aragon, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Division/PWD 

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
USA PARK PARKING LOT (M-15/D21A)

Transmitted herewith, is a copy of the approved drainage plan for the referenced projects incorporating the S.O. 19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

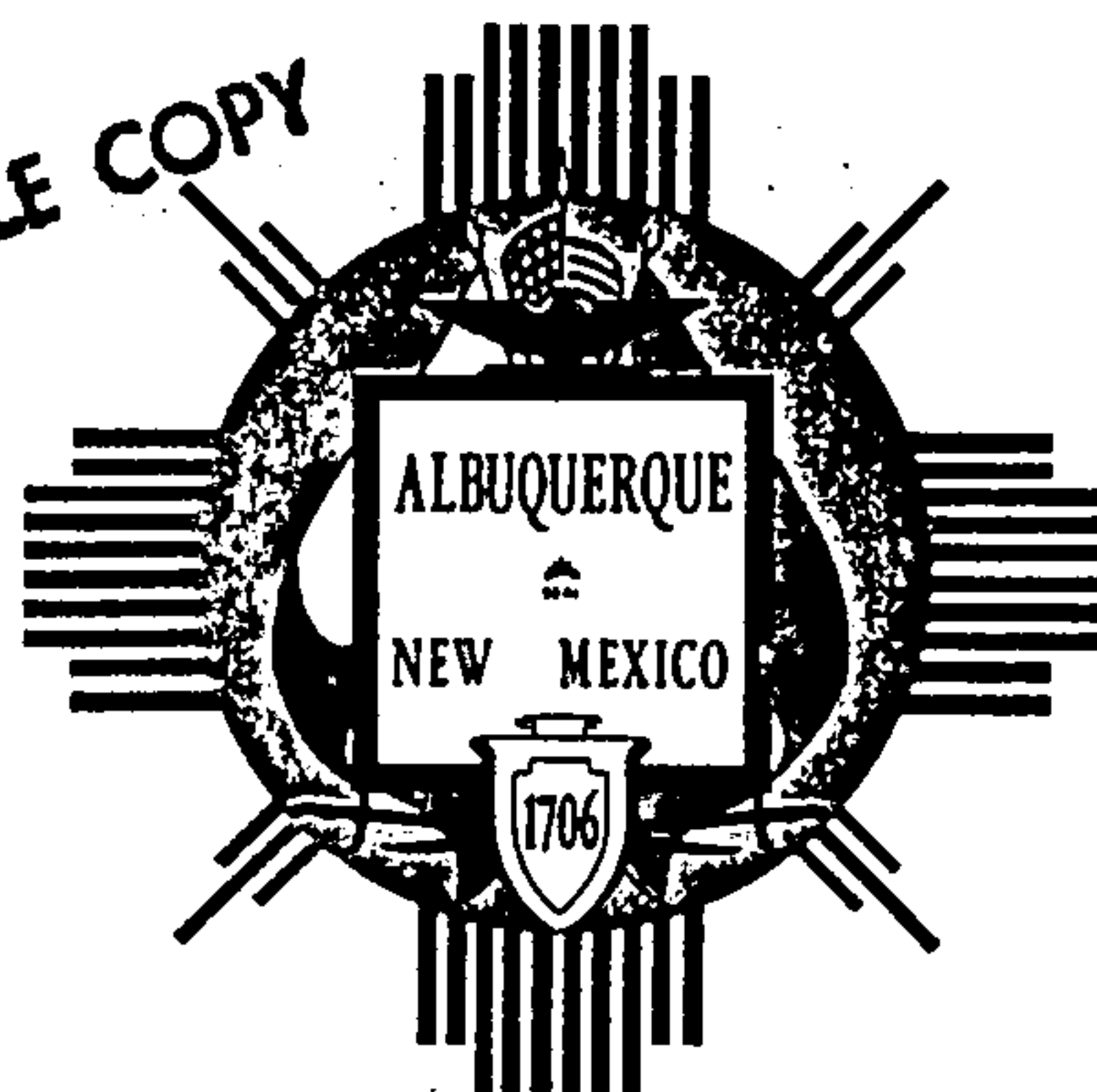
As you are aware, the signed-off S.O. 19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Enclosures

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

January 5, 1987

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT (M-15/D21A)
RECEIVED DECEMBER 22, 1986

Dear Jeff:

We are in receipt of your revised drainage plan for the above referenced site. Before we can approve the revision for the changes for the entrances, you will need to get concurrence from Mr. Fosnaugh of the Transportation Development Division. In conversing with Mr. Fosnaugh about the revised entrances, he has indicated that he will require a circulation plan for review.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

cc: Robert Fosnaugh
Richard Chavez

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

PROJECT TITLE: USA PARK PARKING LOT ZONE ATLANTA FILE # 60155
LEGAL DESCRIPTION: TRACTS A-1, B-1 + C-1, LOVELACE HEIGHTS ADD. M-15/02A
CITY ADDRESS: NOT KNOWN
ENGINEERING FIRM: EM MANN + ASSOC. CONTACT: LEONARD P. UTTER
ADDRESS: 811 DALLAS N.E. PHONE: 265-5611
OWNER: CONTACT ARCHITECT CONTACT: RICK BENNETT
ADDRESS: _____ PHONE: _____
ARCHITECT: RICK BENNETT + ASSOC. CONTACT: RICK BENNETT
ADDRESS: _____ PHONE: 242-1859
SURVEYOR: FRED C. ARFMAN CONTACT: ARCHITECT
ADDRESS: _____ PHONE: _____
CONTRACTOR: NOT KNOWN CONTACT: CONTACT ARCHITECT
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

RECEIVED
DEC 22 1986
HYDROLOGY SECTION

DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ ROUGH GRADING PERMIT APPROVAL
☒ GRADING/PAVING PERMIT APPROVAL
☒ OTHER REVISION (SPECIFY)

DATE SUBMITTED: 12-22-86

BY: [Signature]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 17, 1986

Jeff Mortensen, P.E.
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT (M-15/D21A)
ENGINEER'S STAMP DATED DECEMBER 12, 1986

Dear Jeff:

Based on the information provided on your resubmittal of December 12, 1986, the above referenced drainage plan is approved for Building and Paving permit release with the following conditions:

1. The following infrastructures will be constructed as a condition of Certificate of Occupancy release by the City in accordance with Mr. Chaves' letter dated December 15, 1986 to Mr. George Selvia (attached).
2. Final execution of the Encroachment Agreement.

