Planning Department Alan Varela, Director



September 23, 2022

Lauren A. Nuffer, P.E. Kimley-Horn and Associates, Inc. 13455 Noel Road, Two Galleria Office Tower, Suite 700 Dallas, TX 75240

RE: Mister Car Wash
2161 Gibson Blvd SE
Grading & Drainage Plan
Engineer's Stamp Date: 07/25/22
Hydrology File: M15D021B

Dear Ms. Nuffer:

PO Box 1293

Based upon the information provided in your submittal received 07/26/2022, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

#### **Grading Plan – C500**

NM 87103

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.

www.cabq.gov

- a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
- b. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
- c. Please provide the FIRM Map and flood plain note with effective date.
- d. Please provide a legal Description of the property.
- 2. Please reference City of Albuquerque standard detail No. 2236 Sidewalk Culvert with Steel Plate Top at the sidewalk culvert. (see comment below for location)
- 3. Please add the attached SO-19 Notes.

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

#### **Drainage Plan – C601**

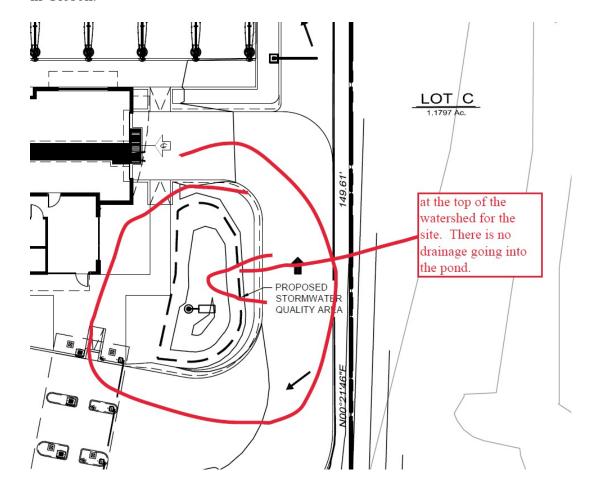
- 4. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
- 5. Provide management onsite for the Stormwater Quality Volume (SWQV) in accordance with the Drainage Ordinance, § 14-5-2-6 (H) and the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the SWQ pond by 0.42 inches for new development sites. Please show both the required and the provided volume.
- 6. The onsite drainage should be directed to the stormwater quality (SWQ) pond prior to leaving the site. Currently you have the SWQ pond on the high side of the site with little drainage going into it. Also, please show the top and bottom of the pond along with the volume for the pond. The pond also needs a spillway in the form of a sidewalk culvert at the SWQ water surface elevation on the pond side and match the existing gutter elevation in Gibson.

PO Box 1293

Albuquerque

NM 87103

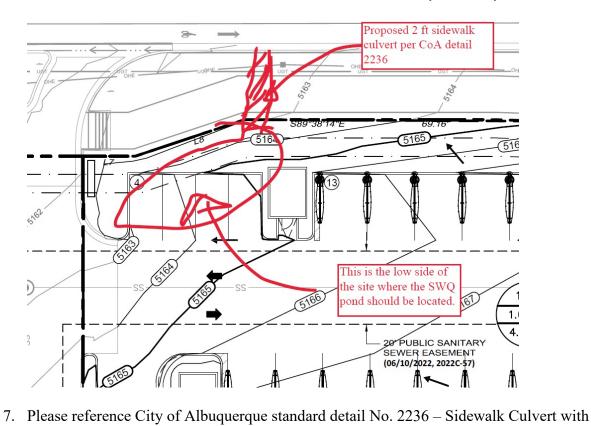
www.cabq.gov



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Mayor Timothy M. Keller



PO Box 1293

Albuquerque

NM 87103

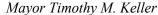
Steel Plate Top at the sidewalk culvert.

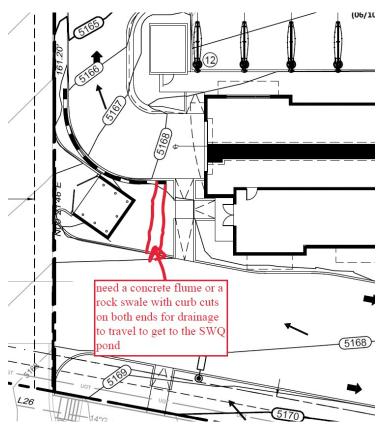
8. Please add either a concrete flume (channel) or a rock swale with curb cuts on either end so that the drainage can travel to the SWQ pond.

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PO Box 1293

Albuquerque

9. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ .

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or <a href="mailto:rbrissette@cabq.gov">rbrissette@cabq.gov</a>.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

Renée C. Brissette



# City of Albuquerque

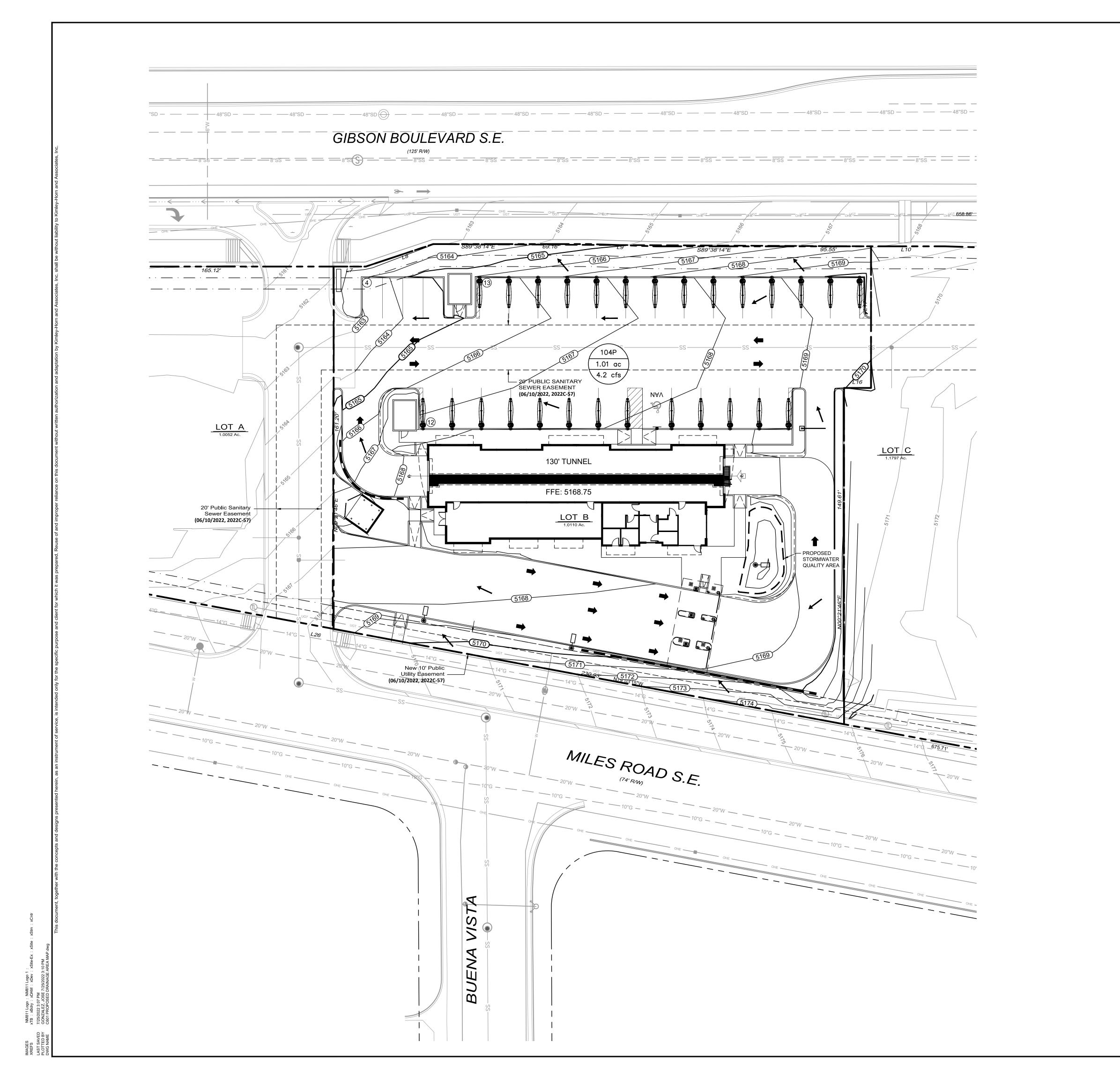
#### Planning Department

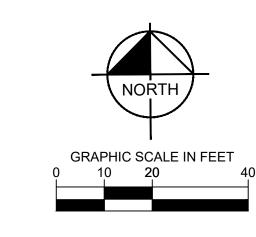
#### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

