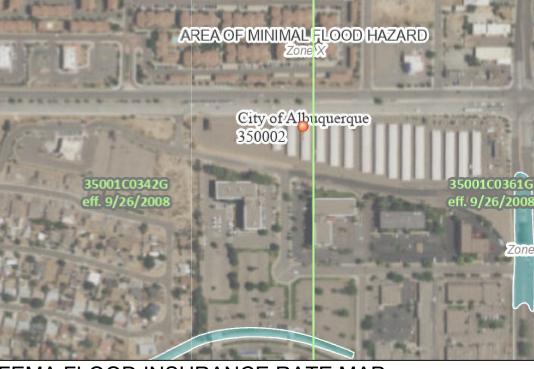


LOCATION MAP

**ZONE ATLAS PAGE: M-15-Z** 



PER MAP NUMBER 35001C0342G FOR BERNALILLO COUNTY NM AND INCORPORATED AREAS DATED SEPTEMBER 26,

# **GRADING NOTES**

LEGEND

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/AHJ STANDARDS AND SPECIFICATIONS.

PROPOSED PROPERTY LINE

EXISTING CONTOUR

PROPOSED CONTOUR

PROPOSED VALLEY PROPOSED RIDGE

TOP OF CURB

TOP OF PAVEMENT

SAWCUT LINE

ADJACENT PROPERTY LINE

PROPOSED CONTOUR BY DEVELOPER

PER DRC CASE NO. PR-2021-005482

PROPOSED EXPOSED FOUNDATION

PROPOSED RETAINING WALL

PROPOSED SPOT ELEVATION

MATCH EXISTING ELEVATION

PROPOSED FLOW ARROW WITH SLOPE

MATCH EXISTING SURVEYED ELEVATION

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING
- 3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY PRECISION SURVEYS, INC. DATED 3/1/2022. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- 9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- 10. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- 11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- 12. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- 13. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- 14. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- 15. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

### 16. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SIDEWALKS AND PEDESTRIAN ROUTES DO NOT EXCEED A 5% SLOPE IN THE PATH OF TRAVEL OR A 2% CROSS SLOPE, AND CONTRACTOR SHALL VERIFY THAT ACCESIBLE PARKING AREAS (INCLUDING THE ADJOINING ACCESS AISLES) DO NOT EXCEED A 2% SLOPE IN ANY DIRECTION. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO ENSURE ADA/TAS SLOPE CRITERIA ARE NOT EXCEEDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PLACING PAVEMENT IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CHANGE ORDERS WILL BE ACCEPTED FOR ADA/TAS SLOPE COMPLIANCE

# **BENCHMARKS**

1. ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "19 L16", PUBLISHED ELEVATION