The drive pads and sidewalks on Yale and Gibson Boulevards, SE, will require an excavation and sidewalk permit. Please advise your client to obtain these permits from Becky Sandoval at Traffic Engineering (Permit Section) located on the 5th floor of the new City/County Building. The sidewalk culverts will require an excavation permit, which can also be obtained from Miss Sandoval. The curb and gutter and street improvements on Miles Road, SE, will require a work order permit, which may be coordinated with Mr. Andre Houle (DRC Chairman), Design Section, located on the 3rd floor of the Old City Hall.

Please advise your client that he will need to contact this office for an inspection when the private and public improvements have been completed.

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

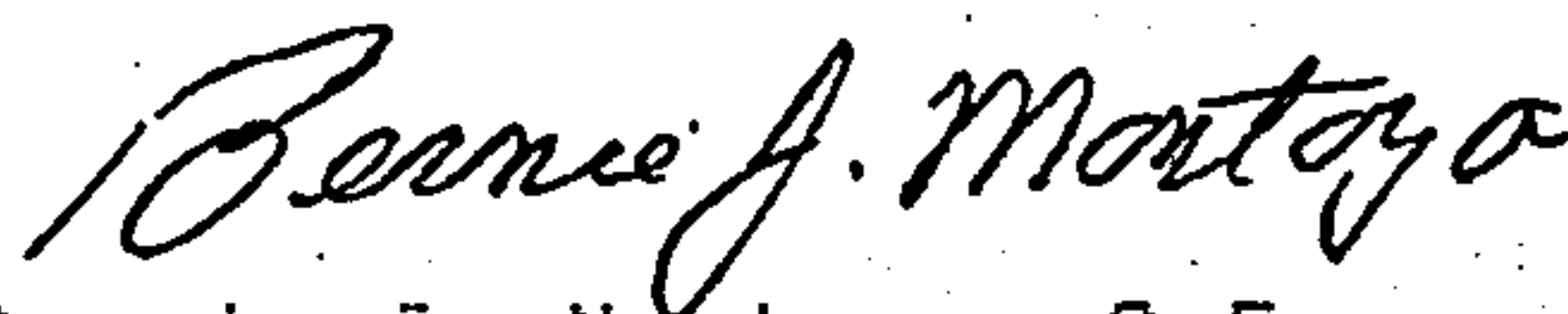
AN EQUAL OPPORTUNITY EMPLOYER

Jeff Mortensen, P.E.
December 17, 1986
Page 2

Please attach a copy of this approved drainage plan to the construction sets prior to Hydrology sign-off.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,