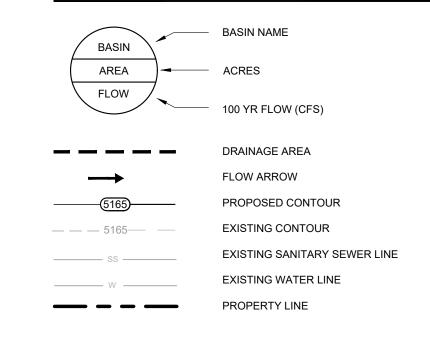
	Building Permit #:	Hydrology File #:
DRB#: N/A	EPC#: N/A	Work Order#:
Legal Description: Lot B, Lovelace Heights A	addition	
City Address: 2161 Gibson Blvd SE Albuquerque		
Applicant: Mister Car Wash		Contact: Prabhs Matharoo
Address: 222 E. 5th Ave. Tucson, Arizona 85705		
Phone#: (520) 955-1244	Fax#:	E-mail: pmatharoo@mistercarwash.com
Other Contact: Kimley-Horn		Contact: Lauren Nuffer
Address: 13455 Noel Road, Two Galleria Office To	wer, Suite 700, Dallas TX 75240	
Phone#: 214-387-3847	Fax#:	E-mail: lauren.nuffer@kimley-horn.com
TYPE OF DEVELOPMENT: PL	AT (# of lots) RESIDENC	CE DRB SITE _X ADMIN SITE
IS THIS A RESUBMITTAL? Yes <b>DEPARTMENT:</b> XTRAFFIC/TRAN		OLOGY/DRAINAGE
Check all that Apply:  TYPE OF SUBMITTAL:  ENGINEER/ARCHITECT CERTIFIC  PAD CERTIFICATION  CONCEPTUAL G & D PLAN  GRADING PLAN  DRAINAGE MASTER PLAN  DRAINAGE REPORT  FLOODPLAIN DEVELOPMENT PEI  ELEVATION CERTIFICATE  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT  TRAFFIC IMPACT STUDY (TIS)  OTHER (SPECIFY)  PRE-DESIGN MEETING?	CATION	E OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)

FEE PAID:\_\_\_





### LEGEND



### NOTE

1. THIS PROPOSED DRAINAGE AREA MAP IS IN COMPLIANCE WITH THE APPROVED OVERALL DRAINAGE PLAN SHOWN ON SHEET C600. PER THE APPROVED PLAN DATED 5/18/22, BASIN 104 CAN OUTFALL 6.68 CFS IN THE 100 YEAR EVENT TO GIBSON ROW. IN THE PROPOSED CONDITION, BASIN 104P OUTFALLS 4.2 CFS IN THE 100 YEAR EVENT TO GIBSON ROW. 2. 16.56 CY/ 447.1 CF OF STORM WATER QUALITY VOLUME ARE PROVIDED.