(FEET) = 5297.506 SET CP-PK NAIL N=1,476,629.73 E=1.527.961.73

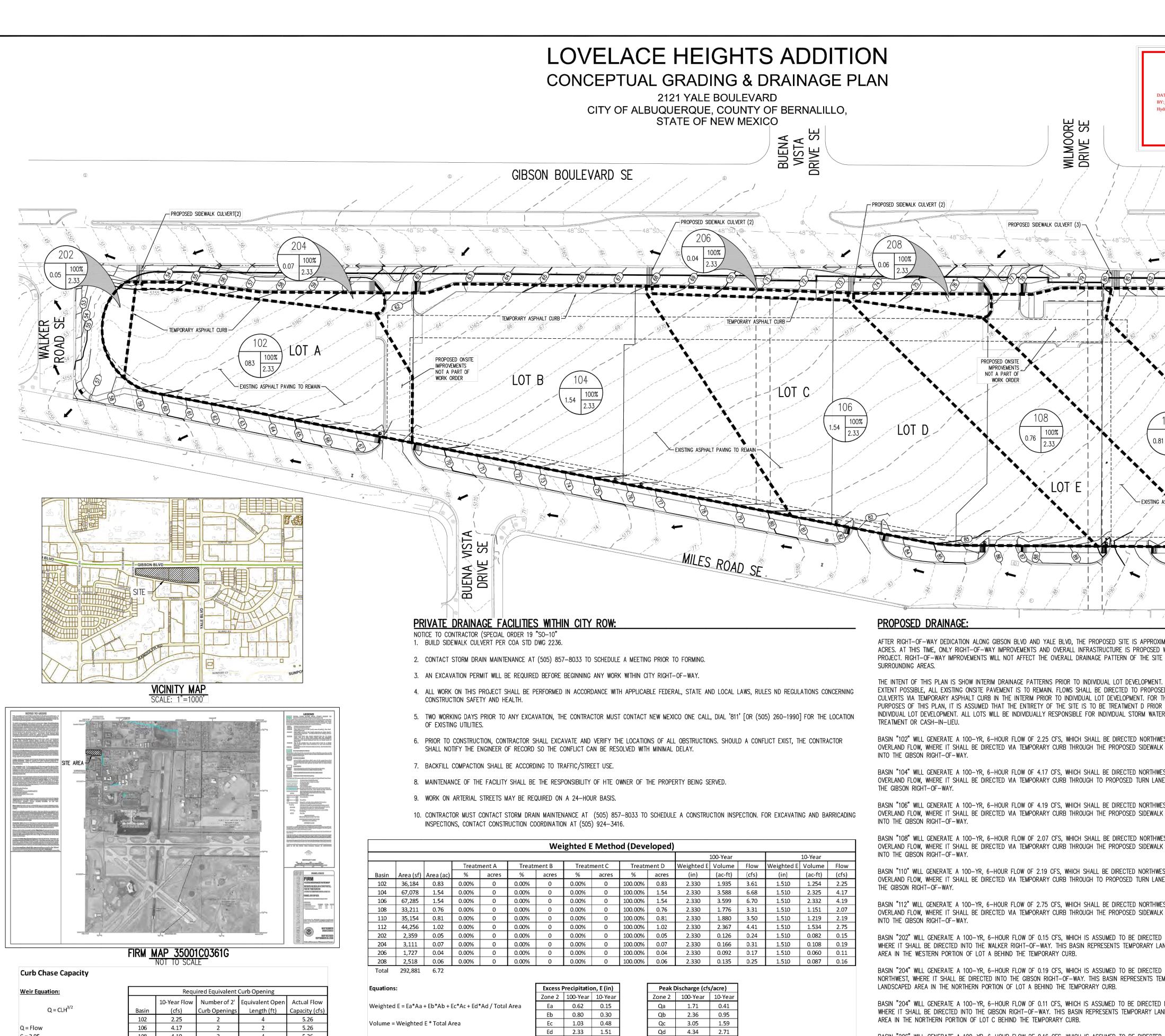
EL.=5163.52 - <u>BM#2</u> SET CP-PK NAIL N=1 476 678 00 E=1,528,300.57

EL.=5169.79



EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS. 

SHEET NUMBER



Ed 2.33 1.51

# PROPOSED DRAINAGE:

AFTER RIGHT-OF-WAY DEDICATION ALONG GIBSON BLVD AND YALE BLVD, THE PROPOSED SITE IS APPROXIMATELY 6.72 ACRES. AT THIS TIME, ONLY RIGHT-OF-WAY IMPROVEMENTS AND OVERALL INFRASTRUCTURE IS PROPOSED WITH THIS PROJECT. RIGHT-OF-WAY IMPROVEMENTS WILL NOT AFFECT THE OVERALL DRAINAGE PATTERN OF THE SITE OR THE SURROUNDING AREAS.

WILMOORE DRIVE SE

PROPOSED SIDEWALK CULVERT (3)

PROPOSED ONSITE MPROVEMENTS \_

NOT A PART OF

THE INTENT OF THIS PLAN IS SHOW INTERIM DRAINAGE PATTERNS PRIOR TO INDIVIDUAL LOT DEVELOPMENT. TO THE EXTENT POSSIBLE, ALL EXISTING ONSITE PAVEMENT IS TO REMAIN. FLOWS SHALL BE DIRECTED TO PROPOSED SIDEWALK CULVERTS VIA TEMPORARY ASPHALT CURB IN THE INTERIM PRIOR TO INDIVIDUAL LOT DEVELOPMENT. FOR THE PURPOSES OF THIS PLAN, IT IS ASSUMED THAT THE ENTIRETY OF THE SITE IS TO BE TREATMENT D PRIOR TO INDIVIDUAL LOT DEVELOPMENT. ALL LOTS WILL BE INDIVIDUALLY RESPONSIBLE FOR INDIVIDUAL STORM WATER QUALITY TREATMENT OR CASH-IN-LIEU.