Bernie J. Montoya, C.E.
Engineering Assistant

cc: Bob Fosnaugh
George Selvia
Andre Houle
Rick Duran

Attachment: copy of ltr. dated 12/15/86
from Mr. Chaves to Mr. Selvia

BJM/bsj

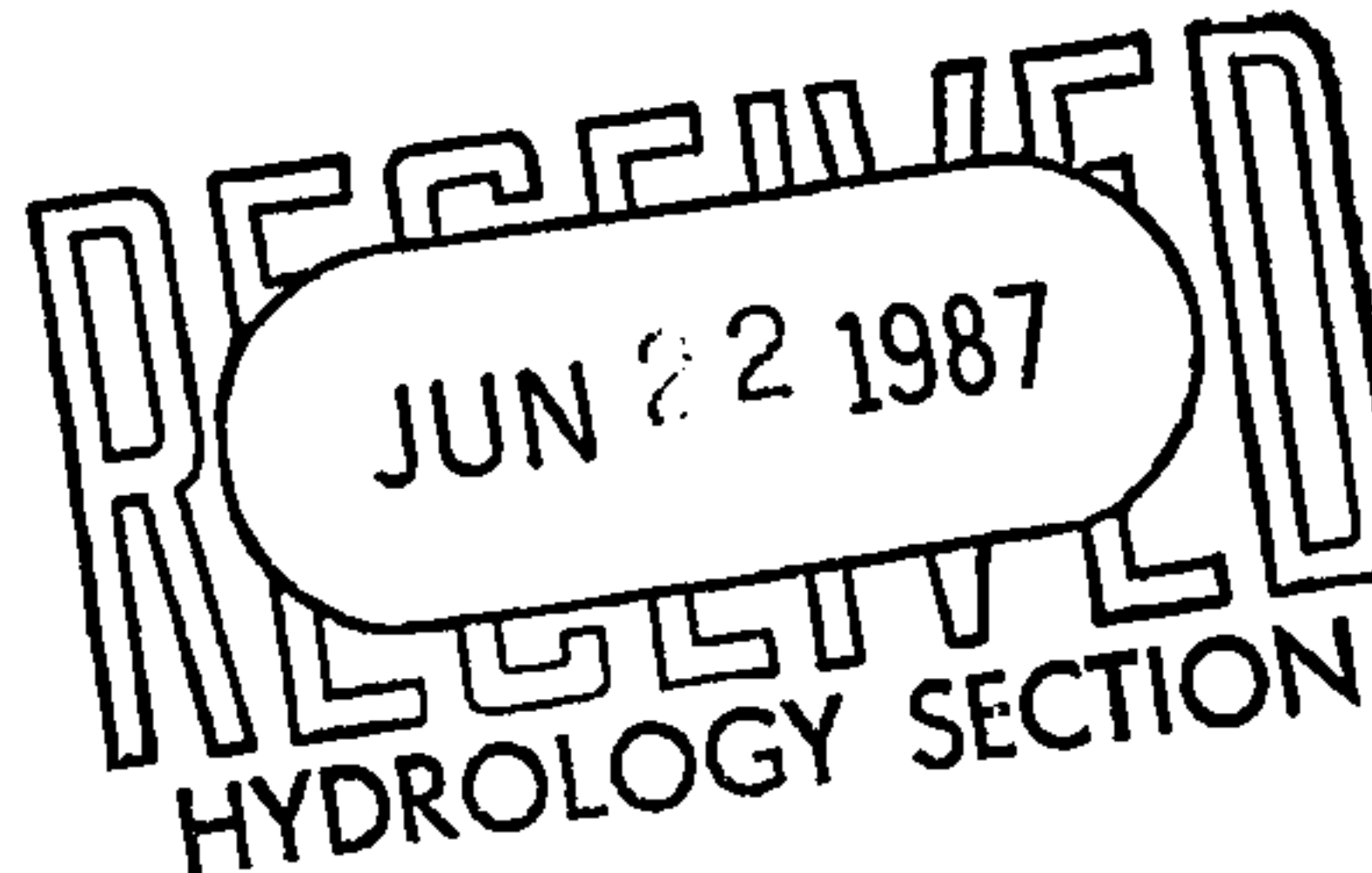


CHAVES INDUSTRIAL BANK

501 LINCOLN ST., DENVER, CO 80203

(303) 837-1050

December 15, 1986



Mr. George Selvia
Assistant Director
Engineering Group/PWD
P.O. Box 1923
Albuquerque, New Mexico 87103

Re: USA Park Parking Lot
Southwest Corner of Yale and Gibson Boulevard Southwest
Hydrology Section File Number M-15/D21A

Dear Mr. Selvia:

This letter is to confirm my committment to construct those infrastructures (drive pads, storm drain outlets, street improvements) within the public right-of-way as shown on the approved drainage plan dated _____ in accordance with the required permits and/or work order process.

I agree to complete these improvements at your direction.

Additionally, I also understand that I will be responsible for closing the access to Gibson Boulevard at my own expense when requested by the City and/or State.

At this time I would like to take the opportunity to commend you, Fred Aguirre of the Hydrology Section and his staff, and Bob Fosnaugh of the Transportation Development Section and his staff for your extensive assistance and cooperation towards the approval of this project.

I believe this project will be a positive addition to the city of Albuquerque.

Very truly yours,


Richard Chaves

RC/kc

cc: Bob Fosnaugh, Transportation Development Section
Fred Aguirre, Hydrology Section



CHAVES INDUSTRIAL BANK

501 LINCOLN ST., DENVER, CO 80203

(303) 837-1050

December 15, 1986

Mr. George Selvia
Assistant Director
Engineering Group/PWD
P.O. Box 1923
Albuquerque, New Mexico 87103

Re: USA Park Parking Lot
Southwest Corner of Yale and Gibson Boulevard Southwest
Hydrology Section File Number M-15/D21A

Dear Mr. Selvia:

This letter is to confirm my committment to construct those infrastructures (drive pads, storm drain outlets, street improvements) within the public right-of-way as shown on the approved drainage plan dated _____ in accordance with the required permits and/or work order process.

I agree to complete these improvements ~~at your direction~~ *as a condition of*

Additionally, I also understand that I will be responsible for closing the access to Gibson Boulevard at my own expense when requested by the City and/or State.

At this time I would like to take the opportunity to commend you, Fred Aguirre of the Hydrology Section and his staff, and Bob Fosnaugh of the Transportation Development Section and his staff for your extensive assistance and cooperation towards the approval of this project.

I believe this project will be a positive addition to the city of Albuquerque.

Very truly yours,

Richard Chaves
Richard Chaves

RC/kc

cc: Bob Fosnaugh, Transportation Development Section
Fred Aguirre, Hydrology Section

I agree to complete these improvement an a condition of Certificate Occupancy release by the City. I also understand that you will consider extending this commtment time if I incur delays beyond my control.

RC.

PROJECT TITLE: USA PARK PARKING LOT ZONE ATLAS/DRNG. FILE #: M-15LEGAL DESCRIPTION: TRACTS A-1, B-1 + C-1, LOVELACE HEIGHTS ADD.CITY ADDRESS: NOT KNOWNENGINEERING FIRM: FM MANN + ASSOC. CONTACT: LEONARD P. UTTERADDRESS: 811 DALLAS N.E. PHONE: 265-5611OWNER: CONTACT ARCHITECT CONTACT: RICK BENNETT

ADDRESS: _____ PHONE: _____

ARCHITECT: RICK BENNETT + ASSOC. CONTACT: RICK BENNETTADDRESS: _____ PHONE: 242-1859SURVEYOR: FRED C. ARFMAN CONTACT: ARCHITECT

ADDRESS: _____ PHONE: _____

CONTRACTOR: NOT KNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP
SHEET PROVIDEDRECEIVED
DEC 12 1986
HYDROLOGY SECTION

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☒ GRADING/PAVING PERMIT APPROVAL☒ OTHER REVISION (SPECIFY)DATE SUBMITTED: 12-12-86BY: [Signature]