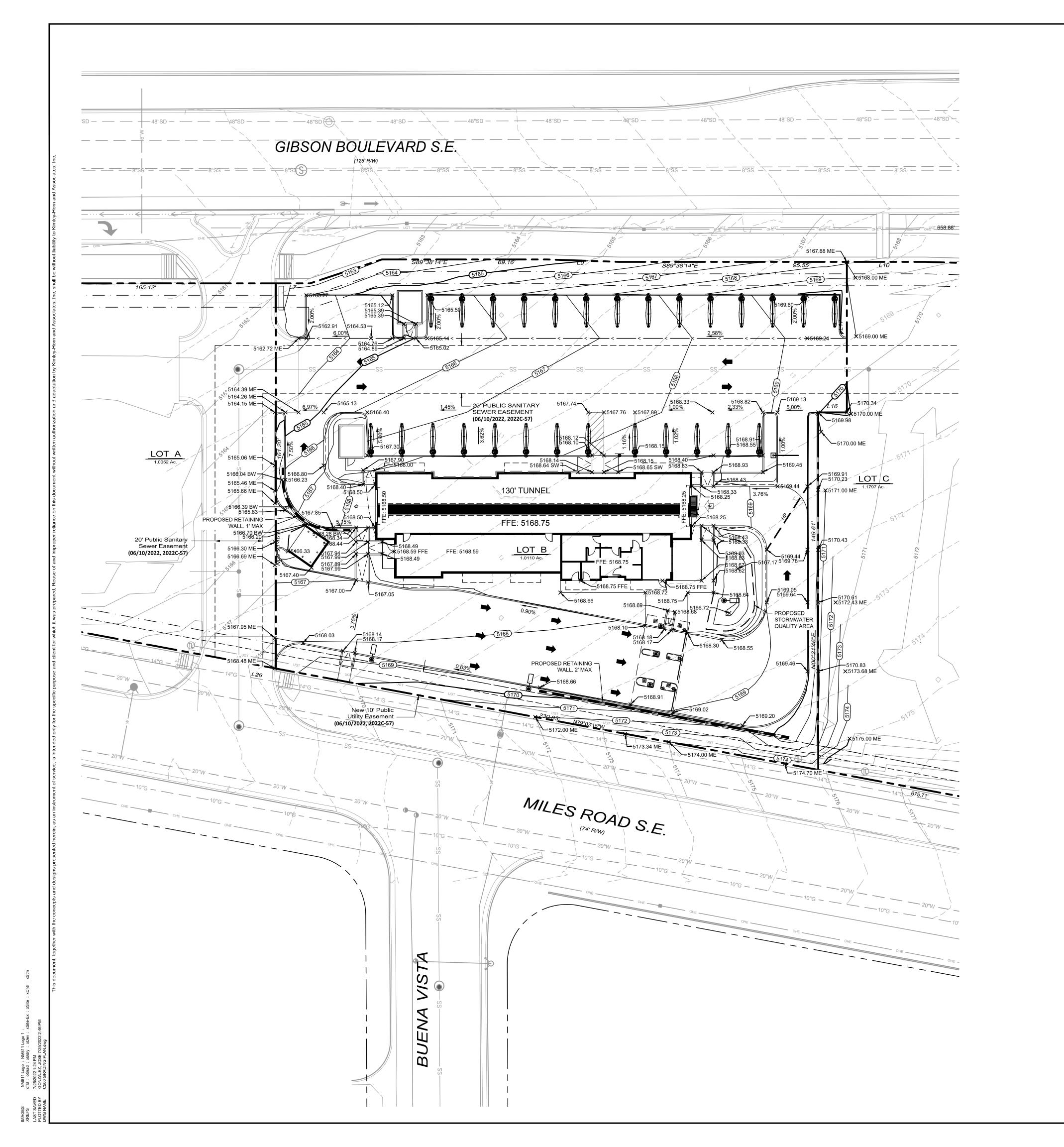


PROPOSED CONDITION DRAINAGE AREA MAP

V - ALBUQUERQUE NEW MEXICO PREPARED FOR STER CAR WASH MISTER MCW

SHEET NUMBER C601

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR
IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND
VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
CONTROL SHALL BE RESPONSIBLE FOR ANY REPAIRS TO
EXISTING UTILITIES PLIE TO DAMAGE INCLIBER PRIOR DURING EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING
CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF
ANY DISCREPANCIES ON THE PLANS. ANY DISCREPANCIES ON THE TEXT





### LECEND

LEGEND		
	PROPOSED PROPERTY LINE	
	— ADJACENT PROPERTY LINE	
5170	EXISTING CONTOUR	
5170	PROPOSED CONTOUR BY DEVELOPER PER DRC CASE NO. PR-2021-005482	
<del></del>	PROPOSED CONTOUR	
	— SAWCUT LINE	
	PROPOSED EXPOSED FOUNDATION	
<del>&gt;&gt;</del> >>	PROPOSED VALLEY	
<u>HP</u>	PROPOSED RIDGE	
=	EXISTING STORM SEWER	
	PROPOSED RETAINING WALL	
1.00%	PROPOSED FLOW ARROW WITH SLOPE	
<b>×</b> 5165.00	PROPOSED SPOT ELEVATION	
TC	TOP OF CURB	
TP	TOP OF PAVEMENT	
TS	TOP OF SLAB (DUMPSTER PAD)	
SW	TOP OF SIDEWALK	
ME	MATCH EXISTING ELEVATION	
EX	MATCH EXISTING SURVEYED ELEVATION	
TG	TOP OF GRATE	
	PROPOSED STORM INLET	

#### **GRADING NOTES**

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/AHJ STANDARDS AND SPECIFICATIONS.
- 2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING NSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- 9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- 10. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- 11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO
- 12. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- 13. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- 14. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- 15. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.
- 16. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SIDEWALKS AND PEDESTRIAN ROUTES DO NOT EXCEED A 5% SLOPE IN THE PATH OF TRAVEL OR A 2% CROSS SLOPE, AND CONTRACTOR SHALL VERIFY THAT ACCESIBLE PARKING AREAS (INCLUDING THE ADJOINING ACCESS AISLES) DO NOT EXCEED A 2% SLOPE IN ANY DIRECTION. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO ENSURE ADA/TAS SLOPE CRITERIA ARE NOT EXCEEDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PLACING PAVEMENT IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CHANGE ORDERS WILL BE ACCEPTED FOR ADA/TAS SLOPE COMPLIANCE



 $ec{ec{ecta}}$  Existing underground utilities in the area contractor  $ec{ecta}$ IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS. ANT DISSILITION

SHEET NUMBER C500