

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 23, 2022

Lauren A. Nuffer, P.E.
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Galleria Office Tower, Suite 700
Dallas, TX 75240

**RE: Mister Car Wash
2161 Gibson Blvd SE
Grading & Drainage Plan
Engineer's Stamp Date: 07/25/22
Hydrology File: M15D021B**

Dear Ms. Nuffer:

PO Box 1293

Based upon the information provided in your submittal received 07/26/2022, the Grading & Drainage Plan is **not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

Grading Plan – C500

NM 87103

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.
 - a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
 - b. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
 - c. Please provide the FIRM Map and flood plain note with effective date.
 - d. Please provide a legal Description of the property.
2. Please reference City of Albuquerque standard detail No. 2236 – Sidewalk Culvert with Steel Plate Top at the sidewalk culvert. (see comment below for location)
3. Please add the attached SO-19 Notes.

www.cabq.gov



Drainage Plan – C601

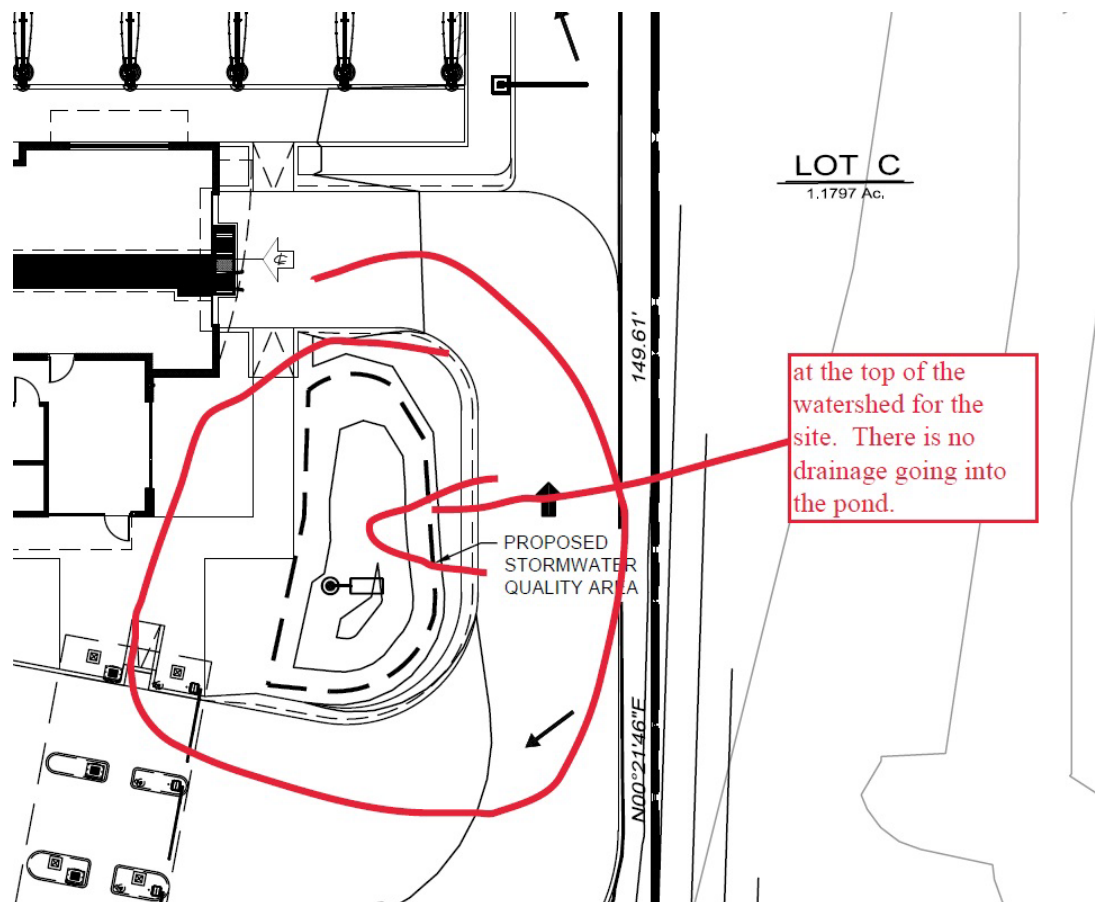
4. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
5. Provide management onsite for the Stormwater Quality Volume (SWQV) in accordance with the Drainage Ordinance, § 14-5-2-6 (H) and the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the SWQ pond by 0.42 inches for new development sites. Please show both the required and the provided volume.
6. The onsite drainage should be directed to the stormwater quality (SWQ) pond prior to leaving the site. Currently you have the SWQ pond on the high side of the site with little drainage going into it. Also, please show the top and bottom of the pond along with the volume for the pond. The pond also needs a spillway in the form of a sidewalk culvert at the SWQ water surface elevation on the pond side and match the existing gutter elevation in Gibson.