DRAINAGE INFORMATION SHEET

PROJECT TITLE: USA PARK PARKING LOT ZONE ATLAS/DRNG. FILE #: M-15
LEGAL DESCRIPTION: TRACTS A-1, B-1 + C-1, LOVELACE HEIGHTS ADD.
CITY ADDRESS: NOT KNOWN
ENGINEERING FIRM: DM MANN + ASSOC. CONTACT: LEONARD P. UTTER
ADDRESS: 811 DALLAS N.E. PHONE: 265-5611
OWNER: CONTACT ARCHITECT CONTACT: RICK BENNETT
ADDRESS: _____ PHONE: _____
ARCHITECT: RICK BENNETT + ASSOC. CONTACT: RICK BENNETT
ADDRESS: 3803 RIVERVIEW CT. N.W. PHONE: 831-3950
SURVEYOR: FRED C. ARFMAN CONTACT: ARCHITECT
ADDRESS: _____ PHONE: _____
CONTRACTOR: NOT KNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NO

☐ COPY OF CONFERENCE RESAP SHEET PROVIDED

RECEIVED
DEC 03 1986
HYDROLOGY SECTION

DRB NO. _____
EPC NO. _____
PROJ. NO. _____

procedure for paving returns must be put in

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☒ OTHER REVISION (SPECIFY)

DATE SUBMITTED:

12-03-86

submitted 12/10/86

BY:

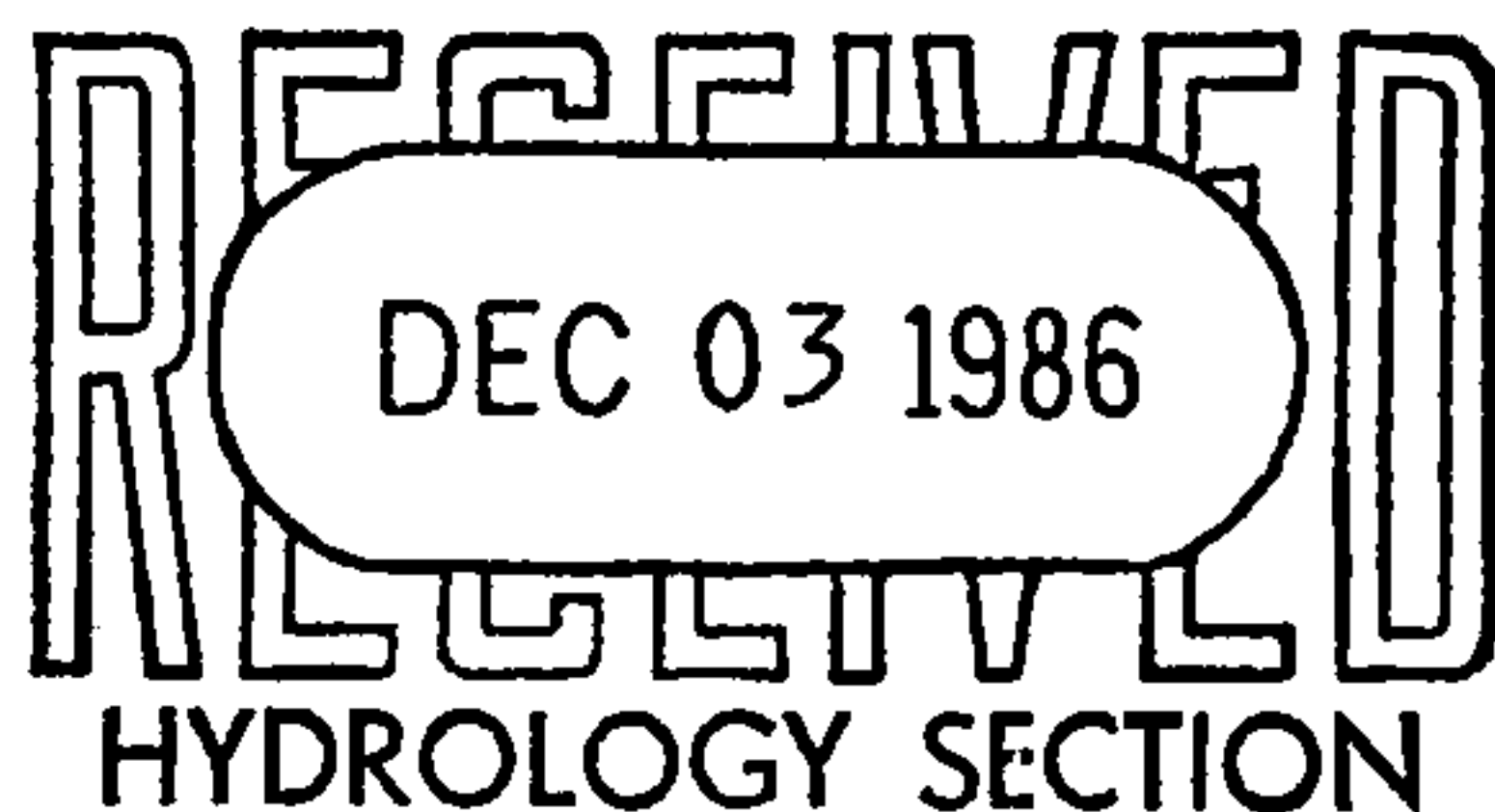
[Signature]

void 12/3/86



Tom Mann & Associates, Inc.