BASIN "102" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 2.25 CFS, WHICH SHALL BE DIRECTED NORTHWEST VIA OVERLAND FLOW, WHERE IT SHALL BE DIRECTED VIA TEMPORARY CURB THROUGH THE PROPOSED SIDEWALK CULVERT INTO THE GIBSON RIGHT-OF-WAY.

BASIN "104" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 4.17 CFS, WHICH SHALL BE DIRECTED NORTHWEST VIA OVERLAND FLOW, WHERE IT SHALL BE DIRECTED VIA TEMPORARY CURB THROUGH TO PROPOSED TURN LANE AND INTO THE GIBSON RIGHT-OF-WAY.

BASIN "106" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 4.19 CFS, WHICH SHALL BE DIRECTED NORTHWEST VIA OVERLAND FLOW, WHERE IT SHALL BE DIRECTED VIA TEMPORARY CURB THROUGH THE PROPOSED SIDEWALK CULVERT INTO THE GIBSON RIGHT-OF-WAY.

BASIN "108" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 2.07 CFS, WHICH SHALL BE DIRECTED NORTHWEST VIA OVERLAND FLOW, WHERE IT SHALL BE DIRECTED VIA TEMPORARY CURB THROUGH THE PROPOSED SIDEWALK CULVERT INTO THE GIBSON RIGHT-OF-WAY.

BASIN "110" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 2.19 CFS, WHICH SHALL BE DIRECTED NORTHWEST VIA OVERLAND FLOW, WHERE IT SHALL BE DIRECTED VIA TEMPORARY CURB THROUGH TO PROPOSED TURN LANE AND INTO THE GIBSON RIGHT-OF-WAY.

BASIN "112" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 2.75 CFS, WHICH SHALL BE DIRECTED NORTHWEST VIA OVERLAND FLOW, WHERE IT SHALL BE DIRECTED VIA TEMPORARY CURB THROUGH THE PROPOSED SIDEWALK CULVERT INTO THE GIBSON RIGHT-OF-WAY.

BASIN "202" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.15 CFS, WHICH IS ASSUMED TO BE DIRECTED WEST, WHERE IT SHALL BE DIRECTED INTO THE WALKER RIGHT-OF-WAY. THIS BASIN REPRESENTS TEMPORARY LANDSCAPED AREA IN THE WESTERN PORTION OF LOT A BEHIND THE TEMPORARY CURB.

NORTHWEST, WHERE IT SHALL BE DIRECTED INTO THE GIBSON RIGHT-OF-WAY. THIS BASIN REPRESENTS TEMPORARY LANDSCAPED AREA IN THE NORTHERN PORTION OF LOT A BEHIND THE TEMPORARY CURB.

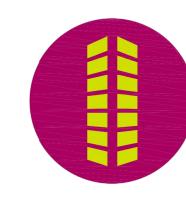
BASIN "204" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.11 CFS, WHICH IS ASSUMED TO BE DIRECTED NORTHWEST, WHERE IT SHALL BE DIRECTED INTO THE GIBSON RIGHT-OF-WAY. THIS BASIN REPRESENTS TEMPORARY LANDSCAPED AREA IN THE NORTHERN PORTION OF LOT C BEHIND THE TEMPORARY CURB.

BASIN "206" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.16 CFS, WHICH IS ASSUMED TO BE DIRECTED NORTHWEST, WHERE IT SHALL BE DIRECTED INTO THE GIBSON RIGHT-OF-WAY. THIS BASIN REPRESENTS TEMPORARY LANDSCAPED AREA IN THE NORTHERN PORTION OF LOT D BEHIND THE TEMPORARY CURB.

THE TOTAL DISCHARGE INTO THE GIBSON RIGHT-OF-WAY SHALL BE LESS THAN THE DISCHARGE IN THE EXISTING CONDITIONS DUE TO THE INCREASE IN LANDSCAPED AREA ONSITE.