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NM 87103

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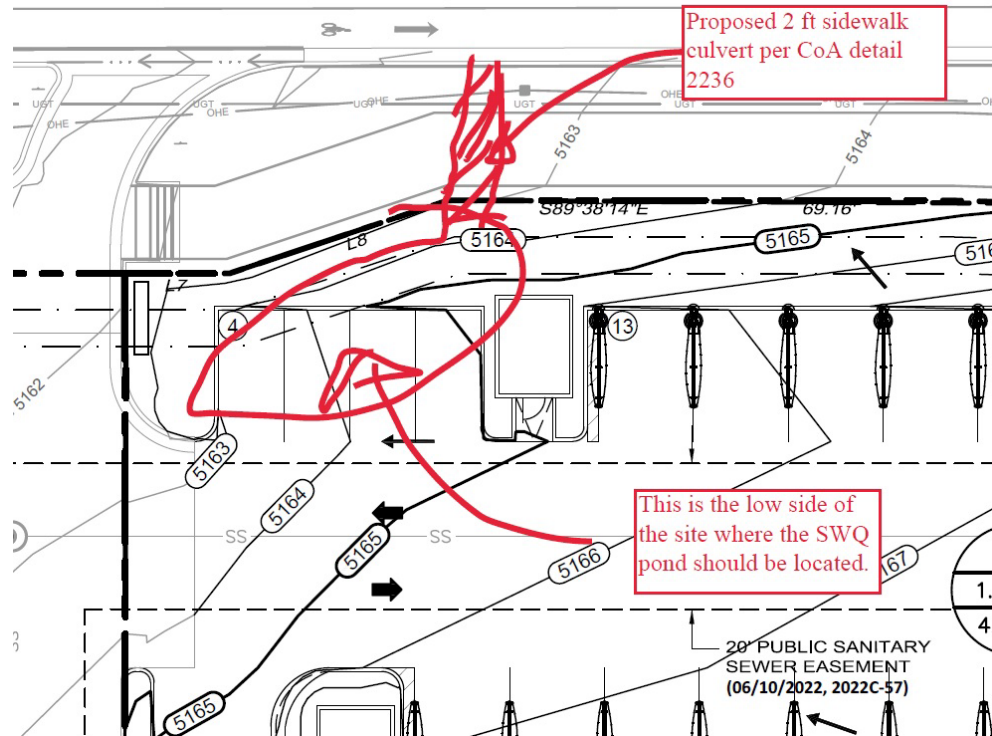


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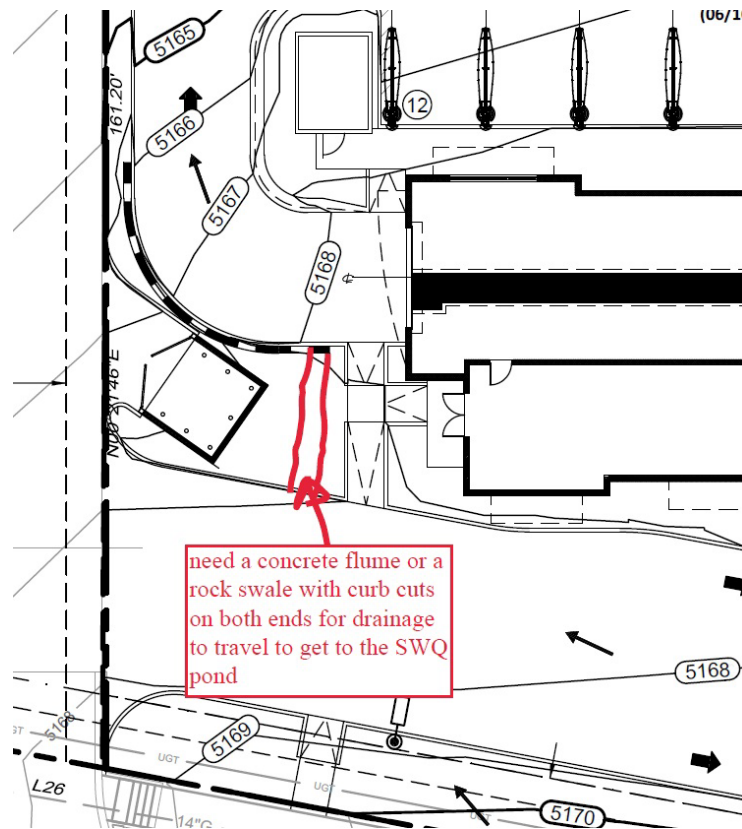
7. Please reference City of Albuquerque standard detail No. 2236 – Sidewalk Culvert with Steel Plate Top at the sidewalk culvert.
8. Please add either a concrete flume (channel) or a rock swale with curb cuts on either end so that the drainage can travel to the SWQ pond.