811 DALLAS, N.E. • ALBUQUERQUE • NEW MEXICO • 87110 • 505-265-5611



60155
December 3, 1986

Mr. Carlos Montoya
Hydrology Section
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: USA Park Parking Lot - Revised Grading and Drainage Plan

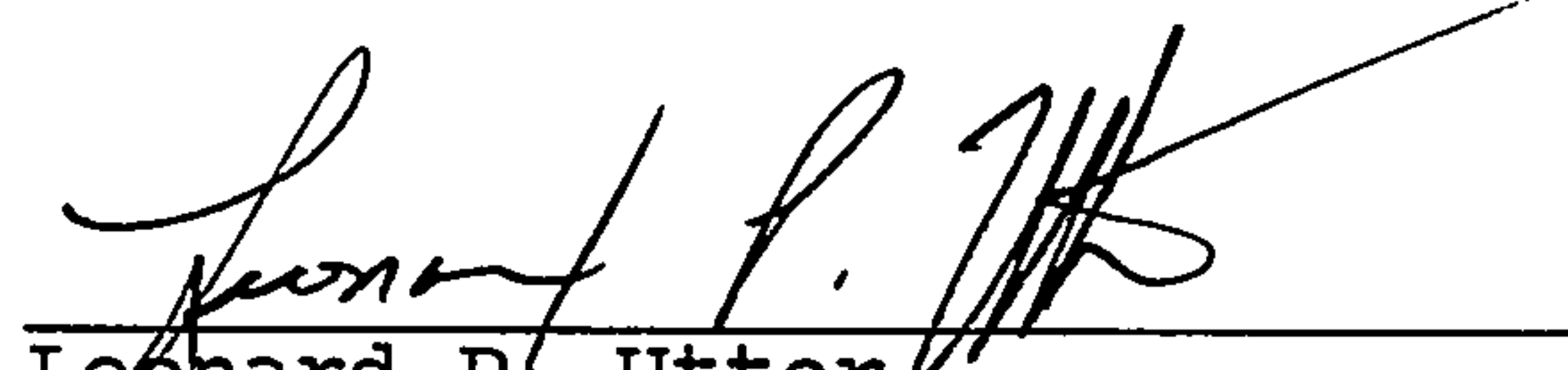
Dear Carlos:

Transmitted herewith are two revised prints for review and approval on the above subject project.

Should you have any questions or comments concerning any aspect of this matter, please do not hesitate to call.

Sincerely,

TOM MANN & ASSOCIATES, INC.

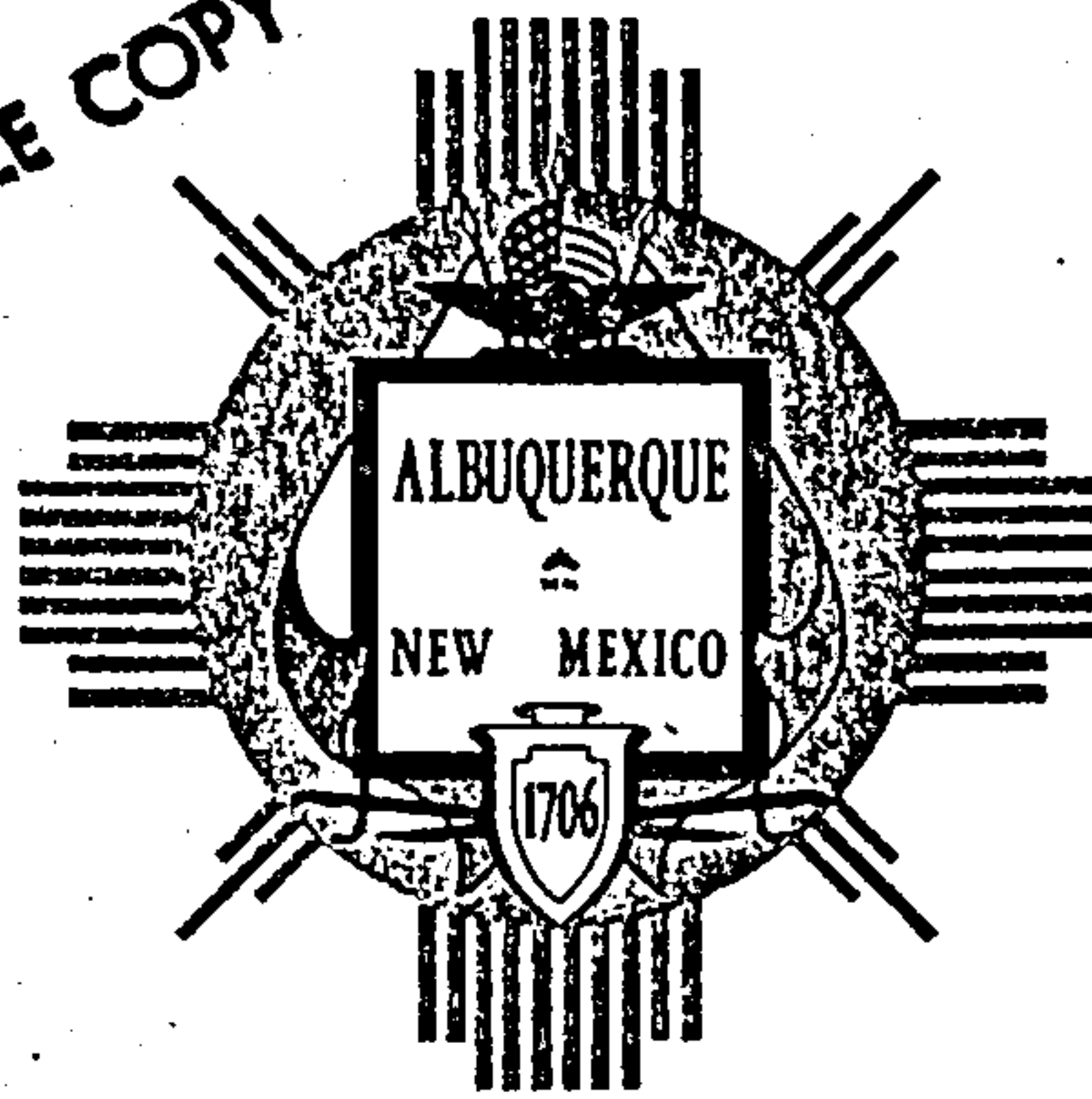

Leonard P. Utter
Project Engineer

LPU:dj

Enclosures



FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 25, 1986

Jeff Mortensen
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT
(M-15/D21A)

Dear Jeff:

Based on further research pertaining to the existing 24" storm sewer line on Gibson Boulevard, SE, we have found that the outlet is located within private property to the north. Under existing conditions, the only runoff that would be allowed to drain into the private portion would be the historical flows. Therefore, it would be advantageous to construct a sidewalk culvert into Gibson Boulevard instead of the proposed tie into the existing 24" storm sewer line. Please identify the route that the flows into Gibson Boulevard will take before they reach the South Diversion Channel. Also, required replatting to vacate the temporary drainage easements must be completed within the time frame identified under V-86-15, replat is for Tract A-1.