Greenwood Village, CO 80111 303.770.8884

THESE PLANS ARE AN INSTRUMENT OF SERVICE COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



& DF GRADI IGHTS

CONCEPTUAL (LOVELACE HEIGH GIBSON,

# Date Issue / Description

<b>→</b>	FLOW ARROW
	MAJOR BASIN BOUNDARY LINE
	—BASIN DESIGNATION
100	—PERCENT TREATMENT D
0.00 5%	—100-YEAR WEIGHTED E VALUE
	—BASIN AREA IN ACRES

DESIGN POINT

---- PROPERTY LINE

SECTION LINE

ADJACENT PROPERTY BOUNDARY LINE

## EXISTING DRAINAGE:

DRAINAGE LEGEND

— — — — — — — EXISTING EASEMENT

---- PROPOSED EASEMENT

----- EXISTING MINOR CONTOUR

- - - - 5460 - - - - EXISTING MAJOR CONTOUR

PROPOSED MINOR CONTOUR

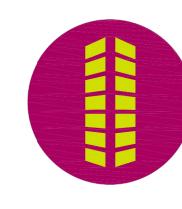
THIS SITE IS CURRENTLY DEVELOPED AND USED AS AIRPORT PARKING, CONSISTING OF SEVERAL BUILDINGS, CARPORTS, AND ASPHALT DRIVES. ALMOST THE ENTIRETY OF THE LOT IS IMPERVIOUS AREA. THE SITE IS BOUNDED BY GIBSON BLVD TO THE NORTH, YALE BLVD TO THE EAST, MILES RD TO THE SOUTH, AND WALKER DR TO THE WEST. THE SITE IS APPROXIMATELY 7.18 ACRES AND DRAINS FROM SOUTHEAST TO NORTHWEST, FREE RELEASING INTO GIBSON BLVD THROUGH SEVERAL SIDEWALK CULVERTS. THE SITE IS NOT LOCATED IN A FLOODPLAIN AS SHOWN ON THE FIRM MAP (SEE THIS SHEET). THE PROJECT DOES NOT RECEIVE OFFSITE FLOWS.

INDIVIDUAL LOTS ARE NOT BEING DEVELOPED AT THIS TIME. LOTS SHALL BE INDIVIDUALLY RESPONSIBLE FOR STORM WATER QUALITY TREATMENT OR CASH=IN-LIEU. INDIVIDUAL LOTS SHALL NEED TO CONFORM TO RELEASE RATES SPECIFIED IN THE CONCEPTUAL MASTER GRADING & DRAINAGE PLAN FOR THIS SITE.

Galloway 6162 S. Willow Drive, Suite 320



AND ARE THE PROPERTY OF GALLOWAY, AND MA NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY.



GRADING & DRAINAGE PLAN

Project No:

Drawn By:

Checked By

04/28/2022

Q = Flow

C = 2.95

L = Length of weir

H = Height of weir

 $Q = 2.95*2*0.583^{3/2}$ Q = 2.63 cfs

2' Curb Chase Capacity (8" Curb)

4.17

4.19

culverts were sized using 10-year flows.