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9. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: Mister Car Wash #1394 **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: N/A **EPC#:** N/A **Work Order#:** _____
Legal Description: Lot B, Lovelace Heights Addition
City Address: 2161 Gibson Blvd SE Albuquerque, New Mexico 87106

Applicant: Mister Car Wash **Contact:** Prabhs Matharoo
Address: 222 E. 5th Ave. Tucson, Arizona 85705
Phone#: (520) 955-1244 **Fax#:** _____ **E-mail:** pmatharoo@mistercarwash.com

Other Contact: Kimley-Horn **Contact:** Lauren Nuffer
Address: 13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas TX 75240
Phone#: 214-387-3847 **Fax#:** _____ **E-mail:** lauren.nuffer@kimley-horn.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

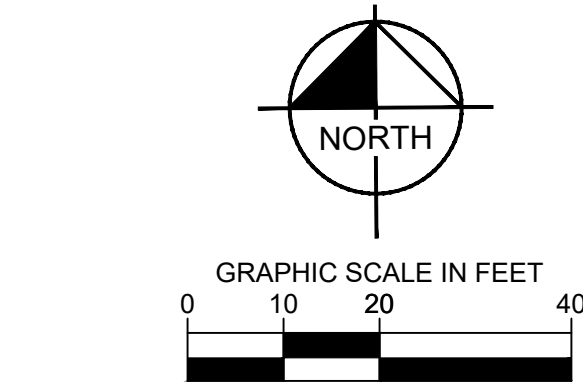
- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 7/25/2022 **By:** Lauren Nuffer

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



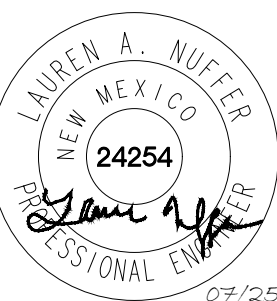
A circular diagram representing a data entry form. The circle is divided into three horizontal sections. The top section is labeled 'BASIN', the middle section is labeled 'AREA', and the bottom section is labeled 'FLOW'. To the right of the circle, three labels are aligned with the sections: 'BASIN NAME' is aligned with the 'BASIN' section, 'ACRES' is aligned with the 'AREA' section, and '100 YR FLOW (CFS)' is aligned with the 'FLOW' section. Arrows point from each of these three labels to the corresponding section of the circle.

-
- DRAINAGE AREA
 FLOW ARROW
 PROPOSED CONTOUR
 EXISTING CONTOUR
 EXISTING SANITARY SEWER LINE
 EXISTING WATER LINE
 PROPERTY LINE

1. THIS PROPOSED DRAINAGE AREA MAP IS IN COMPLIANCE WITH THE APPROVED OVERALL DRAINAGE PLAN SHOWN ON SHEET C600. PER THE APPROVED PLAN DATED 5/18/22, BASIN 104 CAN OUTFALL 6.68 CFS IN THE 100 YEAR EVENT TO GIBSON ROW. IN THE PROPOSED CONDITION, BASIN 104P OUTFALLS 4.2 CFS IN THE 100 YEAR EVENT TO GIBSON ROW. 2. 16.56 CY/ 447.1 CF OF STORM WATER QUALITY VOLUME ARE PROVIDED.

Kimley»»Horn

455 NOEL ROAD, SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM



DATE	068918301
JULY 2022	
SCALE	AS SHOWN
DESIGNED BY	JCG
DRAWN BY	JCG
CHECKED BY	LAN

PROPOSED CONDITION DRAINAGE AREA MAP

MCW - ALBUQUERQUE
NEW MEXICO
PREPARED FOR
MISTER CAR WASH
ALBUQUERQUE
NEW MEXICO

SHEET NUMBER
C601

IMAGES
XREFS
LAST PLOTTED BY
DATE
DWC NAME

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



nm811
Know what's below.
Call before you dig.

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