Please advise your client that when the replatting takes place, it would be beneficial to eliminate the lot lines or to include a blanket easement for flows across lot lines.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Roger J. Green
for Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 20, 1986

Jeff Mortensen
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT
(M-15/D21A) ENGINEER'S STAMP DATED NOVEMBER 18, 1986

Dear Jeff:

Based on the information provided on your resubmittal of November 18, 1986, the above referenced drainage plan is approved for Building and Paving permit.

Please be advised that prior to Building Permit release, concurrence from Traffic Engineering for entry from Yale Boulevard will need to be obtained. Otherwise, a new submittal showing entry and exit will need to be submitted for review.

Also, please advise your client that a separate permit is required for construction within City right-of-way.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: USA PARK PARKING LOT ZONE ATLAS/DRNG. FILE #: M-15
 LEGAL DESCRIPTION: TRACTS A-1, B-1 + C-1, LOVELACE HEIGHTS ADD.
 CITY ADDRESS: NOT KNOWN

ENGINEERING FIRM: TOM MANN & ASSOC. CONTACT: LEONARD P. UTTER

ADDRESS: 811 DALLAS N.E. PHONE: 265-5611

OWNER: CONTACT ARCHITECT CONTACT: RICK BENNETT

ADDRESS: _____ PHONE: RICK BENNETT

ARCHITECT: RICK BENNETT + ASSOC. CONTACT: 831-3950

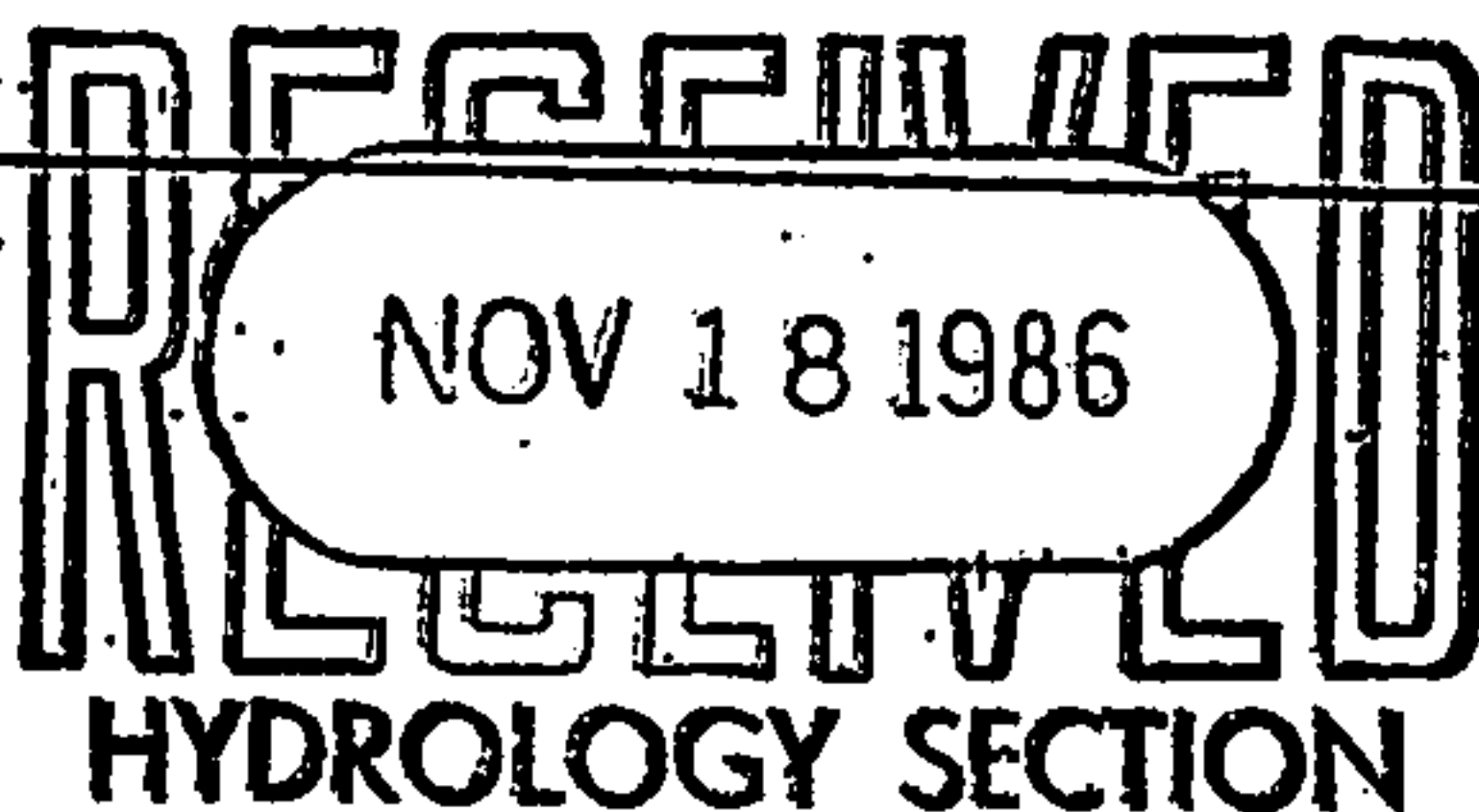
ADDRESS: 3803 RIVERVIEW CT. N.W. PHONE: _____