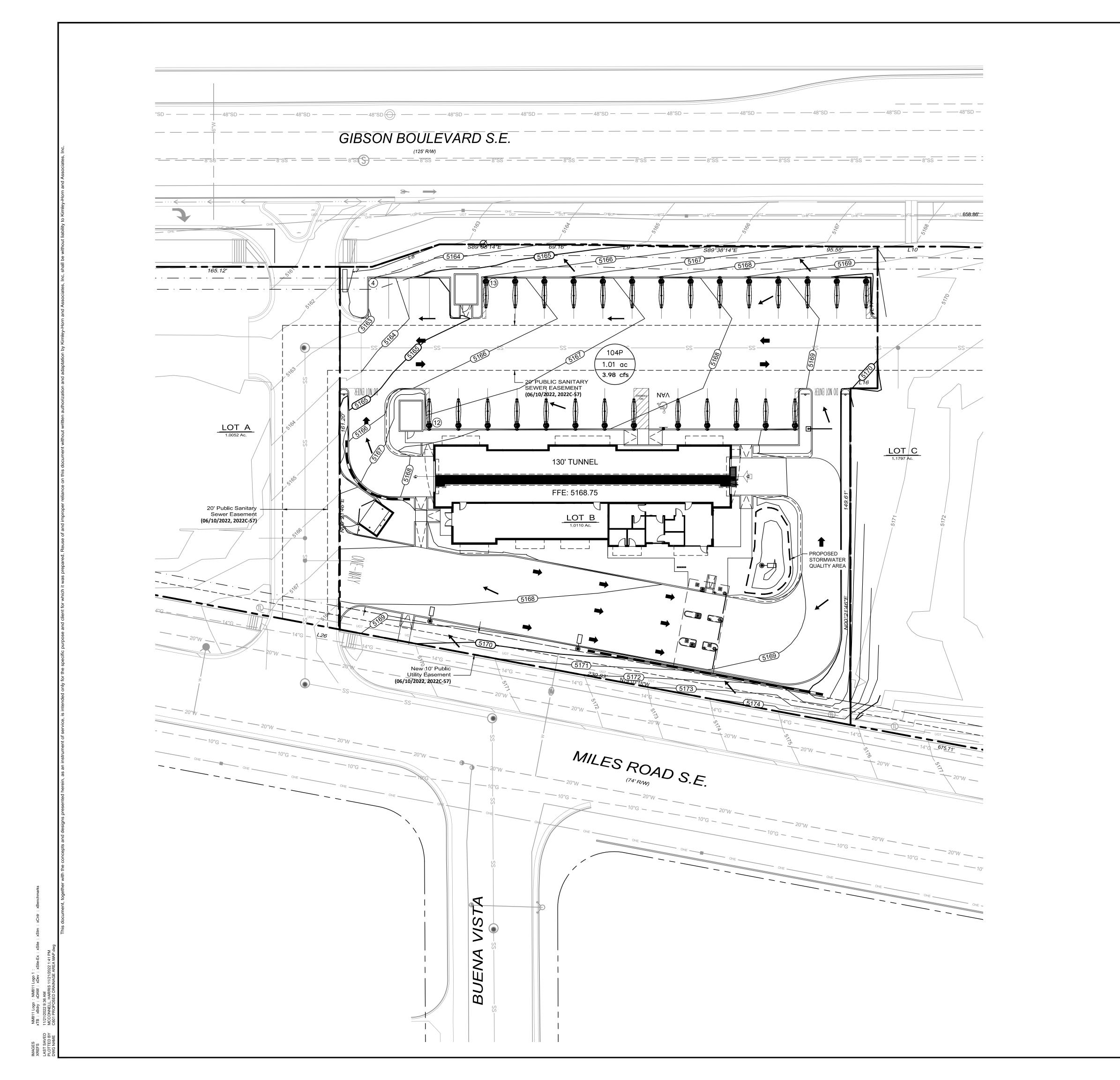
Note: Due to the temporary conditions shown in theis plan, sidewalk

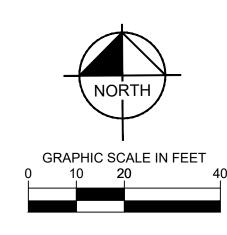
5.26

5.26

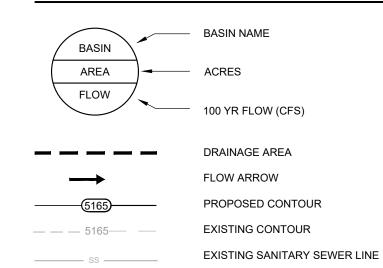
Flow = Qa\*Aa + Qb\*\*Ab + Qc\*Ac + Qd\*Ad

SHEET NUMBER C600





### LEGEND

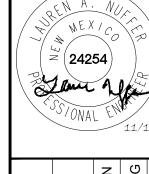


### NOTE

1. REFER TO SHEET C500 FOR DRAINAGE CALCULATIONS PER DPM. 2. THIS PROPOSED DRAINAGE AREA MAP IS IN COMPLIANCE WITH THE APPROVED OVERALL DRAINAGE PLAN SHOWN ON SHEET C600. PER THE APPROVED PLAN DATED 5/18/22, BASIN 104 CAN OUTFALL 6.68 CFS IN THE 100 YEAR EVENT TO GIBSON ROW . IN THE PROPOSED CONDITION, BASIN 104P OUTFALLS 3.98 CFS IN THE 100 YEAR EVENT TO GIBSON

EXISTING WATER LINE

PROPERTY LINE



PROPOSED CONDITION DRAINAGE AREA MAP

WASH

V - ALBUQUERQUE NEW MEXICO PREPARED FOR STER CAR WASH MISTER MCW

SHEET NUMBER C601



NOTE:
1. ELEVATION DATUM IS BASED ON NAVD
1988 FROM AGRS MONUMENT
"19\_L16", PUBLISHED ELEVATION
(FEET) = 5297.506

CAUTION!!

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- <u>BM#1</u> SET CP-PK NAIL N=1,476,629.73 E=1,527,961.73 EL.=5163.52