SURVEYOR: FRED C. ARFMAN CONTACT: ARCHITECT

ADDRESS: _____ PHONE: _____

CONTRACTOR: NOT KNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____



PRE-DESIGN MEETING:

☒ YES

☒ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☒ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER PAVING (SPECIFY)

DATE SUBMITTED: 11-18-86

BY: [Signature]

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

November 17, 1986

REF. NO. 0011A

TO: George E. Selvia, Assistant Director, Public Works/Engineering
FROM: Robert A. Fosnaugh, Traffic Engineer, Transportation Development *RAF*
SUBJECT: PROPOSED PARKING LOT ON S.W. CORNER OF GIBSON/YALE

We have reviewed the proposed plan for the above parking lot and submit the following comments.

Due to the proximity to the Gibson/Yale and Miles/Yale intersections, no median opening can be provided to serve the proposed curb-cut on Yale Boulevard. This poses potentially serious problems for shuttle buses returning to the site from the Airport and for the majority of the parking customers, who will wish to exit north to Gibson Boulevard when leaving the site. An additional concern is the minimal vehicular storage space between the entry gate and the traffic lanes on Yale Boulevard. This reservoir space will only accomodate two vehicles before blocking traffic on Yale Boulevard and possibly causing a traffic backup into the Gibson/Yale intersection. The applicant should either revise the access to the site or provide documentation, based on other similar local parking operations, of the adequacy of this entry reservoir area. We strongly recommend that the access (ingress and egress) to the site be relocated to Miles Road to relieve all of the above concerns; however, in any event, all traffic must exit to Miles Road.

We note also that 6' sidewalks are required on Gibson and on Yale Boulevards and a 4' sidewalk is required on Miles Road. All curb-cuts (including vacated streets) to the site not intended to be used should be closed by the developer. Miles Road must be improved with sidewalk, standard curb & gutter, and permanent pavement from Yale west to the entrance to the parking lot at the developer's expense.

The development of a parking lot on lands zoned C-3 is governed by the conditions set forth for a parking lot under the O-1 zone. A copy of a relevant portion of Section 20.A. and definitions from the Zoning Code are attached for information.

Please advise if additional information or discussion is desired.

RAF/jo

cc: file

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 14, 1986

Jeff Mortensen
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR U.S.A. PARK PARKING LOT
(M-15/D21A) RECEIVED NOVEMBER 12, 1986

Dear Jeff:

A preliminary review of your submittal for Building Permit approval has shown that the following information is lacking for this section to begin the review process:

INFORMATION NEEDED:

1. Access off of Yale Boulevard not acceptable to Traffic Engineering. (One paved access is required by Ordinance).
2. Approved T.C. and F.L. elevations for Miles Road, SE, must be shown on plan.

Please provide this information so that we may process your request as expediently as possible.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: U.S.A PARK PARKING LOT ZONE ATLAS/DRNG. FILE #: M-15
 LEGAL DESCRIPTION: TRACTS A-1, B-1 & C-1, LOVELACE HEIGHTS ADDITION
 CITY ADDRESS: NOT KNOWN
 ENGINEERING FIRM: TOM MANNIT ASSOC. CONTACT: LEONARD P. UTTER
 ADDRESS: 811 DALLAS N.E. PHONE: 265-5611
 OWNER: CONTACT ARCHITECT CONTACT: RICK BENNETT
 ADDRESS: _____ PHONE: 242-1859 LANCE
 ARCHITECT: RICK BENNETT ASSOC CONTACT: RICK BENNETT
 ADDRESS: 3803 RIVERVIEW CT N.W. PHONE: 831-3950
 SURVEYOR: FRED C. ARFMAN CONTACT: ARCHITECT
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: NOT KNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES
☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

RECEIVED
 NOV 12 1986
 HYDROLOGY SECTION

DRB NO. _____
 EPC NO. _____
 PROJ. NO. _____

MAJOR CONCERN

ACCESS OFF YOLE
NOT ACCEPTABLE

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☒ GRADING/PAVING PERMIT APPROVAL
☐ OTHER PAVING (SPECIFY)

DATE SUBMITTED:

BY:

11-12-86
[Signature]

DRAINAGE INFORMATION SHEET

PROJECT TITLE: USA-PARK ZONE ATLAS/DRAINAGE FILE # M-15/D21ALEGAL DESCRIPTION: TRACTS A-1, B-1, C-1, LOVELACE HEIGHTS ADD.CITY ADDRESS: 2121 YALE BLVD. S.E.ENGINEERING FIRM: ISAACSON & ARFMAN, P.A. CONTACT: FRED ARFMANADDRESS: 128 MONROE ST. N.E. PHONE: 268-8828OWNER: USA-PARK CONTACT: RICHARD CHAVEZADDRESS: 501 LINCOLN, DENVER, COLO. 80203 PHONE: 1-800-USA-LISTARCHITECT: NONE CONTACT: _____

ADDRESS: _____ PHONE: _____

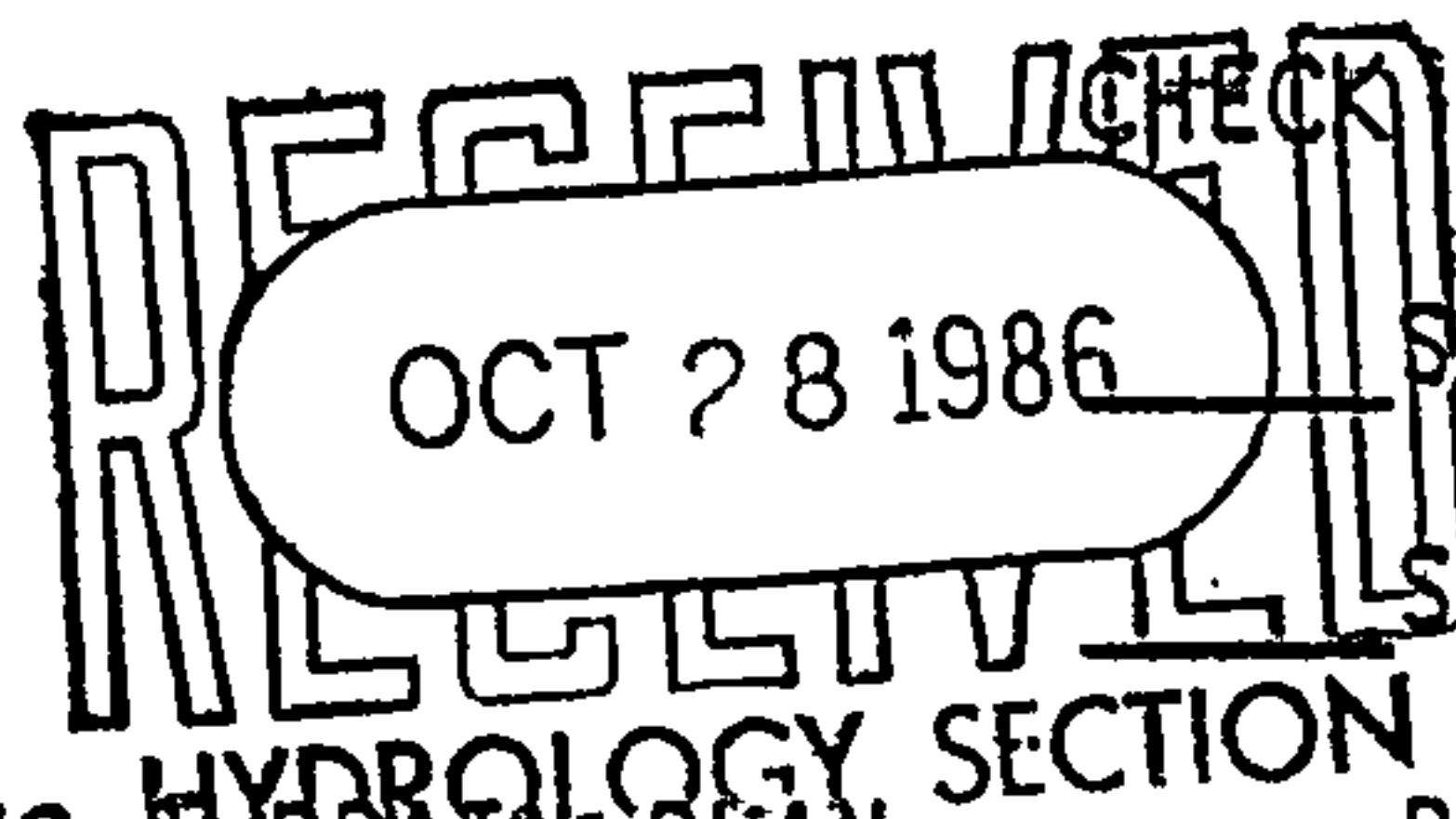
SURVEYOR: ALBUQUERQUE SURVEYING CONTACT: FRED SANCHEZADDRESS: 2119 MENAUL BLVD PHONE: 884-2036CONTRACTOR: UNKNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES DRB NO. _____☐ NO EPC NO. _____☒ COPY OF CONFERENCE
RECAP SHEET PROVIDED PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☒ CONCEPTUAL GRADING & DRAIN PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☒ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: 10-28-86BY: FRED C. ARFMAN

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M15

DATE: 10/24/86

PLANNING DIVISION NOS: EPC: _____

DRB: _____

SUBJECT: _____

STREET ADDRESS (IF KNOWN): _____

SUBDIVISION NAME: TRACT C-1, B-1 + A-1

APPROVAL REQUESTED:

____ PRELIMINARY PLAT
____ SITE DEVELOPMENT PLAN
☒ OTHER
PAVING

____ FINAL PLAT
____ BUILDING PERMIT
☒ ROUGH GRADING

ATTENDANCE: WHO
RICHARD CHAVEZ
FRED BREMAN
DICK ANDERSON

REPRESENTING
OWNER
ENGR.

FINDINGS:

FOR ROUGH GRADING:

AN APPROVED CONCEPTUAL PLAN REQUIRED FOR PERMIT
APPROVAL. EXISTING GRODPS AND A EROSION CONTROL
PLAN TO MITIGATE ^{ANY} SEDIMENT ON TO THE ROADWAY.

PAVING PERMIT:

AN APPROVED DRAINAGE PLAN WHICH ~~INCORPORATES~~ ^{INCORPORATES}
STREET GRODPS FOR MILES ROAD AND METHOD OF
DISCHARGE INTO GIBSON ^{REQUIRE} IDENTIFICATION OF
REQUIRED ACCESS TO THE SITE MUST BE IDENTIFIED

NOTE: THE REQUIRED REPLATTING TO UNLOCK THE TEMPORARY
DRAINAGE EROSIONMENT MUST BE COMPLETED WITHIN
THE TIME FRAME IDENTIFIED UNDER V86-15
REPORT IS FOR A-1 ONLY.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature]
TITLE: [Signature]
DATE: 10/24/86

SIGNED: J. S. C. [Signature]
TITLE: Engineering Director
DATE: 10-24-86

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL